

PROJECT DESCRIPTION:

PROJECT PROPOSES TO REPLACE AN EXISTING I-BR SINGLE FAMILY NON-FEMA CONFORMING RESIDENTIAL HOUSE & SEPTIC SYSTEM WITH A NEW TIMBER PILE SUPPORTED RAISED "VE" FLOOD ZONE FEMA-COMPLIANT 2-BR SINGLE FAMILY HOUSE WITH MUNICIPAL WATER SERVICE & NEW ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEM FOR A 2-BR SANITARY FLOW. - EXIST SAN FLOW = I-BR x 150 GPD.BR = 150 GPD (ADF)

- NEW SAN FLOW = 2-BR x 150 GPD.BR = 300 GPD (ADF) ~ 100% INCREASE
 - NRCS SOIL SURVEY MAPPING INDICATES EXISTING ON-SITE SOILS AS: #306 - UDORTHENTS - URBAN LAND COMPLEX (DISTURBED/FILLED) HYDROLOGIC SOIL GROUP: B; GWT: 54"-72": LEDGE >80"; WELL-DRAINED

GENERAL NOTES:

I-I.) REFERENCE IS MADE TO PLAN TITLED:

- "PLAN SHOWING PROPERTY OF FRANK CORY JR.; 18 ROSELEAH DRIVE STONINGTON, CONNECTICUT"; SCALE: I" = 10'; AUGUST 2018; PREPARED & CERTIFIED TO "A-2" STANDARDS BY DIETER & GARDNER LAND SURVEYORS & PLANNERS; 1641 ROUTE 12, GALES FERRY, CT 06335; TEL. 860-464-7455.
- I-2.) THIS PARCEL WAS CREATED BY A SUBDIVISION MAP DATED JULY 8, 1930; THIS PARCEL WAS DEEDED AS A SINGLE-FAMILY LOT AS RECORDED IN TOWN LAND RECORDS ON DECEMBER 9, 1931. THIS PARCEL PRE-DATES 1961 ZONING. -3.) THIS PARCEL IS LOCATED WITHIN THE "MC-80" ZONING DISTRICT
- OF THE TOWN OF STONINGTON, CONNECTICUT; NEW LONDON COUNTY. THIS PARCEL IS PRE-EXISTING NON-CONFORMING TO MC-80 ZONING
- REQUIREMENTS. THE RH-10 ZONE BULK REQUIREMENTS APPLY (ZR.2.9.2). -5.) THIS SITE CONTAINS NO KNOWN AREAS OF REGULATED INLAND WETLANDS.
- CTDEEP TIDAL WETLANDS EXIST OFF-SITE ON EASTERLY ADJACENT PARCEL -6.) THIS PARCEL IS NOT LOCATED WITHIN THE TOWN OF STONINGTON
- AQUIFER PROTECTION (Aq) DISTRICT. 7.) THIS PARCEL IS LOCATED 100% WITHIN THE FEMA COASTAL FLOOD HAZARD ZONE
- "VE" (ELEV. 14.00 NAVD) COASTAL HIGH HAZARD ZONE.
- -8.) THIS PARCEL IS LOCATED WITHIN THE TOWN OF STONINGTON DESIGNATED COASTAL AREA MANAGEMENT (CAM) ZONE.
- I-9.) THIS PARCEL IS CURRENTLY SERVED BY A PRIVATE ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEM & PUBLIC WATER (AQUARION WATER COMPANY).
- -10.) THIS PARCEL FRONTAGE IS ALONG ROSELEAH DRIVE; A DEVELOPED PRIVATE ROAD THAT IS NOT OWNED OR MAINTAINED BY THE TOWN OF STONINGTON.

TEST PIT RESULTS:

EXCAVATED/WITNESSED BY EH WENKE III, PE & KIMBERLY HAMLEY (LLHD) ON 06/05/19 WEATHER: CLEAR; 75F; NO RAIN WITHIN 48 HOURS

TEST PITS CONDUCTED AT M.H.W. (9:30am)

TEST PIT #1 GRADE FL +35

<u>ILJI F</u>	II #I GRAVE EL. +3.5		
0" - 4"	TOP SOIL - LAWN / ROOTS		
4" - 18"	GR-BR SILTY FILL (MOTTLED/PERCHED)		
8" - 26"	ORIG TOPSOIL/BLACK SILTY (MUCK) LAYER		
26" - 60"	NATURAL TAN/OLIVE F-MF SILT, FIRM/COMPACT/TIGHT, WET		
60" - 72"	MC-C SAND GRAVEL W/ COBBLES - SATURATED		
NO LEDGE	TO 72" (EL2.5 +/-)		
NO MOTTLING TO 72"			
ROOTS AT	18"		
TIDAL GWT WEEP AT 43"; STANDING GWT @ 43" AFTER I-HR EL. (-O.IO)			
RESTRICTIVE LAYER = 32" - EL. +0.90 (MHW)			
<u>TEST</u> P	IT #2 GRADE EL. +3.5		
0" - 4"	TOP SOIL - LAWN / ROOTS		
4" - 20"	TAN MC-C SAND & GRAVEL FILL		

- 20" 38" ORIG TOPSOIL/BLACK/GREY SILTY MUCK ORGANIC LAYER
- 38" 66" NATURAL TAN/OLIVE F-MF SILT, FIRM/COMPACT/TIGHT, WET 66" - 76" BRIGHT ORANGE MC-C SAND GRAVEL W/ COBBLES - SATURATED
- NO LEDGE TO 76" (EL. -2.8 +/-)

NO MOTTLING TO 76"

ROOTS AT 18"

TIDAL GWT WEEP AT 60"; STANDING GWT @ 66" AFTER I-HR. - EL. (-2.0) RESTRICTIVE LAYER = 32" - EL. +0.90 (MHW)

TEST PIT #3 GRADE EL. +4.75

EXCAVATED/WITNESSED BY EH WENKE III, PE &

KATIE BALDWIN (LLHD) ON 12/06/19.

WEATHER: CLEAR; 40F; NO RAIN WITHIN 48 HOURS TEST PITS CONDUCTED AT (9:00 AM); MHW AT 4:30 AM

- TOP SOIL LAWN / ROOTS 0" - 5"
- TAN MC-C SAND & GRAVEL FILL 5" - 18"
- 18" 28" ORIG TOPSOIL/ORGANIC LAYER
- 28" 44" BR FINE SILTY LOAM COMPACT
- 44" 60" BR COURSE SAND & GRAVEL NO LEDGE TO 60" (EL. -0.25+/-)
- NO MOTTLING TO 60"

TIDAL GWT WEEP AT 55"; STANDING GWT @ 50" AFTER 0.5-HR. - EL. (+0.58) RESTRICTIVE LAYER = 46" - EL. +0.90 (MHW)

GENERAL SOIL COMMENTS:

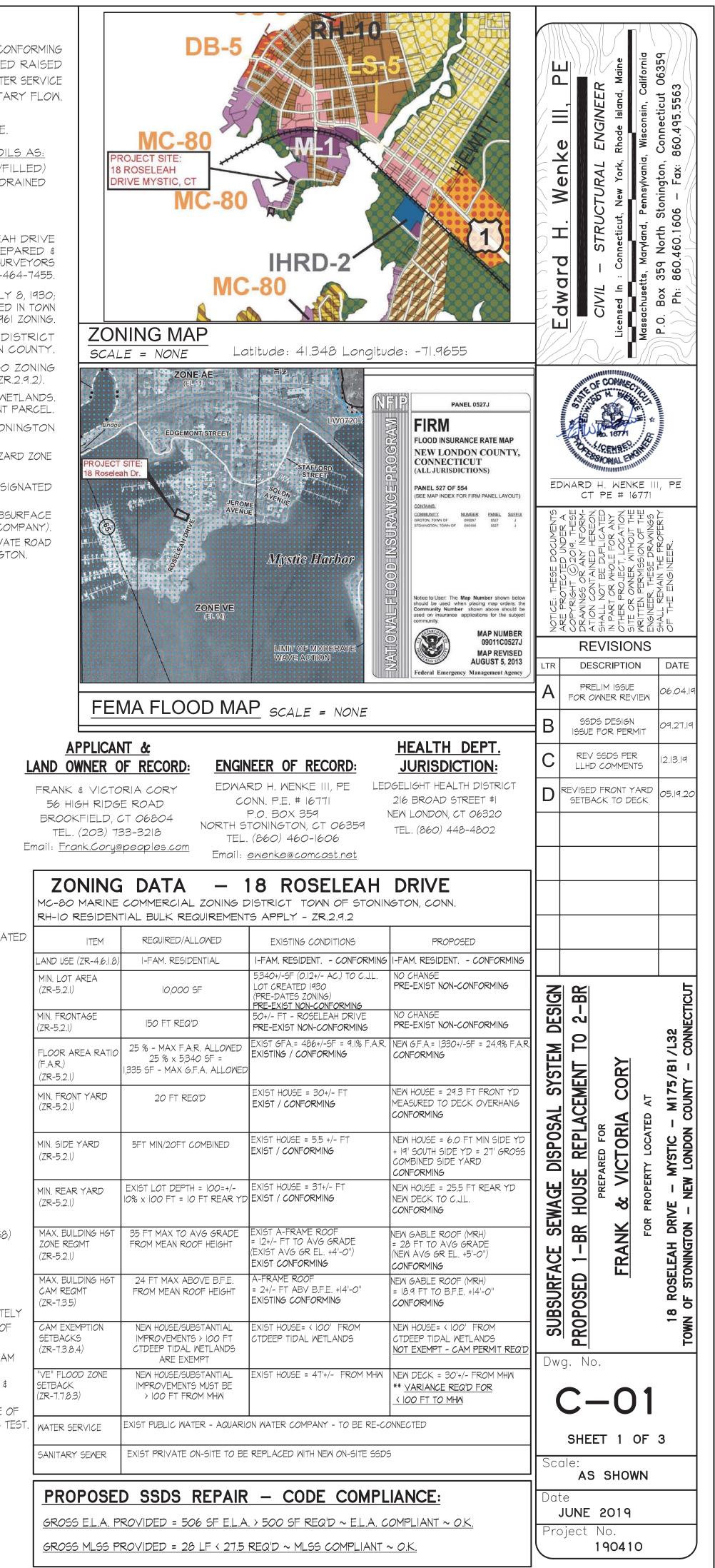
EXISTING UPPER 20"-26" STRATA IS A PREVIOUS FILL OVER UN-STRIPPED ORIG TOPSOIL/MUCK LAYER. THIS LAYER INCLUDING MUCK MUST BE COMPLETELY REMOVED BELOW NEW SSDS. CONTRACTOR SHALL MAINTAIN 18" MIN DEPTH OF NATURAL SOIL ABOVE RESTRICTIVE GWT TIDAL MHW EL. +0.90.

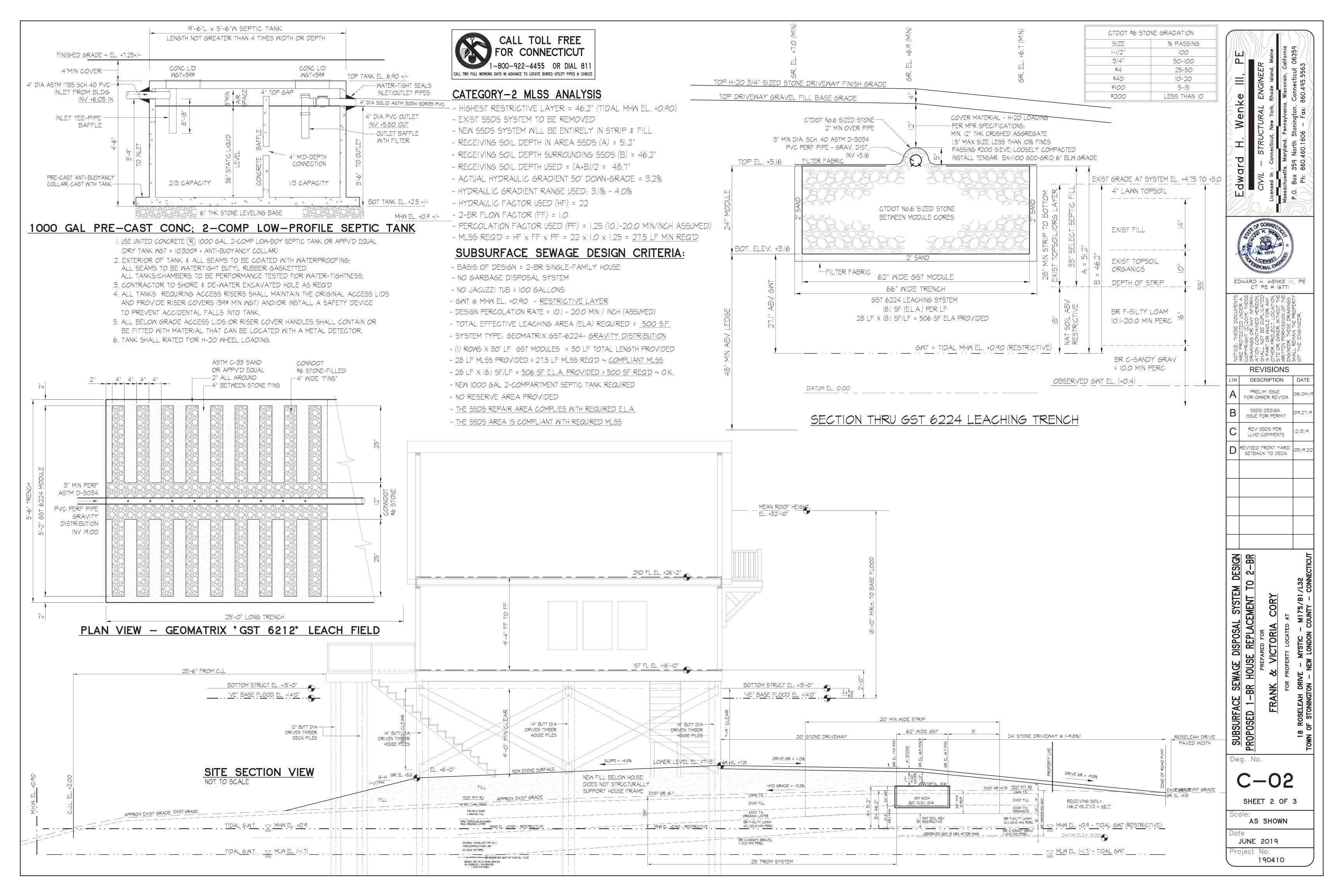
THIS RECEIVING NATURAL SOIL LAYER ABOVE THE MHW ELEV IS A SILTY LOAM WITH ASSUMED PERC RATE OF IO.I TO 20.0 MIN.

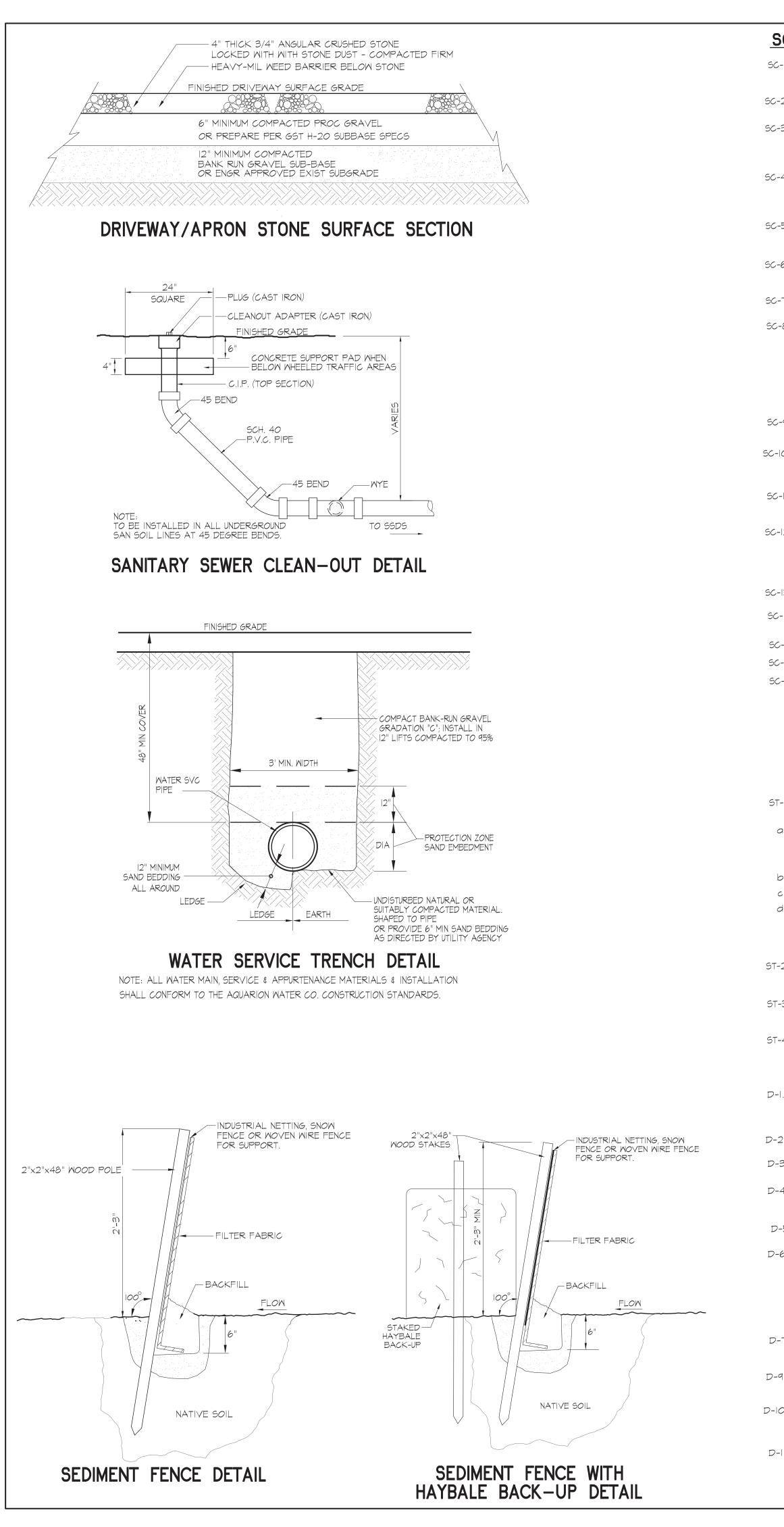
THE SILTY LOAM LAYER AT THE MHW ELEV AND BELOW IS A COARSE SAND & GRAVEL WITH ASSUMED PERC RATE OF LESS THAN IO.O MIN.

ALL SELECT FILL INSTALLED ON THIS SITE SHALL HAVE A FINAL PERC RATE OF 20.0 MINUTES OR LESS, AND SHALL BE CONFIRMED WITH AN IN-PLACE PERC TEST. WATER SERVICE

(2) GEOTECHNICAL SOIL BORINGS WERE ADVANCED ON THIS SITE AND HAVE RESULTED IN NO REFUSAL TO 30'+ DEPTHS.







SOIL EROSION & SEDIMENT CONTROL NOTES

- SC-I.) DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW. ALL WORK SHALL COMPLY WITH THE FOLLOWING CRITERIA TO PREVENT OR MINIMIZE SOIL EROSION AND/OR SEDIMENTATION.
- SC-2.) THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES IS THE RESPONSIBILITY OF THE PROJECT SITE CONTRACTOR.
- SC-3.) THE CONTRACTOR SHALL USE THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL - 2002, OR LATEST REVISION, WHICH SHALL BECOME A PART OF THIS PLAN. THE GUIDELINES MAY BE OBTAINED FROM THE CONNDEP PUBLICATIONS BOOK STORE; HARTFORD, CT.
- SC-4.) THE CONTRACTOR SHALL INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE MAJOR PROVISIONS OF THE EROSION CONTROL PLAN AND REQUIRE THEIR COOPERATION IN AVOIDING THE DISTURBANCE OF ANY OF THESE MEASURES AS THEY ARE INSTALLED.
- SC-5.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY INSTALLATION, INSPECTION AND REPAIR OR REPLACEMENT OF EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION.
- SC-6.) THE CONTRACTOR SHALL INSPECT AND REPAIR EROSION AND BEDIMENT CONTROL DEVICES AT THE END OF EACH WORKING DAY AND AFTER EACH STORM.
- SC-7.) THE CONTRACTOR SHALL RESTORE DISTURBED AREAS AS CLOSELY AS POSSIBLE TO THEIR ORIGINAL CONDITIONOR AS DIRECTED
- SC-8.) LOCAL MUNICIPAL STAFF SHALL NOTIFY MR. FRANK CORY HEREINAFTER REFERRED TO AS THE "OWNER", OF ANY UNSATISFACTORY EROSION CONDITIONS NOT CONTROLLED BY THIS PLAN AND SHALL INSTALL ADDITIONAL MEASURES AS DIRECTED BY THE TOWN OR ENGINEER. THE OWNER MAY BE CONTACTED AT (203) 733-3218 IN CASE OF EMERGENCY.
- THE MUNICIPALITY SHALL BE NOTIFIED IN WRITING WITHIN 48 HOURS IF THERE IS A CHANGE IN THE EMERGENCY CONTACT INDIVIDUAL OR PHONE NUMBER.
- SC-9.) FIELD CHANGES TO THIS PLAN SHALL BE MADE ONLY WITH THE WRITTEN CONSENT OF THE ENGINEER AND MUNICIPAL APPROVAL.
- SC-IO.) ACCUMULATED SEDIMENT REMOVED FROM EROSION CONTROL DEVICES SHALL BE SPREAD AND STABILIZED IN LEVEL, EROSION RESISTANT LOCATIONS AS GENERAL FILL WITHIN LANDSCAPE AREAS OR REMOVED FROM SITE.
- SC-IL) ALL DISTURBED AREAS NOT COVERED WITH GRAVEL/STONE SURFACES, WALKWAYS, OR BLDGS/DECKS SHALL BE PLANTED WITH AN APPROVED FINAL LAWN GRASS SEED STABILIZATION MIX ON 4" MIN TOPSOIL.
- SC-12.) MULCHING: IMMEDIATELY FOLLOWING LAWN SEEDING, MULCH THE SEEDED SURFACE WITH STRAW OR HAY AT A RATE OF 2 BALES PER 1000 SF. SPREAD MULCH BY HAND OR MULCH BLOWER. PUNCH MULCH INTO SOIL SURFACE WITH TRACK MACHINE APPROXIMATELY 2" TO 3" TO ANCHOR SECURELY INTO SOIL.
- ALL HAYBALES SHALL BE TOED INTO EXISTING SUBSTRATE SOILS AND STABILIZED WITH STURDY STAKES (TWO PER BALE).
- SC-14.) DUE TO LACK OF AVAILABLE SITE AREA, STRIPPED TOPSOIL SHALL NOT BE STOCKPILED ON-SITE AND SHALL BE REMOVED FROM SITE AFTER INITIAL STRIP.
- SC-15.) ESTIMATED SITE & BUILDING CONSTRUCTION DURATION: 12 MONTHS
- SC-16.) AREA OF SITE EARTHWORK DISTURBANCE = 3,800+/- S.F.
- SC-17.) THE AREAS OF MAJOR IMPORTANCE FOR SEDIMENTATION & EROSION CONTROL FOR THIS PROJECT INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:
 - EXIST 25' BUFFER SETBACK FROM MHW SHOREFRONT - ALL SITE FLOWS TOWARD TIDAL MYSTIC RIVER SHORELINE
 - ALL CTDEEP REGULATED TIDAL WETLANDS ACROSS THE STREET.
 - ALL ADJACENT PROPERTIES
 - ALL AREAS IMMEDIATELY DOWNGRADE OF ALL EXCAVATION CUTS & FILLS. - STREET GUTTER ALONG PUBLIC R.O.W.'S.

STABILIZATION NOTES

- ST-I.) ALL DISTURBED AREAS NOT COVERED BY BUILDING OR GRAVEL DRIVEWAYS; SHALL BE STABILIZED AS FOLLOWS:
- a. PLACE A MINIMUM OF 4 INCHES OF TOPSOIL IN ALL AREAS THAT HAVE BEEN STRIPPED. APPLY LIMESTONE AND FERTILIZER IN ACCORDANCE WITH TEST RECOMMENDATIONS. USE ONLY ORGANIC FERTILIZER WITH SLOW-RELEASE NITROGEN AND CONTAINING NO PHOSPHOROUS. APPLY FERTILIZER IN SMALL AMOUNTS. DO NOT OVER-APPLY. b. APPLY ALL GRASS SEED MIXTURE AT MANUFACTURER'S RECOMMENDED RATE.
- C. APPLY STRAW OR HAY MULCH ON ALL NEWLY SEEDED AREAS.
- d. SEEDING SHALL TAKE PLACE BETWEEN APRIL I AND JUNE 15, OR SEPT. 15 TO OCT. 30. SEEDING DURING THESE TIME FRAMES SHALL APPLY STRAW OR HAY MULCH AT A RATE OF 2 BALES PER 1000 SF. IF THE SEEDING IS APPLIED OUTSIDE OF THESE TIMEFRAMES, THE AREAS SHALL BE STABILIZED WITH STRAW/HAY MULCHING - 90 LBS./1000 SF.
- ST-2.) ALL DISTURBED AREAS GRADED 3:1 OR SHALLOWER BY CONSTRUCTION SHALL BE SEEDED WITH A RED FESCUE SEED MIX THAT REQUIRES MINIMAL FERTILIZER/NITROGEN. SEEDING RATE OF 5-7 LBS PER ACRE IS RECOMMENDED.
- ST-3.) MULCHING SHALL BE APPLIED IN THE FOLLOWING MANNER: SPREAD MULCH BY HAND OR MULCH BLOWER. PUNCH MULCH INTO SOIL SURFACE WITH TRACK MACHINE APPROXIMATELY 2"-3" TO ANCHOR INTO SOIL.
- ST-4.) WHEN ALL AREAS ARE STABILIZED, REMOVE ALL EROSION AND SEDIMENT CONTROL DEVICES AND DISPOSE OF ALL ACCUMULATED SEDIMENTS AT A PRE-APPROVED LOCATION.

DEMOLITION & SAFETY NOTES

- D-I.) CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS INCLUDING BUT NOT LIMITED TO CLEARING, DEMOLITION, SITEWORK, TEMPORARY \$ PERMANENT POWER & ALL OTHER UTILITY SERVICES; SIDEWALK CLOSURE, R.O.W. ENCROACHMENT, ROAD CUT AND ANY OTHER PERMIT THAT MAY APPLY. D-2.) ANY PAVEMENT REMOVAL WITHIN THE TRAVELLED PORTIONS OF ROADS AND PARKING AREAS SHALL BE SAWCUT SMOOTH WITH TRUE ALIGNMENT.
- D-3.) CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL SURPLUS MATERIAL OFF SITE. ON-SITE STOCKPILING IS NOT PERMITTED.
- D-4.) CONTRACTOR SHALL MAINTAIN THE STAKED SEDIMENT FENCE ALONG LIMITS OF SITE DISTURBANCE AS SHOWN HEREON AND SHALL ENSURE THAT NO SITE DISTURBANCE/ENCROACHMENTS OCCUR BEYOND THE FENCELINE. D-5.) CONTRACTOR SHALL PROTECT EXISTING TIDAL WETLANDS AREAS & DIRECT SHORELINE FROM ANY DAMAGE OR ALTERATION/SEDIMENTATION OR ADVERSE IMPACTS.
- D-6.) CONTRACTOR SHALL BARRICADE AND APPROPRIATELY SIGN ALL EXCAVATED TRENCHES, TEST HOLES AND OTHER EXCAVATIONS TO PREVENT ACCIDENTAL FALLS AND UNAUTHORIZED ENTRY DURING THE CONSTRUCTION PHASE. ALL WORK PROCEDURES & INSTALLATIONS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE O.S.H.A. AND OTHER RELATED STATE & FEDERAL SAFETY REGULATIONS. TEST HOLES/PITS AND EXCAVATIONS DEEPER THAN 3' SHALL NOT BE LEFT EXPOSED OR UNPROTECTED OVER NIGHT OR FOR ANY 24-HOUR PERIOD AND SHALL NOT ALLOW UNSUPERVISED PUBLIC ACCESS TO SAME.
- D-7.) CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL DEMOLITION & RELATED WORK IN SUCH A MANNER SO THAT NO UNREASONABLE DISTURBANCE, DUST DEBRIS OR DAMAGE OCCURS TO ADJACENT PROPERTIES OR THE GENERAL PUBLIC D-9.) THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHORING, TRENCHBOX SUPPORT AND THE LIKE, FOR ALL EXCAVATIONS AS REQUIRED. NO WORKERS ARE
- PERMITTED TO ENTER OR WORK WITHIN AN UNPROTECTED EXCAVATION. D-IO.) THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMP DE-WATERING OF EXCAVATIONS AS REQUIRED. METHODS SHALL NOT PRODUCE EROSION OR SEDIMENTATION

ANYWHERE ON-SITE OR OFF-SITE.

D-11) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY TRAFFIC CONTROL INCLUDING FLAGPERSONS, BARRIERS, FENCING, BARRICADES, SIGNAGE. TEMPORARY LIGHTS, ETC. DURING ANY SITE INVESTIGATION, TEST PITS, DEMOLITION WITHIN THE TOWN STREET R.O.W.

HEALTH CODE REFERENCE:

THIS DESIGN, INCLUDING ALL MATERIALS, SETBACKS & INSTALLATION SHALL BE IN ACCORDANCE WITH THE STATE OF CT D.P.H. PUBLIC HEALTH CODE PHC SECT. 19-13-BIO3 INCLUDING THE ON-SITE SEWAGE DISPOSAL REGULATIONS & TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS (DESIGN FLOWS 5000 GPD OR LESS); EFFECTIVE DATE: 08/01/1982 AND REVISED THRU 01/01/2018.

POST-INSTALLATION AS-BUILT REQUIREMENTS

INSTALLER SHALL SUBMIT SCALED AND/OR TIED AS-BUILTS PREPARED BY A LAND SURVEYOR TO THE LLHD SANITARIAN OFFICIAL UPON 30 DAYS OF COMPLETION WITH DISTANCES TO FLOW LINE AT THE HOUSE, INLET AND OUTLET COVER OF TANK, D-BOX, CLEAN-OUTS AND ENDS OF LEACHING ROWS, WELL, FOOTING/CURTAIN DRAINS (AS APPLICABLE) & BETWEEN TIE POINTS. PROVIDE NAME OF INSTALLER, DATE, HOUSE LOCATION, STREET ADDRESS & DIRECTIONAL ARROW.

CONFIRMATORY TEST PITS & PERC TESTS REQUIRED

CONTRACTOR SHALL EXCAVATE A TEST HOLE IN THE AREA OF PROPOSED SSDS FOR CONFIRMATION OF SOIL CONDITIONS PRIOR TO SYSTEM INSTALLATION AND SHALL BE WITNESSED BY LEDGELIGHT HEALTH DISTRICT. THE NEW SSDS IS PROPOSED TO BE INSTALLED IN SELECT FILL MATERIAL. CONFIRMATORY PERC TESTS SHALL BE PERFORMED WITHIN THE PLACED FILL & WITNESSED BY LEDGELIGHT HEALTH DISTRICT. AND SHALL NOT BE SLOWER THAN 20.0 MINUTES PER INCH.

EXISTING CONDITIONS DESCRIPTION

- EXISTING HOUSE IS I I/2-ST WOOD FRAME I-BR; 490 +/- SF (FOOTPRINT) A-FRAME HOUSE. ON CMU BLOCK PIERS (DEPTH/QTY OF PIERS UNKNOWN).
- AREA BELOW ISt FLOOR IS UNENCLOSED CRAWLSPACE.
- HOUSE IS A YEAR-ROUND USE (NON-SEASONAL) - EXISTING HOUSE IST FF ELEV +6.80 (7.2' BELOW BASE FLOOD ELEVATION
- EXISTING HOUSE IS NON-FEMA COMPLIANT. - EXISTING HOUSE TO BE ENTIRELY DEMOLISHED & REMOVED
- THE EXISTING HOUSE IS CURRENTLY SERVED BY AN UNKNOWN SEPTIC TANK & UNKNOWN LEACHING SYSTEM LOCATED IN THE FRONT YARD IN A MOUNDED SYSTEM AREA.
- SITE TOPOGRAPHY IS 3.5%+/- AND HIGHEST SITE GRADE IS ELEV. +5.0 (NAVD).
- SITE CONSISTS OF MOSTLY GRASS LAWN; NO WOODED AREAS WITHIN PARCEL BOUNDARIES. - HOUSE HAS EXISTING ACTIVE PUBLIC DOMESTIC WATER SERVICE CONNECTION.

PROPOSED NEW WORK PROJECT DESCRIPTION:

- PROPOSED HOUSE = 2-BR; DAILY SAN FLOW = 300 GPD (+150 GPD INCREASE)
- HOUSE TO BE ELEVATED ON FEMA TYPE "A" DRIVEN TIMBER PILE FOUNDATION.
- EXIST SSDS & ALL ASSOCIATED COPMPONENTS TO BE REMOVED ENTIRELY. - STRIP & REMOVE ALL EXIST FILL, ORGANICS & MUCK LAYER WITHIN 5' ALL AROUND NEW SSDS AREA DOWN TO NATURAL SOIL LAYER.
- INSTALL APPROVED SEPTIC GRAVEL AS SPECIFIED HEREON
- INSTALL NEW 1000 GAL 2-COMP PRECAST CONC SEPTIC TANK.
- LEACHING SYSTEM DESIGNED AS GRAVITY FED.
- NEW SSDS IS DESIGNED BASED ON RESTRICTIVE LAYER @ TIDAL MHW (EL. +0.90) - GWT IS TIDALLY INFLUENCED; NO LEDGE ENCOUNTERED TO 76"
- LEACH FIELD SHALL BE INSTALLED IN NON-TRAFFIC LAWN AREA (NOT H-20 RATED) - SSDS SYSTEM & COMPONENTS TO BE RATED FOR VEHICLE WHEEL LOADING OVER SYSTEM. - LEACH FIELD SHALL BE LOCATED IN FRONT YARD
- BOTTOM OF LEACHING BED TO BE 24" MIN ABOVE TIDAL GWT & 48" MIN ABOVE LEDGE. - INSTALL NEW RE-ROUTED DOMESTIC WATER SERVICE FROM EXISTING WATER GATE. - INSTALL NEW U/G ELEC/TEL/CATV FROM NEW POLE RISER IN SE CORNER.
- INSTALL NEW CRUSHED STONE SURFACE DRIVEWAY TO HOUSE

COASTAL RESOURCES TO BE ADDRESSED:

FLOOD HAZARD AREA: ENTIRE SITE IS LOCATED WITHIN THE FEMA HIGH COASTAL HAZARD "VE" ZONE; BASE FLOOD ELEV. +14.00 NAVD.

THE PROPOSED HOUSE WILL BE ELEVATED & DESIGNED IN ACCORDANCE WITH WITH ZR 7.7.8.3.2 TO BE ELEVATED SO THAT THE BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER IS AT LEAST I.O FT ABOVE THE BASE FLOOD ELEVATION. THE ENTIRE LOWER LEVEL BELOW THE BASE FLOOD ELEVATION SHALL PROVIDE UNOBSTRUCTED FREE-FLOWING FLOOD WATERS TO PASS BELOW THE HOUSE WITHOUT CAUSING STRUCTURAL DAMAGE TO THE MAIN SUPPORT STRUCTURE THE LEVEL BELOW THE 1st FL LIVING SPACE SHALL BE USED ONLY FOR VEHICLE PARKING & GENERAL UNINSURABLE STORAGE. NO MECH/HVAC/ELECT SYSTEMS/EQUIPMENT SHALL BE LOCATED LOWER THAN I.O FT ABOVE THE BASE FLOOD ELEVATION. ALL MATERIALS WITHIN I.O FT OF THE BASE FLOOD ELEV SHALL BE AN APPROVED FLOOD-RESISTANT MATERIAL AS SPECIFIED BY FEMA / NFIP REGULATIONS & DESIGN CRITERIA. NEW SAN SEWER AND DOMESTIC WATER COMPOENTS BELOW THE BASE FLOOD ELEVATION SHALL BE INSTALLED WITH REQUIRED BACK-FLOW & SHUT-OFF VALVING TO ELIMINATE ANY POTENTIAL CONTAMINATION DURING FLOOD STAGE EVENTS.

TIDAL WETLANDS: THIS SITE IS LOCATED ACROSS THE STREET FROM DESIGNATED CTDEEP TIDAL WETLANDS/MARSH AREAS (LOCATED ON EAST SIDE OF ROSELEAH DRIVE). ALTHOUGH THE PARCEL BOUNDARIES ARE NOT DIRECTLY ADJACENT TO THESE TIDAL WETLAND AREAS, EXTREME CARE & CAUTION SHALL BE IMPEMENTED FOR ALL CONSTRUCTION ACTIVITIES TO PREVENT ANY DAMAGE, ENCROACHMENTS, FILLING, SEDIMENT LADEN RUN-OFF FROM ENTERING THESE REGULATED TIDAL WETLAND AREAS.

THIS SESC PLAN WAS DEVELOPED TO PROTECT WETLANDS & SHORELINE FROM ANY SEDIMENTATION. PROPOSED GRASS LAWN FERTILIZERS WILL BE LIMITED TO ORGANIC FERTILIZER WITH NO PHOSPHOUROUS CONTENT, TO BE APPLIED IN MINIMAL AMOUNTS NECESSARY TO ESTABLISH STABILIZED GRASS/LAWN COVER. NO EXCESSIVE USE OF FERTILIZER IS PERMITTED NO DISTURBANCE/ENCROACHMENTS, FILLING IS PROPOSED WITHIN THE TIDAL WETLANDS.

- I.) ALL UTILITIES SHOWN OR REFERRED TO IN THIS PLAN ARE APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY SITE CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455 OR 811 AT LEAST THREE (3) BUSINESS DAYS PRIOR TO ANY EXCAVATION.
- 2.) CONTRACTOR SHALL INSTALL A TEMPORARY STAKED SEDIMENT BARRIER AROUND THE LIMITS OF PROPOSED TEMPORARY SITE SURFACE DISTURBANCE AS SHOWN HEREON. 3.) THE CONTRACTOR SHALL STRIP ALL SURFACE TOPSOIL TO 5' BEYOND THE LIMITS OF ANY SITE DISTURBANCE OR PROPOSED GENERAL SITE FILL.
- 4.) THE CONTRACTOR SHALL STRIP ALL UNSUITABLE FILLS/SOILS TO 5' BEYOND THE LIMITS OF THE PERIMETER OF THE NEW SSDS. DEPTH OF STRIP SHALL BE TAKEN DOWN BELOW THE ORIGINAL SUB-TOPSOIL MUCK LAYER TO EXPOSE THE NATURAL SOIL STRATA BELOW. THE NATURAL SOIL SUBGRADE SALL BE PROPERLY SCARIFIED PRIOR TO ANY NEW SEPTIC FILL INSTALLATION.
- 5.) ALL STRIPPED TOPSOIL AND UNSUITABLE/ORGANIC/MUCK STRIPPED SOILS SHALL NOT BE STOCKPILED ON-SITE DUE TO AREA CONSTRAINTS, AND MUST BE REMOVED FROM THE SITE. ALL OTHER STRIPPED MATERIAL MUST BE DE-WATERED AS REQUIRED AND REMOVED FROM THE SITE TO AN APPROVED LOCATION.
- 6.) THE BOTTOM OF THE LEACHING FIELD EXCAVATION SHALL BE LEVEL, SCAR-IFIED AND PREPARED IN ACCORDANCE WITH THE "CONNECTICUT PUBLIC HEALTH CODE, REGULATIONS & TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS, LATEST REVISION, WHICH SHALL BE A PART OF THIS PLAN.
- 7.) NOT LATER THAN TWO (2) DAYS AFTER INSTALLATION OF LEACHING SYSTEM HAS BEEN INSPECTED & APPROVED BY THE LOCAL SANITARIAN, THE CONTRACTOR SHALL BACKFILL THE SYSTEM AS SHOWN ON THE PLAN.
- 8.) CONTRACTOR SHALL IMPORT & DISTRIBUTE THE TOPSOIL TO A MINIMUM DEPTH OF FOUR (4) INCHES, GRADE THE FINISHED SURFACES TO DRAIN AND TO PREVENT EROSION/SEDIMENTATION AND PONDING.
- 9.) THE AREA OF SITE DISTURBANCE IS APPROXIMATELY 3,800 +/- S.F. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL EROSION AND/OR SEDIMENTATION FROM THE EXPOSED EXCAVATION. AS SUCH, THE CONTRACTOR SHALL USE THE "STATE OF CONNECTICUT GUIDE-LINES FOR SOIL EROSION AND SEDIMENT CONTROL" LATEST REVISION, AS A GUIDE FOR METHODS OF SOIL LOSS PREVENTION, WHICH SHALL BE A PART OF THIS PLAN.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON ANY $|O_{\cdot}\rangle$ DISCOVERY OF SITE CONDITIONS NOT ADDRESSED BY THIS PLAN. THE CONTRACTOR SHALL NOT DEVIATE FROM THIS PLAN WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER, MUNICIPAL STAFF AND THE LOCAL SANITARIAN.
- 11.) THE NEW 1000 GALLON LOW-PROFILE 2-COMP PRECAST CONCRETE SEPTIC TANK SHALL BE INSTALLED AND ANCHORED AGAINST BUOYANCY. THE ACCESS LIDS SHALL BE SECURED.
- 12.) ALL ROOF DRAIN DISCHARGES SHALL BE RELOCATED AS REQ'D TO DIRECT AWAY FROM THE PROPOSED LEACHING FIELD WITH A MINIMUM SEPARATING DISTANCE OF TWENTY-FIVE (25) FEET.
- 13.) THE BUILDING SEWER LINE FROM THE FDN TO THE SEPTIC TANK AND ALL SSDS GRAVITY DISTRIBUTION PIPING SHALL CONFORM TO ASTM 3034 SDR35 WITH RUBBER COMPRESSION GASKET TIGHT JOINTS.
- 14.) HOUSE SAN PIPE TO SEPTIC TANK SHALL BE MIN. GRAVITY SLOPE OF 1/4" PER FT (S=0.021) EFFLUENT PIPE FROM SEPTIC TANK TO LEACH FIELD SHALL BE MIN. GRAVITY SLOPE OF (S=0.01) OR AS SHOWN; ALL SAN SEWER PIPING & LAID TRUE WITH NO LOW POINTS OR "BELLIES"
- 15.) ALL DISTURBED AREAS NOT COVERED BY DRIVEWAYS, BUILDINGS OR WALKS SHALL BE PLANTED WITH 4" MIN. LAYER OF TOPSOIL, LIMED, FERTILIZED, SEEDED AND MULCHED FOR A GRASS LAWN.
- (6.) FINAL GRADED SURFACE SHALL DIRECT DRAINAGE AWAY FROM THE LEACHING SYSTEM. FINAL GRADES SHALL NOT EXCEED 3:1 (HORIZ: VERTICAL).
- 17.) ALL SELECT SEPTIC FILL THAT IS USED AROUND THE SYSTEM SHALL BE AN APPROVED SELECT BACKFILL - SAND & GRAVEL CONFORMING TO SECT VIII(A) OF THE CT. PUBLIC HEALTH CODE TECHNICAL STANDARDS LATEST EDITION: AS FOLLOWS:

A. FILL SHALL NOT CONTAIN MATERIAL LARGER THAN 2". B. UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #45 SIEVE (GRAVEL PORTION OF SAMPLE) C. MATERIAL THAT PASSES THE #4 SIEVE IS RE-WEIGHED, AND THE GRADATION ANALYSIS STARTED.

PERCENT PASSING

D. THE REMAINING SAMPLE SHALL MEET THE FOLLOWING CRITERIA: <u>SIEVE SIZE</u>

#4	 00%
# 0	 70% - 100%
#40	 0% - 50%
# <i>00</i>	 0% - 20%
#200	 0% - 5%

- 18.) ALL SELECT SEPTIC FILL THAT IS USED WITHIN THE SYSTEM SHALL BE INSTALLED WITH AN IN-PLACE PERCOLATION RATE NOT BE SLOWER THAN 20.0 MINUTES/INCH INSTALLED FILL SHALL BE PERC TESTED TO VERIFY THIS REQUIRED CRITERIA PRIOR TO LEACHING SYSTEM INSTALLATION AS WITNESSED BY AN LLHD REPRESENTATIVE. 19.) THIS PLAN IS FOR A LEACH FIELD REPAIR; NO RESERVE AREA IS PROVIDED
- 20.) SINGLE-FAMILY RESIDENTIAL VEHICLE WHEEL DRIVEWAY & PARKING ARE PROPOSED OVER AND SUBJECTED TO THE SURFACE AREA OF THE PROPOSED LEACHING FIELD. ALL NEW SANITARY LEACHING FIELD & PIPING FOR THE LEACH FIELD SHALL BE BEDDED, COVERED & RATED FOR H-20 TRAFFIC WHEEL LOADS.
- 21.) THE NEW SEPTIC TANK, D-BOX, FRAMES & COVERS ARE LOCATED BELOW A GRASS LAWN BUT SHALL BE RATED FOR VEHICULAR WHEEL LOADING.
- 22.) DRIVEWAY SURFACE OVER LEACH FIELD IS PROPOSED AS CRUSHED STONE.
- 23.) THE SEWAGE CONTRACTOR SHALL OBTAIN AN INSTALLATION PERMIT IN ADVANCE OF INITIATING ANY WORK ON THE SEWAGE SYSTEM AREA, IN ORDER TO COORDINATE THE NECESSARY INSPECTIONS, INCLUDING STAKE-OUT, STRIPPING, FILL MATERIAL APPROVAL, FILLING AND COMPONENT INSTALLATION.
- 24.) ANY EXTERIOR DECK OR ACCESSORY STRUCTURES WITHOUT FROSTWALL FOUNDATIONS SHALL BE LOCATED AT LEAST 5' FROM ANY PART OF THE SEPTIC SYSTEM INCLUDING THE SEPTIC TANK AND LEACHING FIELD.
- 25.) THE <u>GST-6224</u>^B SYSTEM IS A PROPRIETERY MANUFACTURED SYSTEM BY GEOMATRIX CORPORATION. ALL MATERIAL HANDLING, SITEWORK PROTECTION & PREPARATION AND INSTALLATION & MATERIALS SHALL STRICTLY CONFORM TO THE RESPECTIVE GEOMATRIX MANUFACTURER'S SPECIFICATIONS AND REQUIREMENTS. NO DEVIATIONS OR CHANGES SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM MFR. & ENGINEER 26.) NO DOMESTIC WATER WELLS OR GEOTHERMAL WELLS EXIST WITHIN 75 FT OF
- THE PROPOSED SSDS SYSTEM OR ANY OF ITS COMPONENTS. 27.) THE NEW SSDS LEACHING FIELD SHALL BE STAKED OUT IN THE FIELD WITH ALL NECESSARY LAYOUT CONTROL BY A LICENSED LAND SURVEYOR PRIOR TO INSTALLATION.
- 28.) NO DEVIATION FROM THIS SEPTIC SYSTEM DESIGN PLAN SHALL BE PERFORMED WITHOUT EXPRESS WRITTEN CONSENT OF THE ENGINEER OF RECORD & THE LLHD SANITARIAN.



A B C D	PR FOR (SS ISSUE RE\ LLH REVISE	ELIM OWNE DS D E FOF / SSI D CC D FR	RIPTIC ISSUE R RE ESIGN R PER 25 PER 25 PER 20 NT Y TO D	/IEW MIT R TS	06.0 09.2 12.13. 05.19	4.1° 7.19
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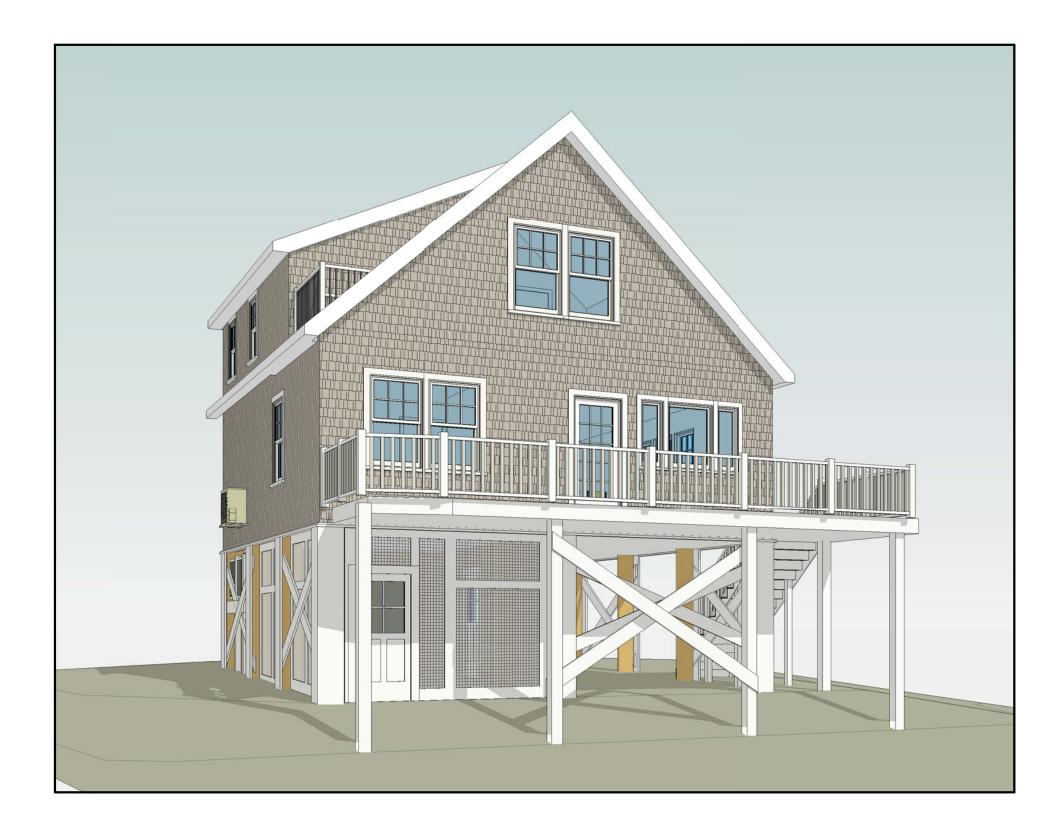
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CORY RESIDENCE 18 ROSELEAH DRIVE

NEW SINGLE FAMILY RESIDENCE MYSTIC (STONINGTON), CONNECTICUT





CODE:

2015 INTERNATIONAL RESIDENTIAL CODE 2018 STATE BUILDING CODE 2015 INTERNATIONAL ENERGY CONSERVATION CODE

BUILDING USE GROUP: SINGLE FAMILY DETACHED R3 CONSTRUCTION TYPE: VB COMBUSTIBLE UNPROTECTED

WIND EXPOSURE: WINDBORNE DEBRIS REGION: **GROUND SNOW LOAD:** WEATHERING: FROST LINE DEPTH: FLOOD ZONE: CLIMATE ZONE: WINTER DESIGN TEMP.: ICE BARRIER REGUIRED: AIR FREEZING INDEX: **MEAN ANNUAL TEMP.:** LATERAL BRACING:

110 MPH, 135 MPH Vult. EXPOSURE D **NO - PER MODIFICATION REQUEST** 30 PSF SEVERE 42" VE EL14 5A 7 DEGREES F YES 1500 50 DEGREES F **BRACED WALLS - SEE STRUCTURAL**

30 P.S.F.

20 P.S.F.

10 P.S.F. 30 P.S.F.

50 P.S.F.

40 P.S.F.

40 P.S.F.

40 P.S.F.

MINIMUM DESIGN LIVE LOADS:

GROUND SNOW LOAD: ATTICS W/ STORAGE: ATTICS W/O STORAGE: SLEEPING AREAS: GARAGES: **DECKS & PORCHES: EXTERIOR BALCONIES:** ALL OTHER SPACES:

BUILDING DATA: SQUARE FOOTAGES: SEE DRAWING A-101

INSULATION:

WINDOW REQUIREMENTS: **IMPACT RATING: PROTECTION SYSTEM:** DP RATING: **1ST FLR. EGRESS:** 2ND FLOOR EGRESS:

SKYLIGHT U-FACTOR:

FRAMED WALL R-VALUE:

CEILING R-VALUE:

FLOOR R-VALUE:

SLAB R-VALUE:

N.A. N.A. DP50 YES, 5.7 S.F., 20" H MIN., 24" W MIN. YES, 5.7 S.F., 20" H MIN., 24" W MIN. OPENING LIMITING DEVICE: YES @ SILLS 6'0" ABOVE GRADE

FENESTRATION U-FACTOR: 0.32 0.50 R-49 0R R-38 FULL TO EAVE R-21 OR R-13 + R-5 **R-30** BASEMENT WALL R-VALUE: R-10/R-13 R-10, 4FT.

SCOPE OF WORK:

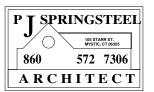
NEW 2 STORY, ELEVATED SINGLE- FAMILY DWELLING AND RELATED SITE WORK IN VE EL14 FLOOD ZONE.

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NOTE: THE DESIGNS, SPECIFICATIONS AND PLANS FOR CONSTRUCTION ARE IN ACCORDANCE WITH ACCEPTED STANDARDS OF PRACTICE TO MINIMIZE FLOODING AND FLOOD DAMAGE

NOTE: ALL UTILITIES ARE ELEVATED ABOVE EL 15.0', BFE EL +14'0" +1'0".

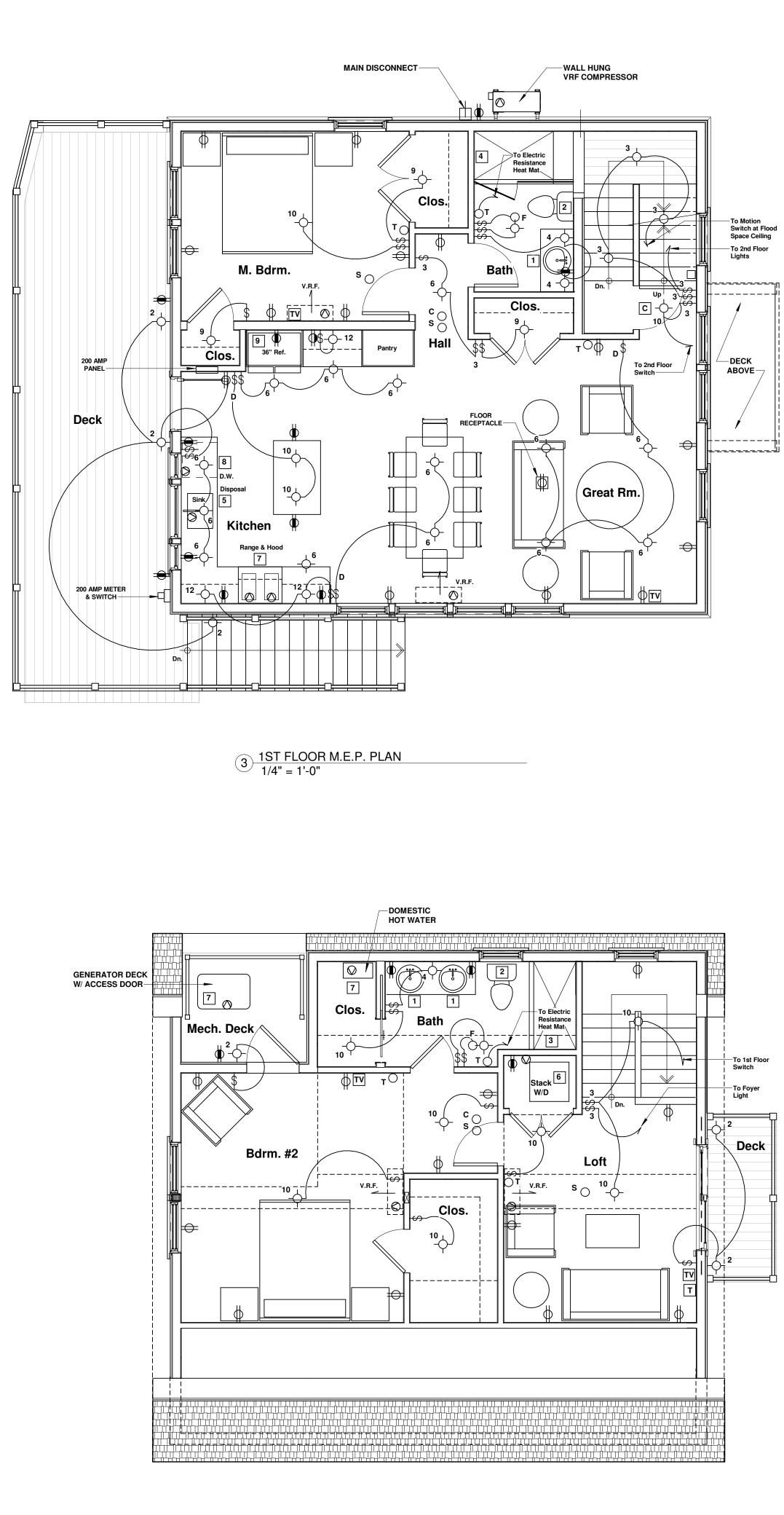
> E - Mail: peter.springsteel@snet.net



DATE: 2 MAY 2020

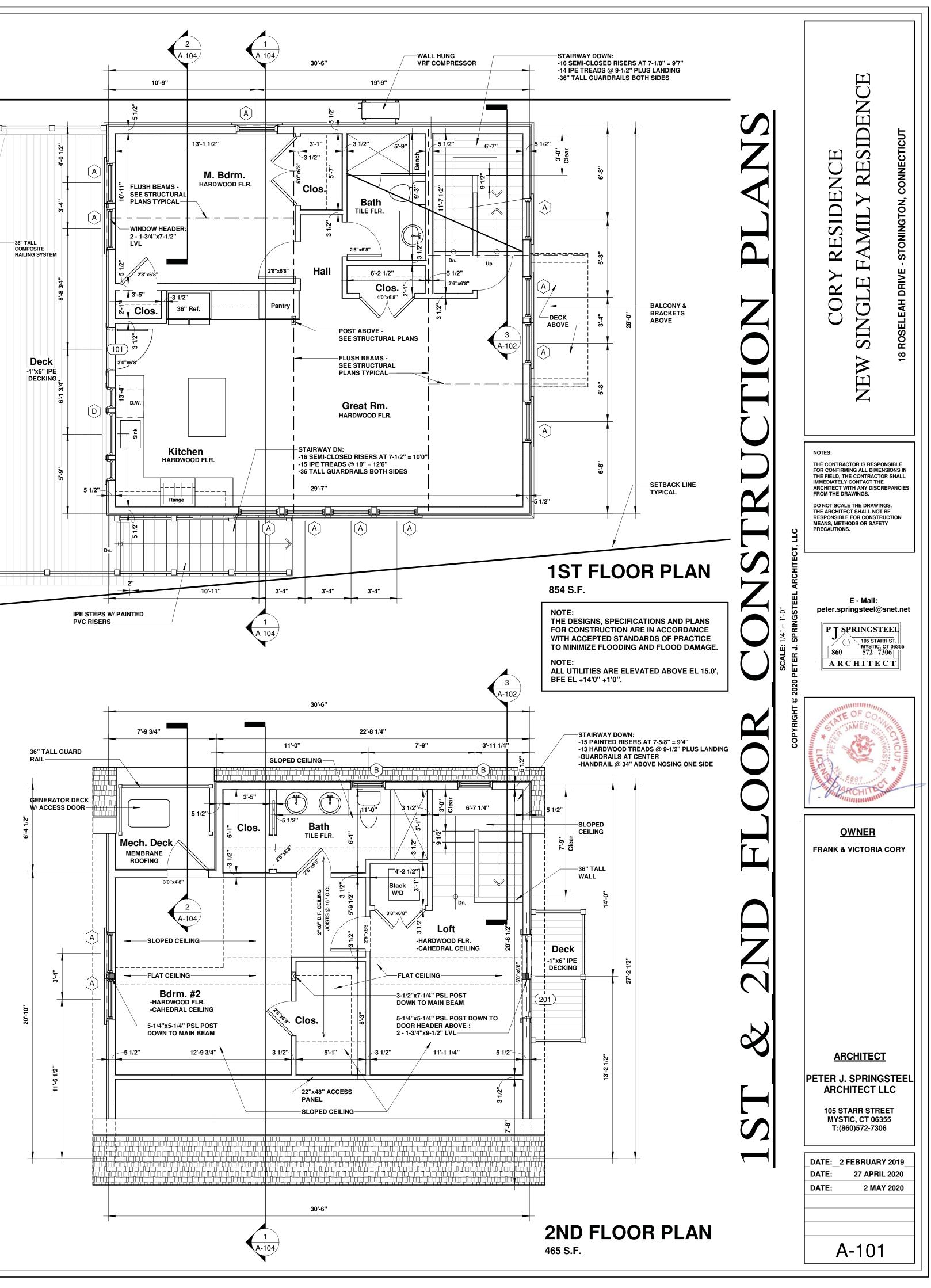
T-101





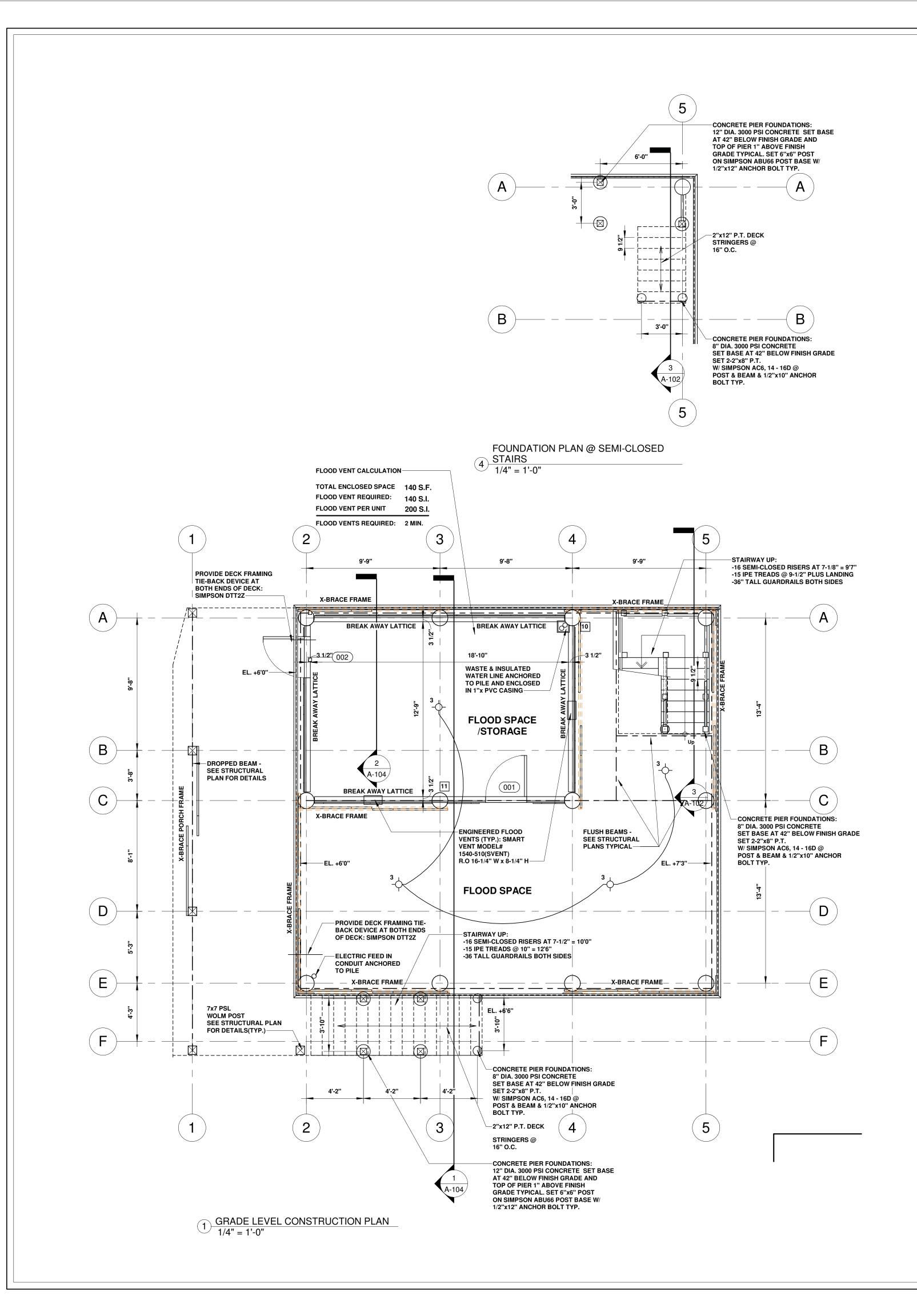
4 <u>2ND FLOOR M.E.P. PLAN</u> 1/4" = 1'-0"

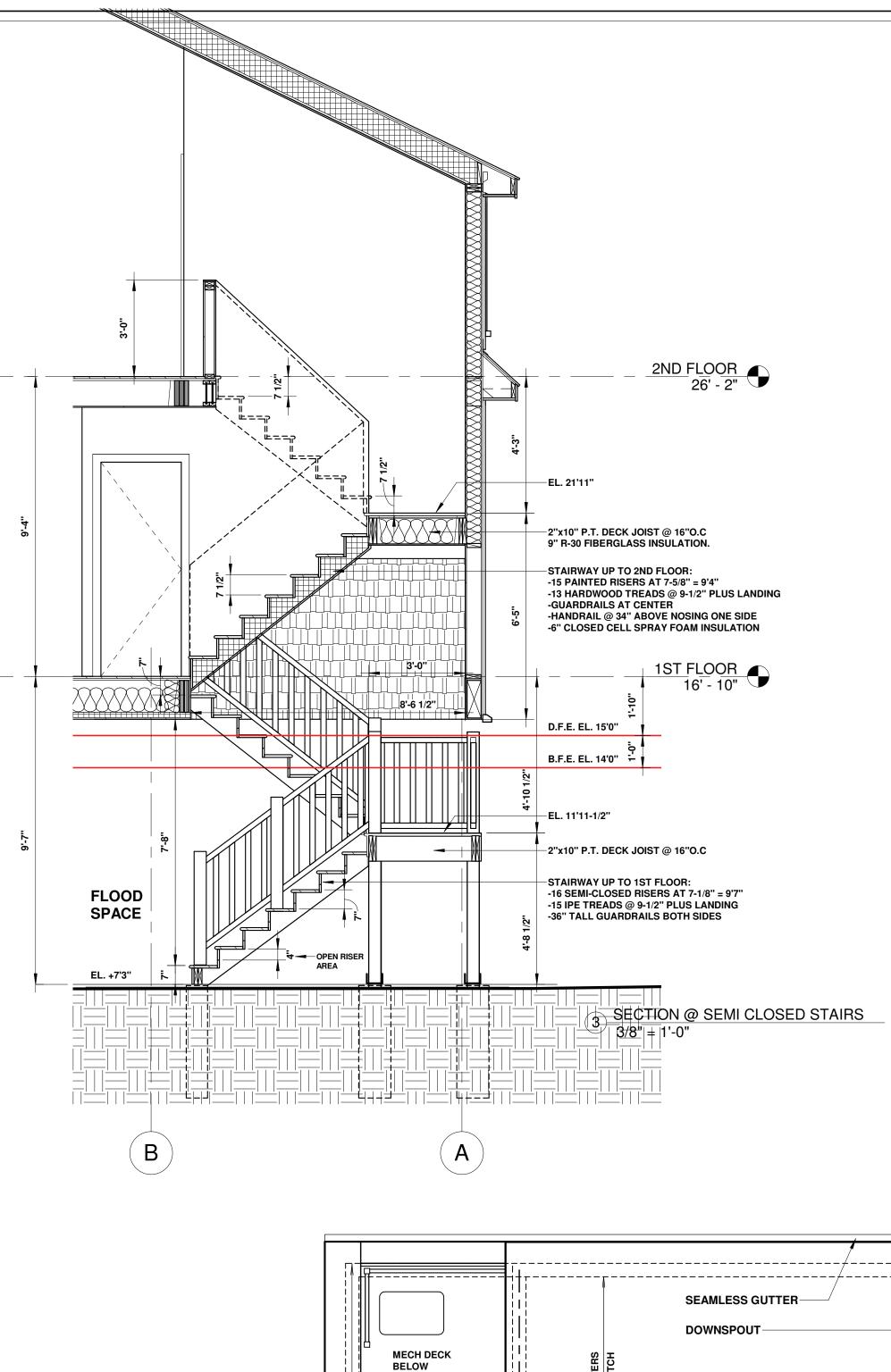
	TRICAL SCHEDULE:			
_ ∽		$\left(\frac{2}{A-104}\right)$	A-104	
ی۔ ع	SINGLE POLE SWITCH/110V/WHITE 3 - WAY SWITCH/110V/ WHITE		\mathbf{Y}_{-}	30'-6''
\$ 4 \$	4 - WAY SWITCH/ 110V/ WHITE 4 - WAY SWITCH/ 110V/ WHITE PLASTIC	10'-9"		
⇒	DUPLEX RECEPTACLE/ 110V/ WHITE PLASTIC			
-		A		
÷	DUPLEX RECEPTICAL/110V/ WHITE LOCATE 6" O.C. ABOVE COUNTERTOP			
+	DUPLEX RECEPTICAL/ 110V/ WHITE LOCATE 6" O.C. ABOVE COUNTERTOP OR 18" AFF AT EXTERIOR. GFCI PROTECTED DEVICE			3'-1" 3 1/2 3 1/2"
\oslash	HARDWIRE MOTOR OR APPLIANCE CONNECTION.	M. Bdrm.		2:-7
c	AC/DC CARBON MONOXIDE DECTECTOR WIRE IN SERIES TO ALL OTHER DETECTORS	Image: Second structural second		Clos.
н⊖	HARD WIRED HEAT DETECTOR			
° O	AC/DC SMOKE DETECTOR WIRED IN SERIES TO ALL OTHER DECTECTORS	36" TALL Mind Wind Wind Mind		
Т	MODULAR TELEPHONE JACK			м
T _O	THERMOSTAT WIRING BY ELECTRICIAN / DEVICE BY PLUMBER: HONEYWALL, TACO OR EQUAL W/ AUTO SETBACK			2'6"x6'8
тv	MODULAR CABLE TV JACK	5 5 6 10 2'8"x6'8"	2'8"x6'8"	
С	СНІМЕ	α α α		r L
	CHIME PUSH BUTTON	ັ້າ Clos. 36" Ref.	Pantry	
V	CENTRAL VACUUM INLET			POST AB
Of	BATHROOM EXHAUST FAN RUN THROUGH ENERGY RECOVERY VENTILATOR			SEE STRI
і -ф-	PLASTIC/PORCELAIN SOCKET W/75W A19	-1"x6" IPE		SEE STRU PLANS T
² -↔-	EXTERIOR WALL MOUNTED FIXTURE AS SELECTED BY OWNER - SEE ALLOWANCES			Great
3 − ↓ −	EXTERIOR DAMP RATED CEILING RECESSED FIXTURE ,L.E.D., LIGHTOLIER OR EQUAL APPROVED BY THE ARCHITECT			HARDWO
4	VANITY WALL MOUNTED FIXTURE AS SELECTED BY OWNER - SEE ALLOWANCES			STAIRWAY DN:
⁵-ф-	4" DIA. CEILING RECESSED L.E.D. FIXTURE LIGHTOLIER OR EQUAL APPROVED BY THE ARCHITECT.	HARDWOOD FLR.		-16 SEMI-CLOSED RISE -15 IPE TREADS @ 10" -36 TALL GUARDRAILS
6 − ↓ −	5" DIA. CEILING RECESSED FIXTURE, L.E.D. FIXTURE LIGHTOLIER OR EQUAL APPROVED BY THE ARCHITECT.	5 1/2"		29'-7"
8 −�	WALL SCONCE FIXTURE AS SELECTED BY OWNER - SEE ALLOWANCES			
9 − ↓ −	WALL MOUNTED CLOSET FIXTURE 2' SINGLE BULB FLOURESCENT STRIP			
¹⁰ -∽	CEILING SURFACE OR PENDANT MOUNTED FIXTURE AS SELECTED BY OWNER - SEE ALLOWANCES			
¹¹ −┿−	CEILING HUNG PADDLE FAN AS SELECTED BY OWNER - SEE ALLOWANCES	2" 	3'-4''	3'-4''
12 -∲-	UNDER CABINET FIXTURE AS SELECTED BY THE OWNER - SEE ALLOWANCES.	IPE STEPS W/ PAINTED PVC RISERS	1 A-104	



PLUMBING SCHEDULE:

- LAVATORY WITH FAUCET SELECTED BY THE OWNER. 1 SEE SPECIFICATIONS FOR ALLOWANCES.
- 1.6 GAL./FLUSH TOILET SELECTED BY THE OWNER 2 THE OWNER. SEE SPECIFICATION FOR ALLOWANCES.
- ALL TILED 32"x60" SHOWER ENCLOSURE W/ GLASS DOOR UNIT, ACRYLIC 3 PAN W/ SCHLUTER MEMBRANE AND PRESSURE BALANCING VALVE & SPOUT AS SELECTED BY OWNER. SEE SPECIFICATIONS FOR ALLOWANCES.
- ALL TILED 36"x68" SHOWER ENCLOSURE W/ BENCH, GLASS DOOR UNIT, 4 MUD-SET TILED PAN W/ SCHLUTER MEMBRANE AND PRESSURE BALANCING VALVE & SPOUT AS SELECTED BY OWNER. SEE SPECIFICATIONS FOR ALLOWANCES.
- SINGLE BOWL STAINLESS OR ENAMELED STEEL SINK WITH FAUCET AND 5 DISPOSAL AS SELECTED BY THE OWNER, SEE SPECIFICATIONS FOR ALLOWANCES.
- WASHER HOT & COLD SUPPLY WITH SHUT-OFFS, DRAIN AND OVERFLOW 6 PAN W/ DRAIN. DRYER EXHAUST DUCT WITH ROOF OR WALL MOUNTED RAIN CAP & BACKDRAFT DAMPER
- 7 PROPANE GAS CONNECTION AND SHUT-OFF.
- DRAIN AND HOT WATER SUPPLY CONNECTION W/ SHUT-OFF TO DISHWASHER.
- 9 COLD WATER SUPPLY CONNECTION WITH SHUT-OFF TO REFRIGERATOR.
- 10 FROST PROOF HOSE BIB WITH HOT & COLD WATER SUPPLY.
- 0UTDOOR SHOWER HEAD AND PRESSURE BALANCING VALVE.





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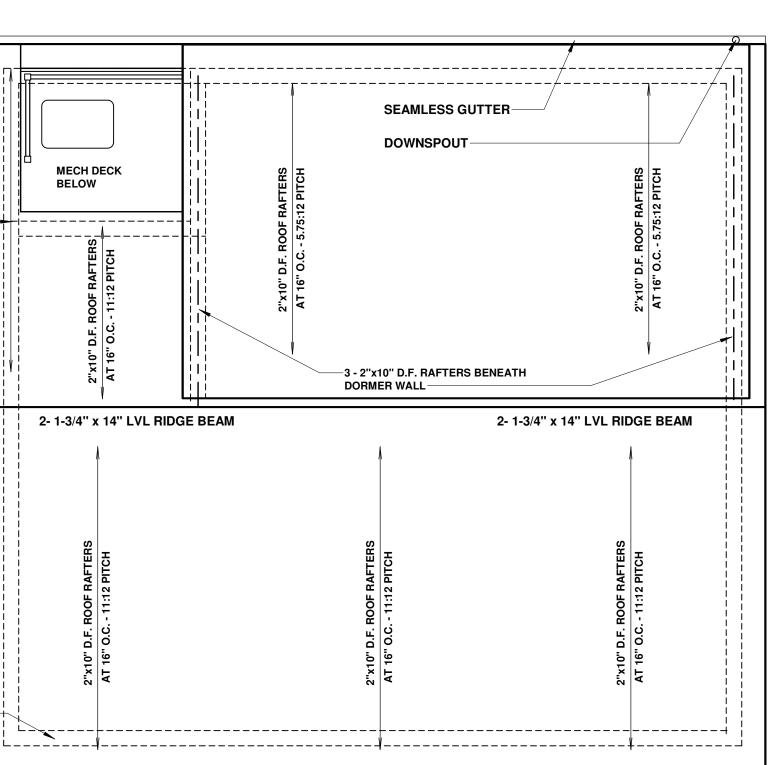
10

2"x10" D.F. ROOF RAFTERS AT 16" O.C. - 11:12 PITCH-

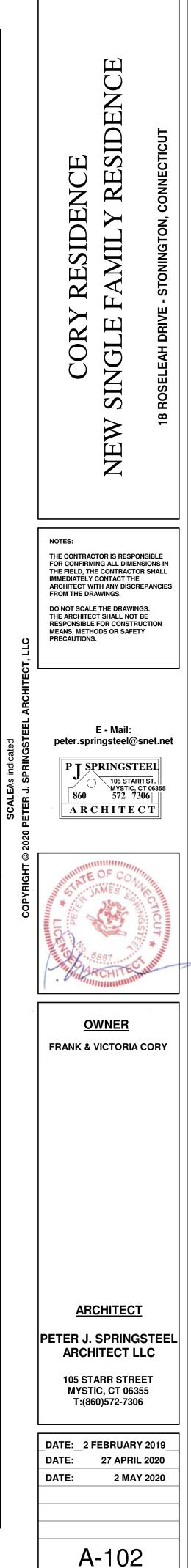
2 ROOF CONSTRUCTION PLAN 1/4" = 1'-0"

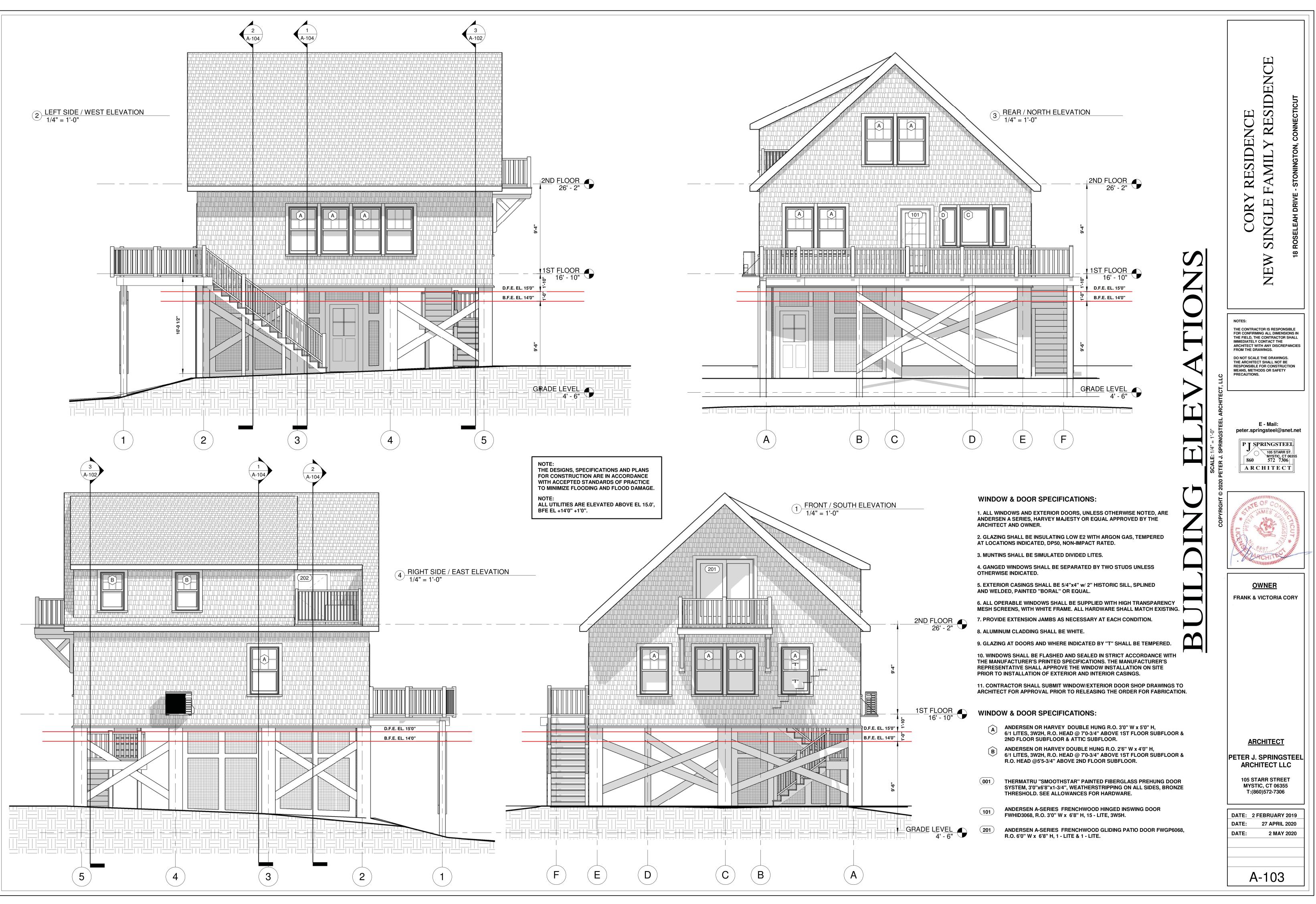
NOTE: BLOCK 2 END BAYS AT ALL GABLE ROOF ENDS W/ 2"x6" D.F. ON THE FLAT 48" O.C. AT SHEATHING SEAMS

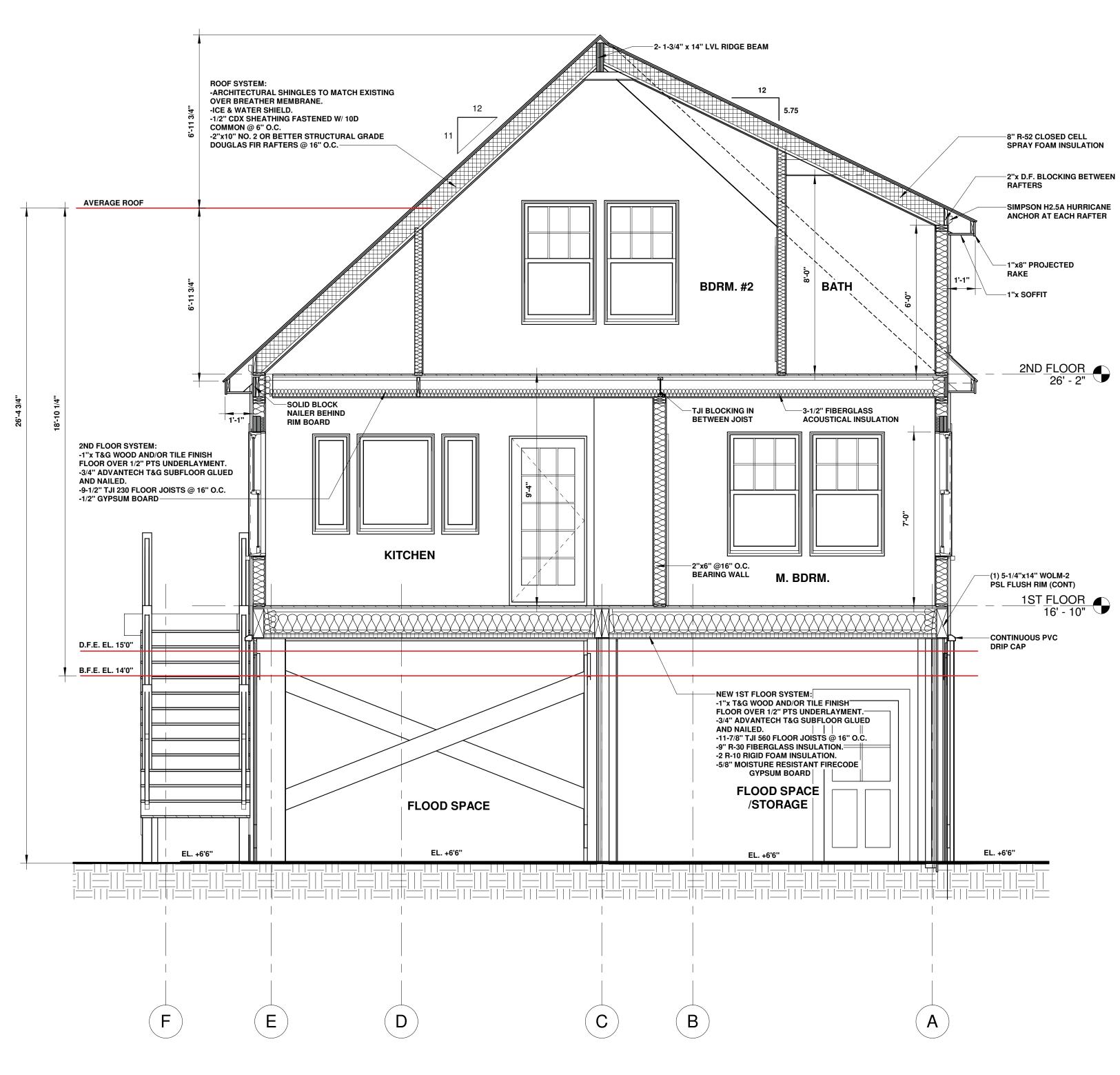
> **BEARING WALL BELOW** TYPICAL-



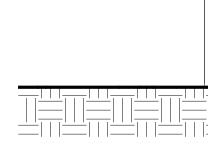
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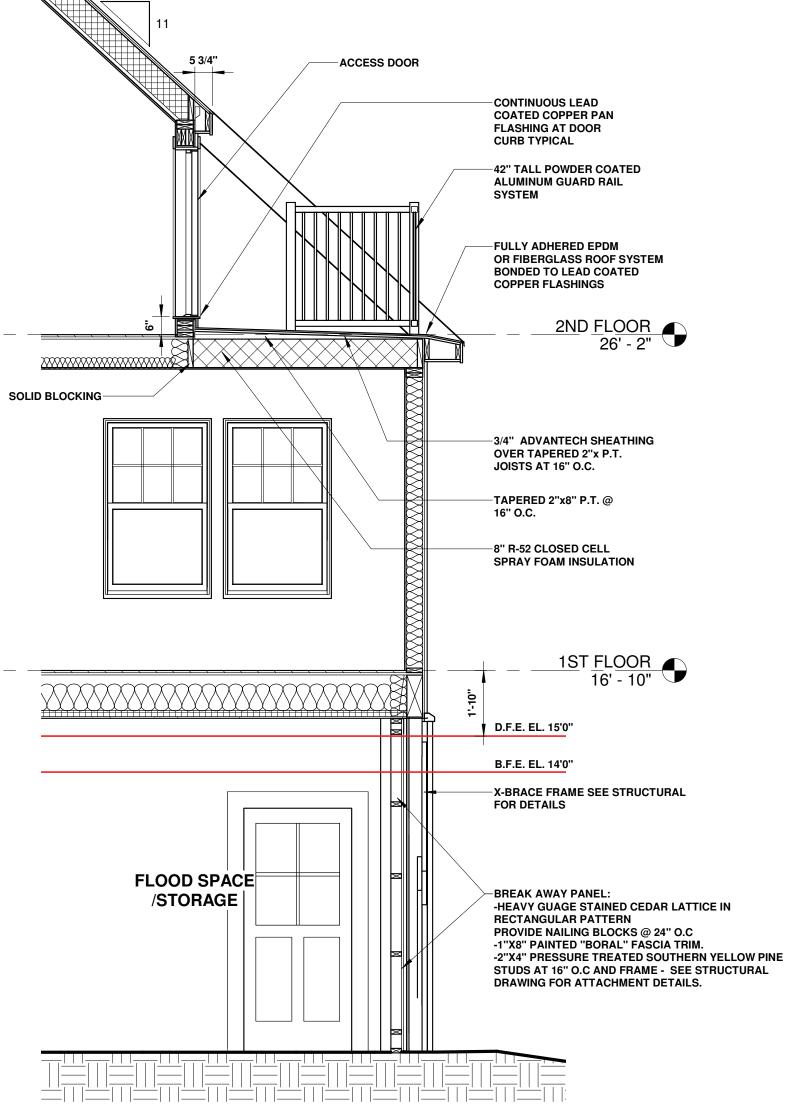


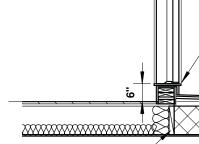


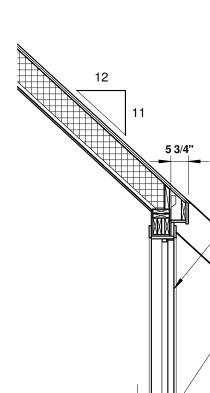


1 <u>SECTION @ MAIN STRUCTURE</u> 3/8" = 1'-0"









NOTE: NOTE:

BFE EL +14'0" +1'0".

THE DESIGNS, SPECIFICATIONS AND PLANS FOR CONSTRUCTION ARE IN ACCORDANCE WITH ACCEPTED STANDARDS OF PRACTICE TO MINIMIZE FLOODING AND FLOOD DAMAGE.

ALL UTILITIES ARE ELEVATED ABOVE EL 15.0',



GENERAL:

-CONTRACTOR SHALL BE LICENSED & INSURED FOR \$2,000.000 GENERAL LIABILITY & WORKMEN'S COMPENSATION AS REQUIRED BY THE STATE OF CONNECTICUT, CONTRACTOR SHALL MAINTAIN CURRENT HOME IMPROVEMENT CONTRACTOR'S LICENSE AND NEW HOME CONSTRUCTION CONTRACTOR'S CERTIFICATE. ALL SUBCONTRACTORS SHALL BE LICENSED IN THEIR SPECIFIC TRADE.

-THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL DIMENSIONS IN THE FIELD. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ARCHITECT WITH ANY DISCREPANCIES WITHIN THE DRAWINGS.

ALLOWANCES:

ALLOWANCES SHALL COVER MATERIALS ONLY UNLESS OTHERWISE NOTED, LABOR TO INSTALL THESE ITEMS SHALL BE INCLUDED ELSEWHERE IN THE BUDGET.

KITCHEN CABINETS:	
-KITCHEN CABINETS & INSTALLATION:	\$30,000
-KITCHEN COUNTERTOPS & INSTALLATION:	\$8,000
-RANGE:	\$2,500
-RANGE HOOD:	\$2,500
-36" REFRIGERATOR:	\$4,000
-DISHWASHER:	\$1,500
-MICROWAVE:	\$1,000
-DISPOSAL:	\$800
-SINK & FAUCET:	\$700
LAUNDRY:	
-WASHER:	\$1,800
M. BATH:	
-BATH CABINETS:	\$800
-COUNTERTOPS:	\$800
-SINK:	\$300
-SINK FAUCET:	\$250
-SHOWER VALVE & HEAD:	\$500
-WATER CLOSET:	\$400
-GLASS SHOWER DOOR:	\$1,800
BATH:	
-BATH CABINETS:	\$800
-COUNTERTOPS:	\$800 \$800
-SINK:	\$300 x 2
-SINK FAUCETS:	\$250 x 2
-SHOWER VALVE & HEAD:	\$230 X 2 \$400
-GLASS SHOWER DOOR:	\$400 \$1,800
-GLASS SHOWEN DOON.	\$1,000
-TOILET SPECIALTIES (MIRRORS, TOWEL BARS, ETC.:	\$1,000
-INTERIOR DOOR HARDWARE:	\$75/DOOR
-EXTERIOR DOOR HARDWARE:	\$250/DOOR
-CERAMIC TILE AT FLOORS & WALLS:	\$8/S.F.
-HARDWOOD FLOORS:	\$8/S.F.
-UNSPECIFIED LIGHT FIXTURES:	\$3,000
-M. CLOSET SHELVING:	\$1,000
	. ,

SITE WORK SPECIFICATIONS:

-DEMOLISH & REMOVE EXISTING DWELLING STRUCTURE PER ALL LOCAL AND STATE REGULATION. WORK SHALL BE EXECUTED BY LICENSED DEMOLITION CONTRACTOR

-CONTRACTOR SHALL PROVIDE EROSION CONTROL SILT FENCING & HAYBALING AS NECESSARY TO PREVENT EROSION OF SOILS TO THE POND AND DOWNGRADE AREAS. SEE SITE PLAN FOR MORE DETAILS.

-PROVIDE DRIVEWAY FINISH PER SITE PLAN SPECIFICATIONS. -PROTECT & RECONNECT EXISTING WATER LINE AS SHOWN ON THE SITE PLAN. ALL WORK SHALL BE

INSPECTED AND INSTALLED PER REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL APPLY AND PAY FOR ALL RELATED PERMITS

-RE-CONNECT ELECTRIC, CATV & TELEPHONE TO EXISTING MUNICIPAL SYSTEMS. ALL WORK SHALL BE INSPECTED AND INSTALLED PER REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL APPLY AND PAY FOR ALL RELATED PERMITS. SEE SITE PLAN FOR DETAILS.

-PROVIDE BURIED 500 GALLON LPG TANK WITH CONCRETE BALLAST AND CHAIN RESTRAINT SYSTEM. COORDINATE LOCATION TIN THE FIELD WITH THE ENGINEER AND THE ARCHITECT.

-SEE SITE PLAN DRAWINGS C0-1. C0-2 & CO-3 FOR COMPLETE SITE PLANS. SEPTIC SYSTEM **DESIGN, DETAILS & SPECIFICATIONS.**

NEW WOOD PILE FOUNDATION SYSTEM:

-SEE STRUCTURAL DRAWINGS FOR COMPLETE WOOD PILE FOUNDATION DESIGN AND SPECIFICATIONS.

EXTERIOR WALL SYSTEM:

-CERTAINTEED "CEDAR IMPRESSIONS" VINYL SHINGLE SIDING SYSTEM WITH ALL FASTENERS, WOVEN CORNER PIECES AND OTHER ACCESSORIES INSTALLED PER THE MANUFACTURER'S PRINTED SPECIFICATIONS. PROVIDE IN MANUFACTURER'S STANDARD COLOR AND TEXTURE AS SELECTED BY THE OWNER, INSTALL BENJAMIN OBDYKE "HYDROGAP" HOUSE WRAP WITH TAPED SEAMS OVER SHEATHING PER MANUFACTURER'S SPECIFICATIONS AND AS APPROVED BY THE ARCHITECT. ALL FASTENERS ARE STAINLESS STEEL.

-VINYL LINEAL WINDOW AND DOOR CASINGS.

-2"x6" DOUGLAS FIR NO.2 OR BETTER STRUCTURAL GRADE STUDS AT 16" O.C. SEAL ALL BOTTOM PLATES W/ CONTINUOUS BEAD OF PL200 ADHESIVE.

-1/2" PAINTED GYPSUM BOARD W/ 3 COAT SPACKLE AND TAPE SYSTEM TO SMOOTH FINISH. FASTEN WITH SCREWS ONLY. RUN DRYWALL SHEETS HORIZONTALLY ACROSS STUDS. SUBSTITUTE 1/2" FIBERGLASS REINFORCED CMENT BACKER BOARD W/ FIBERGLASS TAPE AT ALL WALLS TO BE TILED OR SIMILAR BACKER SYSTEM APPROVED BY THE ARCHITECT.

-PAINTED POPLAR INTERIOR CASINGS & BASEBOARDS, 5-1/2" SPEED BASE, 1"x4 EASED EDGE CASINGS, **TRADITIONAL WOOD STOOL & APRON AT WINDOWS.**

-NEW WINDOWS SHALL BE ANDERSEN A-SERIES OR HARVEY MAJESTY CLAD WOOD UNITS WITH SIMULATED DIVIDED LITES, WINDOW GLAZING IS INSULATED, LOW-E ARGON GLASS, WINDOWS SHALL BE FLASHED & SEALED PER MANUFACTURER'S DETAILED SPECIFICATIONS. MANUFACTURER SHALL INSPECT AND APPROVE WINDOW INSTALLATION AND FLASHING PRIOR TO APPLICATION OF **CASINGS & INTERIOR DRYWALL.**

-EXTERIOR DOORS ARE AS NOTED ON THE SCHEDULE.

INTERIOR WALL SYSTEM:

-1/2" PAINTED GYPSUM BOARD W/ 3 COAT SPACKLE & TAPE SYSTEM TO SMOOTH FINISH EACH SIDE OF STUDS. FASTEN WITH SCREWS ONLY. RUN DRYWALL SHEETS HORIZONTALLY ACROSS STUDS. SUBSTITUTE 1/2" FIBERGLASS REINFORCED CEMENT BACKER BOARD W/ FIBERGLASS TAPE AT ALL WALLS TO BE TILED.

-PAINT SYSTEM AT GYPSUM BOARD: BENJAMIN MOORE 1 COAT LATEX QUICK DRY PRIME SEAL AND 2 COATS REGAL AQUAVELVET OR EQUAL SYSTEM APPROVED BY THE ARCHITECT.

-2"x4" & 2"x6" DOUGLAS FIR, NO.2 STRUCTURAL GRADE OR BETTER STUDS @ 16 O.C. SET BOTTOM PLATE IN CONTINUOUS BED OF ACOUSTICAL SEALANT AT ALL BATH AND BEDROOM DEMIZING WALLS.

-3-1/2" FIBERGLASS ACOUSTICAL INSULATION FIT TIGHTLY BETWEEN STUDS AT ALL BATH AND **BEDROOM DEMIZING WALLS.**

-INTERIOR CASINGS, BASEBOARDS, AND OTHER TRIM AS SPECIFIED ABOVE. -INTERIOR DOORS ARE PAINT GRADE MDF UNLESS OTHERWISE NOTED: 1-3/4", 1-PANEL, MADISON MOLDED PANEL SERIES, JELDWEN SOLID CORE W/ SOLID WOOD PAINT GRADE DOOR FRAMES & INTEGRATED STOPS. PROVIDE \$75/DOOR ALLOWANCE FOR INTERIOR DOOR HARDWARE.

FIRST FLOOR SYSTEM:

-FINISH FLOOR AT ALL AREAS - PREMIUM ENGINEERED HARDWOOD. T&G FLOORING. FACTORY-FINISHED. AS SELECTED BY THE OWNER - SEE ALLOWANCES FOR MATERIAL. INSTALL WOOD OVER ROSIN PAPER, THINSET CERAMIC OR PORCELAIN TILE, WHERE INDICATED ON DRAWINGS. OVER SCHLUTER "DITRA" UNDERLAYMENT MAT SYSTEM.

-1/2" APA SPAN RATED UNDERLAYMENT NAILED 3" O.C. AT TILE FLOORS. -3/4" APA SPAN RATED "ADVANTECH" T&G PLYWOOD SUBFLOOR GLUED AND NAILED PER MANUFACTURER'S SPECIFICATIONS.

-ENGINEERED LUMBER: TJI FLOOR JOISTS @ 16" O.C. & 1-3/4"x MICROLLAM LVL AND PARALLAM PSL BEAMS AS MANUFACTURED BY ILEVEL, OR EQUAL APPROVED BY THE ARCHITECT, WITH METAL JOIST HANGERS AT FLUSH FRAMED CONDITIONS. DOUBLE MEMBERS AT OPENINGS AND PER STRUCTURAL NOTES, ADHERE TO MANUFACTURER'S SPECIFICATIONS AND DETAILS, PROVIDE CONTINUOUS BEAD OF PL200 ADHESIVE BENEATH 1-3/4" TIMBERSTRAND BAND JOIST, VENDOR SHALL PROVIDE FRAMING PLAN SHOP DRAWINGS FOR APPROVAL BY ARCHITECT, SHOWING LOADS, BEAM AND JOIST SIZES AND HANGER SPECIFICATIONS. SEE STRUCTURAL DRAWINGS.

-9" R30 FIBERGLASS THERMAL INSULATION. INSURE TIGHT FIT AT ALL ADJACENT MATERIAL SURFACES.

-2" R-10 OWENS CORNING "FOAMULAR 250" OR EQUAL RIGID INSULATION BOARD WITH TAPED SEAMS. -5/8" PAINTED MOISTURE RESISTANT, FIRECODE GYPSUM BOARD W/ 3 COAT SPACKLE & TAPE SYSTEM

TO SMOOTH FINISH. PROVIDE PAINT FINISH AS DESCRIBED ABOVE FOR INTERIOR WALLS, FASTEN WITH STAINLESS STEEL SCREWS ONLY.

SECOND FLOOR SYSTEM:

-FINISH FLOOR AT ALL AREAS - PREMIUM CLEAR ENGINEERED HARDWOOD, T&G FLOORING, FACTORY-FINISHED, AS SELECTED BY THE OWNER - SEE ALLOWANCES FOR MATERIAL. INSTALL WOOD OVER ROSIN PAPER. THINSET CERAMIC, PORCELAIN TILE OR WALL TO WALL CARPET & PAD, WHERE INDICATED ON DRAWINGS. TILE OVER SCHLUTER "DITRA" UNDERLAYMENT MAT SYSTEM.

-1/2" APA SPAN RATED UNDERLAYMENT NAILED 3" O.C. AT TILE & NEW MASTER BEDROOM FLOORS.

-3/4" APA SPAN RATED "ADVANTECH" T&G PLYWOOD SUBFLOOR GLUED AND NAILED PER MANUFACTURER'S SPECIFICATIONS.

-ENGINEERED LUMBER: TJI FLOOR JOISTS @ 16" O.C. & 1-3/4"x MICROLLAM LVL AND PARALLAM PSL BEAMS AS MANUFACTURED BY ILEVEL. OR EQUAL APPROVED BY THE ARCHITECT, WITH METAL JOIST HANGERS AT FLUSH FRAMED CONDITIONS. DOUBLE MEMBERS AT OPENINGS AND PER STRUCTURAL NOTES. ADHERE TO MANUFACTURER'S SPECIFICATIONS AND DETAILS. PROVIDE CONTINUOUS BEAD OF PL200 ADHESIVE BENEATH 1-3/4" TIMBERSTRAND BAND JOIST. VENDOR SHALL PROVIDE FRAMING PLAN SHOP DRAWINGS FOR APPROVAL BY ARCHITECT, SHOWING LOADS, BEAM AND JOIST SIZES AND HANGER SPECIFICATIONS. SEE STRUCTURAL DRAWINGS.

-6" FIBERGLASS ACOUSTICAL INSULATION. INSURE TIGHT FIT AT ALL ADJACENT MATERIAL SURFACES.

PAINT FINISH AS DESCRIBED ABOVE FOR INTERIOR WALLS. FASTEN WITH SCREWS ONLY.

-1/2" APA SPAN RATED CDX SHEATHING NAILED PER STRUCTURAL SPECIFICATIONS.

-6" R21 FIBERGLASS INSULATION. PROVIDE LOW-EXPANSION SPRAY FOAM INSULATION AT ALL **CAVITIES AT DOOR & WINDOW FRAMES & OTHER PENETRATIONS.**

-1/2" PAINTED GYPSUM BOARD W/ 3 COAT SPACKLE & TAPE SYSTEM TO SMOOTH FINISH. PROVIDE

FLAT CEILING SYSTEM @ 2ND FLOOR:

-2"x8" DOUGLAS FIR NO. 2 OR BETTER STRUCTURAL GRADE JOISTS AT 16" O.C. -1/2" PAINTED GYPSUM BOARD W/ 3 COAT SPACKLE & TAPE SYSTEM TO SMOOTH FINISH. PROVIDE PAINT FINISH AS DESCRIBED ABOVE FOR INTERIOR WALLS. FASTEN WITH SCREWS ONLY.

FASCIA/SOFFIT:

-CONTINUOUS ALUMINUM DRIP EDGE

-1"x PAINTED PVC SOFFITS AND FASCIA

-SEAMLESS ALUMINUM GUTTERS AT ALL EAVES AS INDICATED ON THE DRAWINGS. PROVIDE ALUMINUM DOWNSPOUTS AS NECESSARY TO SURFACE SPLASHBLOCKS, LOCATE DOWNSPOUTS IN THE FIELD WITH THE ARCHITECT.

GABLE ROOF SYSTEM:

-NEW GAF "TIIMBERLINE HD" ROOF SHINGLES W/LIFETIME LIMITED WARRANTY IN STANDARD COLOR. PROVIDE ICE & WATER SHIELD FLASHING AT VALLEYS. HIPS EAVES & RAKES & DOUBLE STARTER COURSE PER MANUFACTURER'S SPECIFICATIONS. PROVIDE HIP AND RIDGE SHINGLES WHERE RECOMMENDED BY MANUFACTURER. HURRICANE NAIL SHINGLES - STRICTLY ADHERE TO MANUFACTURER'S SPECIFICATIONS REGARDING NUMBER AND TYPE OF NAILS AND LOCATION OF NAILS.

-CONTINUOUS WHITE, HEAVY GUAGE ALUMINUM DRIP EDGE ALONG RAKES & EAVES. PROVIDE LEAD COATED COPPER STEP FLASHINGS AT WALL AND CHIMNEY INTERSECTIONS

-5/8" APA SPAN RATED ZIP SYSTEM SHEATHING NAILED PER STRUCTURAL DRAWINGS. RUN PERPENDICULAR TO RAFTERS. USE MANUFACTURER'S COMPATIBLE TAPE AT ALL JOINTS. DO NOT OVERDRIVE FASTENERS.

-8" R-52 CLOSED CELL SPRAY FOAM INSULATION IN ALL RAFTER CAVITIES DOWN TO PLATE AND UP TO RIDGE.

-2"x10" DOUGLAS FIR NO. 2 OR BETTER STRUCTURAL GRADE RAFTERS AT 16" O.C.

-1/2" PAINTED GYPSUM BOARD W/ 3 COAT SPACKLE & TAPE SYSTEM TO SMOOTH FINISH. PROVIDE PAINT FINISH AS DESCRIBED ABOVE FOR INTERIOR WALLS. FASTEN WITH SCREWS ONLY.

PORCH CEILING SYSTEM:

-CERTAINTEED VINYL BEADED BOARD PORCH CEILINGS W/ MATCHING BED MOULDING AT PERIMETERS. SIMILAR PRODUCTS ARE ACCEPTABLE.

DECK SYSTEMS:

-5/4"x6" IPE DECKING W/ STAINLESS STEEL SCREW FASTENERS W/ STAINLESS STEEL SPLINE, BLIND FASTENING SYSTEM, WAX SEALS ENDS, PENOFIN OIL FINISH.

-CONTINUOUS LEAD COATED COPPER FLASHING AT HOUSE FRAME. PAN FLASHING AT ALL DOOR OPENINGS.

-2"x10" SOUTHERN YELLOW PINE DECK JOISTS @ 16" O.C.

-PROVIDE GALVANIZED STEEL, G185, OR STAINLESS STEEL HANGERS, CAPS, CLIPS, ETC. AS OUTLINED ON THE STRUCTURAL DRAWINGS.

-36" TALL AZEK "RESERVE" COMPOSITE DECK RAILING SYSTEM.

SHELVING @ NEW CLOSETS:

-LINEN CLOSETS: 7 - 16" x 3/4" PAINTED M.D.O. PLYWOOD SHELVES W/ SOFTWOOD NOSING. -BDRM. & FOYER CLOSETS: 2 - 12" x 3/4" PAINTED M.D.O. PLYWOOD SHELVES W/SOFTWOOD NOSING, STAINLESS STEEL CLOSET POLE & HARDWARE.

-SHELVING HEIGHTS SHALL BE APPROVED BY THE OWNER IN THE FIELD.

-SEE ALLOWANCES FOR M. CLOSET SHELVING.

INTERIOR STAIRWAY/RAILING SYSTEM:

-1"x HARDWOOD TREADS, HANDRAILS AND NEWELS WITH CLEAR FINISH AS DESCRIBED FOR FINISH WOOD FLOORING.

-PAINT GRADE RISERS, SCOTIA, SKIRT, NEWEL POST, BALUSTERS AND STRINGER BASEBOARDS AS SELECTED BY THE OWNER.

-RAILING SYSTEM: CROWN HERITAGE 5060 BALUSTERS, 3 PER TREAD, POST TO POST HANDRAIL AND CROWN HERITAGE 4092 OAK NEWEL POSTS AND CROWN HERITAGE 6100PB HANDRAIL IN OAK.



MECHANICAL / PLUMBING SPECIFICATIONS:

-CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS & EQUIPMENT NECESSARY TO INSTALL PLUMBING, RELATED FIXTURES, VENTILATION, FLOOR DRAINS, DOMESTIC HOT WATER, HEATING AND AIR CONDITIONING SYSTEMS, ALL WORK SHALL CONFORM TO THE LATEST STATE OF CT BUILDING CODE. LOCAL CODES, ORDINANCES AND THE 2015 IECC, SUBCONTRACTORS SHALL COORDINATE WORK WITH OTHER TRADES.

-ALL EQUIPMENT, ACCESSORIES AND APPURTENANCES SHALL BE UL LISTED AND INSTALLED IN ACCORDANCE WITH SAME.

-PROVIDE SHUT-OFF VALVES AT ALL FIXTURES AND APPLIANCES.

-PROVIDE PEX SUPPLY PIPING WITH MANIFOLD SYSTEM PER CODE.

-PROVIDE HOSE BIBS WHERE INDICATED ON PLANS.

-PITCH ALL WATER LINES TO LOW POINT TO DRAIN AND PROVIDE CENTRAL DRAIN VALVE AND DRAIN VALVES AT ALL SHUT-OFFS. WATER SUPPLY LINES SHALL NOT BE EXPOSED TO UNHEATED OR UNINSULATED SPACES.

-PLUMBING FIXTURES SHALL BE SUPPLIED AND INSTALLED BY PLUMBING SUBCONTRACTOR.

-PLUMBING AND HVAC SUBCONTRACTORS SHALL BE LICENSED AND INSURED AND SHALL OBTAIN A SEPARATE PERMIT FOR THE SUBCONTRACT WORK CONTAINED HEREIN.

-HEATING / AIR CONDITIONING SYSTEM SHALL CONSIST OF A 4 ZONE, VRF, HIGH EFFICIENCY SPLIT-DUCTLESS, HEAT PUMP SYSTEM. THERE SHALL BE 2 ZONES ON THE 1ST FLOOR AND 2 ZONES ON THE 2ND FLOOR RUN OFF A SINGLE. EXTERIOR WALL MOUNTED COMPRESSOR ABOVE THE DFE OF EL. 15'0".

PROVIDE DUCTED OUTDOOR, TEMPERED, FRESH AIR SUPPLY SYSTEM PER CODE REQUIREMENTS. PROVIDE ENERGY RECOVERY VENTILATOR SYSTEM.

A PROPANE FIRED, ON-DEMAND, DOMESTIC HOT WATER HEATER SHALL BE PROVIDED. ALL EQUIPMENT SHALL BE APPROVED BY THE ARCHITECT. ALL ACCESSORIES AND COMPONENTS SHALL BE PROVIDED TO ENSURE A COMPLETE AND FUNCTIONING SPACE HEATING. COOLING AND DOMESTIC HOT WATER SYSTEM.

-ALL SUPPLY AND RETURN DUCTWORK SHALL BE SEALED AND THERMALLY INSULATED PER THE 2015 IECC. PROVIDE SPACE-GUARD OR EQUAL, APPROVED BY THE ARCHITECT, ELECTROSTATIC AIR FILTER IN THE DUCTWORK. SYSTEM SHALL. INCLUDE FRESH AIR INTAKE AND ENERGY RECOVERY VENTILATOR.

-PLUMBING CONTRACTOR SHALL SUPPLY ALL COMPONENTS AND ACCESSORIES AS NECESSARY TO ENSURE COMPLETE AND FUNCTIONING PLUMBING SUPPLY, WASTE AND VENT SYSTEMS.

-WARRANTIES AND MANUALS SHALL BE PROVIDED FOR ALL EQUIPMENT. TAG ALL VALVES. ITEMS SHALL BE COMPLETE PRIOR TO FINAL PAYMENT.

-PROVIDE SUPPLY LINE WATER HAMMER ARRESTOR.

-ALL WORK UNDER THIS SECTION SHALL INCLUDE CUTTING AND PATCHING AS NECESSARY TO INSTALL MECHANICAL & PLUMBING WORK. ALL SUCH CUTTING AND PATCHING SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER BY WORKERS SKILLED IN THE TRADE, AND WITH THE APPROVAL OF THE ARCHITECT. ROUTING OF ALL PIPING AND VENTILATION DUCTWORK SHALL BE REVIEWED AND APPROVED IN THE FIELD WITH THE ARCHITECT.

-ALL EQUIPMENT AND FIXTURES SHALL BE TESTED, LEFT CLEAN AND IN OPERATIONAL ORDER PRIOR TO FINAL PAYMENT.

ELECTRICAL SPECIFICATIONS:

-ALL WORK SHALL CONFORM TO LATEST CONNECTICUT STATE CODE, NFPA AND LOCAL JURISDICTION REQUIRMENTS.

-ALL LOCATIONS OF FIXTURES AND DEVICES SHALL BE CONFIRMED IN THE FIELD WITH THE ARCHITECT AND OWNER PRIOR TO INSTALLATION.

-ELECTRICAL CONTRACTOR SHALL PROVIDE AN ALLOWANCE OF \$3.000.00 FOR LIGHT FIXTURES & BULBS NOT SPECIFIED ON THE DRAWINGS. ALL FIXTURES SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR.

-ELECTRICAL CONTRACTOR SHALL BE LICENSED AND INSURED AND SHALL OBTAIN A SEPARATE PERMIT FOR THE ELECTRICAL WORK CONTAINED HEREIN.

-ELECTRICAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE NEW ELECTRICAL SERVICE AND DISTRIBUTION SYSTEM.

-NEW OVERHEAD SERVICE SHALL BE PROVIDED WITH EXTERIOR METER AND SERVICE PANEL LOCATED AS SHOWN ON THE DRAWINGS. NEW SERVICE SHALL BE 120/240 VOLT, SINGLE PHASE WITH 200 AMP CAPACITY. ALL CIRCUITS SHALL BE IDENTIFIED AT THE SERVICE PANEL WITH TYPED TAG.

-ELECTRICAL CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY TO INSURE COMPLETE AND FUNCTIONING SERVICE.

-ELECTRICAL CONTRACTOR SHALL PROVIDE CENTRAL ALARM INCLUDING SMOKE. CO AND LOW TEMPERATURE NOTIFICATION, TELEPHONE AND CATV SYSTEMS.

-ALL WORK UNDER THIS SECTION SHALL INCLUDE CUTTING AND PATCHING AS NECESSARY TO INSTALL ELECTRICAL WORK. ALL SUCH CUTTING AND PATCHING SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER BY WORKERS SKILLED IN THE TRADE, AND WITH THE APPROVAL OF THE ARCHITECT.

-MANUALS AND WARRANTY DOCUMENTS FOR ALL EQUIPMENT SHALL BE PROVIDED TO THE **OWNER PRIOR TO FINAL PAYMENT.**

-ALL EQUIPMENT AND FIXTURES SHALL BE TESTED, LEFT CLEAN AND IN OPERATIONAL ORDER PRIOR TO FINAL PAYMENT.

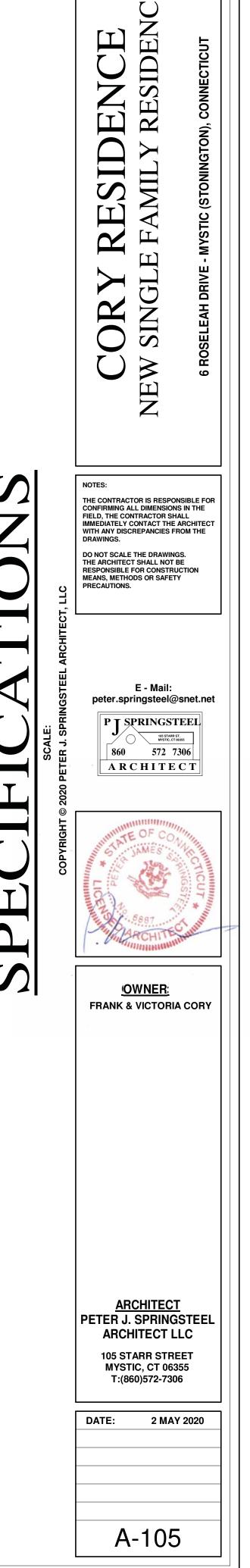
-PROVIDE WHOLE HOUSE. LPG FIRED, BACK-UP OUTDOOR GENERATOR, EQUIPPED WITH AUTOMATIC TRANSFER SWITCH AND WEEKLY TESTING/EXERCISE FUNCTION.

THE CONTRACTOR SHALL INCLUDE THE SERVICES OF A "HERS" HOME ENERGY RATING SYSTEM RATER TO EVALUATE AND TEST THE STRUCTURE TO QUALIFY FOR ALL AVAILABLE FEDERAL AND STATE TAX CREDITS AND UTLILITY COMPANY REBATES BASED UPON THE BUILDING DESIGN SPECIFIED HEREIN. THE RATER SHALL COORDINATE AND PROVIDE ALL NECESSARY PAPERWORK TO THE OWNER AND APPROPRIATE AGENCIES. THE CONTRACTOR SHALL PROVIDE POTENTIAL CREDITS AND REBATES IN THE BUDGET.

203-823-0066

APPROVED RATERS ARE AS FOLLOWS: ROBERT MATTO / RPM ENERGY SOLUTIONS:

203-288-1231 PETER HARDING / HOME ENERGY TECHNOLOGIES: 877-800-6440



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