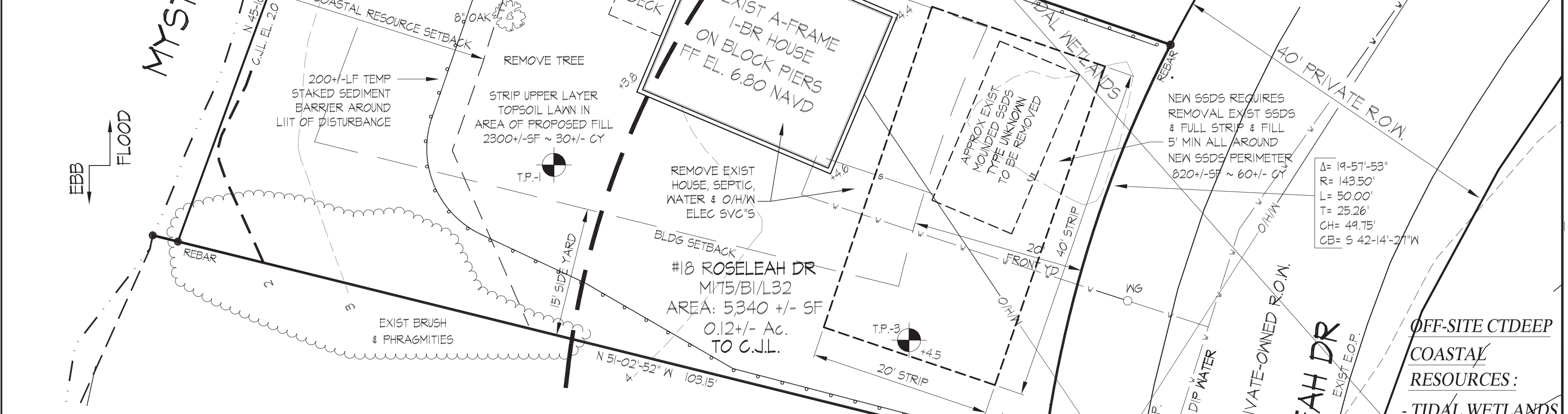


 **CALL TOLL FREE FOR CONNECTICUT**
1-800-922-4455 OR DIAL 811
CALL TWO FULL WORKING DAYS IN ADVANCE TO LOCATE BURIED UTILITY PIPES & CABLES

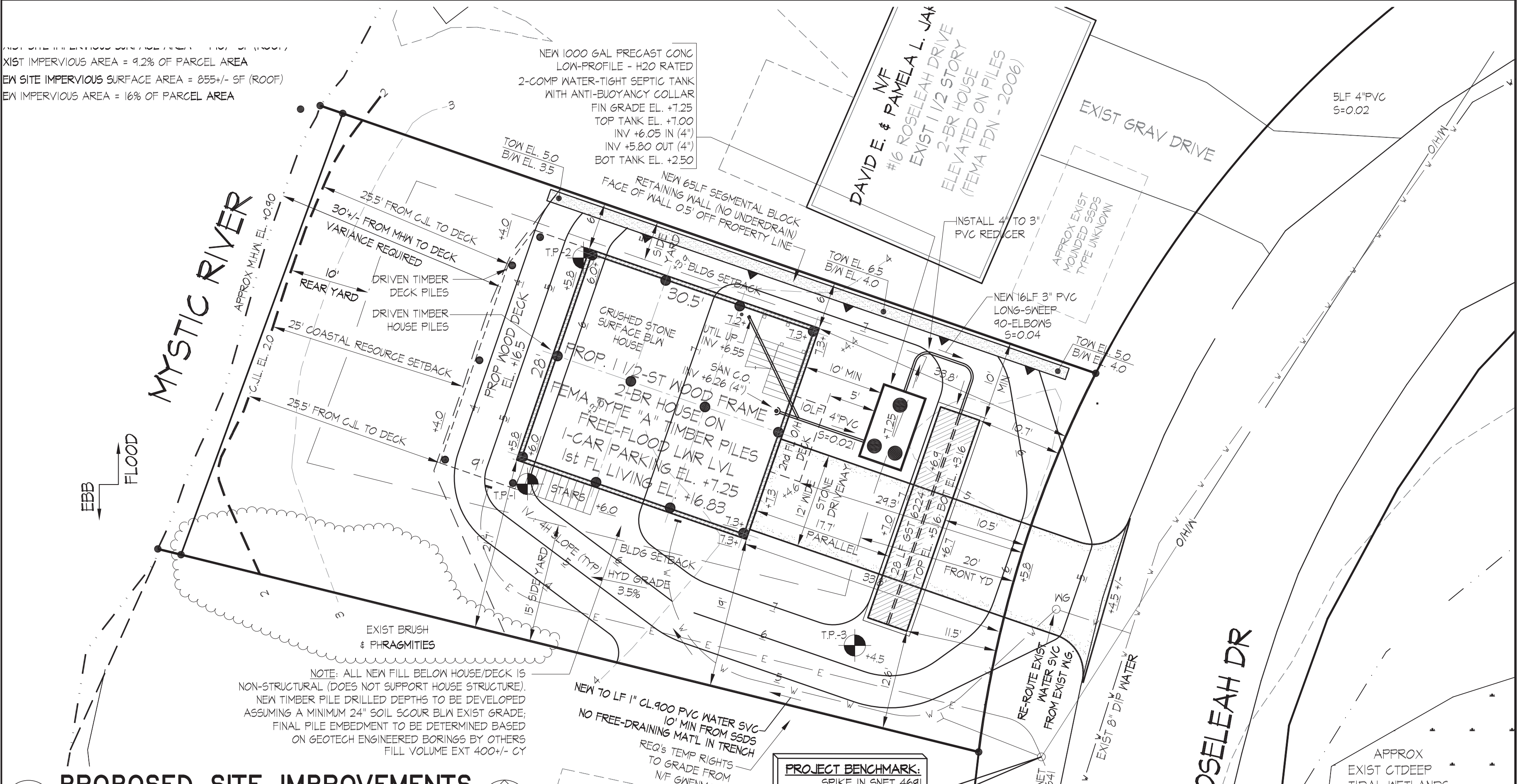
CTDEEP COASTAL RESOURCES:

- EM - ESTUARINE EMBAYMENT
- D - DEVELOPED SHOREFRONT
- COASTAL HAZARD AREA

HIGH TIDE ELEV. +2.20 NAVD
MHW ELEV. +0.90 NAVD
MLW ELEV. (-1.70) NAVD
MAX TIDE RANGE = 3.9 FT



1 EXISTING SITE CONDITIONS
SCALE: 1" = 10 FEET



2 PROPOSED SITE IMPROVEMENTS
SCALE: 1" = 10 FEET

SEE DWG C-02 & C-03 FOR SITE & SEPTIC DETAILS/NOTES

PROJECT DESCRIPTION:

PROJECT PROPOSES TO REPLACE AN EXISTING 1-BR SINGLE FAMILY NON-FEMA CONFORMING RESIDENTIAL HOUSE & SEPTIC SYSTEM WITH A NEW TIMBER PILE SUPPORTED RAISED "VE" FLOOD ZONE FEMA-COMPLIANT 2-BR SINGLE FAMILY HOUSE WITH MUNICIPAL WATER SERVICE & NEW ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEM FOR A 2-BR SANITARY FLOW.

- EXIST SAN FLOW = 1-BR x 150 GPD.BR = 150 GPD (ADF)
- NEW SAN FLOW = 2-BR x 150 GPD.BR = 300 GPD (ADF) ~ 100% INCREASE.

NRCS SOIL SURVEY MAPPING INDICATES EXISTING ON-SITE SOILS AS: #306 - UDORTHENTS - URBAN LAND COMPLEX (DISTURBED/FILLED) HYDROLOGIC SOIL GROUP: B; GWT: 54"-12"; LEDGE >80"; WELL-DRAINED

GENERAL NOTES:

- 1-1. REFERENCE IS MADE TO PLAN TITLED: "PLAN SHOWING PROPERTY OF FRANK CORY JR., 18 ROSELEAH DRIVE STONINGTON, CONNECTICUT", SCALE: 1" = 10'; AUGUST 2018, PREPARED & CERTIFIED TO "A-2" STANDARDS BY DIETER & GARDNER LAND SURVEYORS & PLANNERS, 1641 ROUTE 12, GALES FERRY, CT 06335, TEL: 860-464-7455.
- 1-2. THIS PARCEL WAS CREATED BY A SUBDIVISION MAP DATED JULY 8, 1930; THIS PARCEL WAS DEEDED AS A SINGLE-FAMILY LOT AS RECORDED IN TOWN LAND RECORDS ON DECEMBER 4, 1931. THIS PARCEL PRE-DATES 1961 ZONING.
- 1-3. THIS PARCEL IS LOCATED WITHIN THE "MC-80". ZONING DISTRICT OF THE TOWN OF STONINGTON, CONNECTICUT; NEW LONDON COUNTY.
- 1-4. THIS PARCEL IS PRE-EXISTING NON-CONFORMING TO MC-80 ZONING REQUIREMENTS. THE RH-10 ZONE BULK REQUIREMENTS APPLY (ZR.2.4.2).
- 1-5. THIS SITE CONTAINS NO KNOWN AREAS OF REGULATED INLAND WETLANDS. CTDEEP TIDAL WETLANDS EXIST OFF-SITE ON EASTERLY ADJACENT PARCEL.
- 1-6. THIS PARCEL IS NOT LOCATED WITHIN THE TOWN OF STONINGTON AQUIFER PROTECTION (AQ) DISTRICT.
- 1-7. THIS PARCEL IS LOCATED 100' WITHIN THE FEMA COASTAL FLOOD HAZARD ZONE "VE" (ELEV. 14.00 - NAVD) - COASTAL HIGH HAZARD ZONE.
- 1-8. THIS PARCEL IS LOCATED WITHIN THE TOWN OF STONINGTON DESIGNATED COASTAL AREA MANAGEMENT (CAM) ZONE.
- 1-9. THIS PARCEL IS CURRENTLY SERVED BY A PRIVATE ON-SITE SUBSURFACE SEWAGE DISPOSAL SYSTEM & PUBLIC WATER (AQUARION WATER COMPANY).
- 1-10. THIS PARCEL FRONTAGE IS ALONG ROSELEAH DRIVE, A DEVELOPED PRIVATE ROAD THAT IS NOT OWNED OR MAINTAINED BY THE TOWN OF STONINGTON.

TEST PIT RESULTS:

EXCAVATED/WITNESSED BY EH WENKE III, PE & KIMBERLY HAMLEY (LLHD) ON 06/05/19.
WEATHER: CLEAR; 75F; NO RAIN WITHIN 48 HOURS
TEST PITS CONDUCTED AT M.H.W. (9:30am)

TEST PIT #1 GRADE EL. +3.5

- 0" - 4" TOP SOIL - LAWN / ROOTS
 - 4" - 18" GR-BR SILTY FILL (MOTTLED/PERCHED)
 - 18" - 26" ORIG TOPSOIL/BLACK SILTY (MUCK) LAYER
 - 26" - 60" NATURAL TAN/VOLIVE F-MF SILT, FIRM/COMPACT/TIGHT, NET
 - 60" - 72" MC-G SAND GRAVEL W/ COBBLES - SATURATED
- NO LEDGE TO 72" (EL. -2.5 +/-)
NO MOTTLING TO 72"
ROOTS AT 18"
TIDAL GWL KEEP AT 43"; STANDING GWL @ 43" AFTER 1-HR. - EL. (-0.10)
RESTRICTIVE LAYER = 32" - EL. +0.90 (MHW)

TEST PIT #2 GRADE EL. +3.5

- 0" - 4" TOP SOIL - LAWN / ROOTS
 - 4" - 20" TAN MC-G SAND & GRAVEL FILL
 - 20" - 38" ORIG TOPSOIL/BLACK/GREY SILTY MUCK ORGANIC LAYER
 - 38" - 66" NATURAL TAN/VOLIVE F-MF SILT, FIRM/COMPACT/TIGHT, NET
 - 66" - 76" BRIGHT ORANGE MC-G SAND GRAVEL W/ COBBLES - SATURATED
- NO LEDGE TO 76" (EL. -2.8 +/-)
NO MOTTLING TO 76"
ROOTS AT 18"
TIDAL GWL KEEP AT 60"; STANDING GWL @ 66" AFTER 1-HR. - EL. (-2.0)
RESTRICTIVE LAYER = 32" - EL. +0.90 (MHW)

TEST PIT #3 GRADE EL. +4.75

- EXCAVATED/WITNESSED BY EH WENKE III, PE & KATIE BALDWIN (LLHD) ON 12/06/19.
WEATHER: CLEAR; 40F; NO RAIN WITHIN 48 HOURS
TEST PITS CONDUCTED AT (9:00 AM); MHW AT 4:30 AM
- 0" - 5" TOP SOIL - LAWN / ROOTS
 - 5" - 18" TAN MC-G SAND & GRAVEL FILL
 - 18" - 28" ORIG TOPSOIL/ORGANIC LAYER
 - 28" - 44" BR FINE SILTY LOAM - COMPACT
 - 44" - 60" BR COURSE SAND & GRAVEL
- NO LEDGE TO 60" (EL. -0.25 +/-)
NO MOTTLING TO 60"
TIDAL GWL KEEP AT 55"; STANDING GWL @ 50" AFTER 0.5-HR. - EL. (+0.58)
RESTRICTIVE LAYER = 46" - EL. +0.90 (MHW)

GENERAL SOIL COMMENTS:

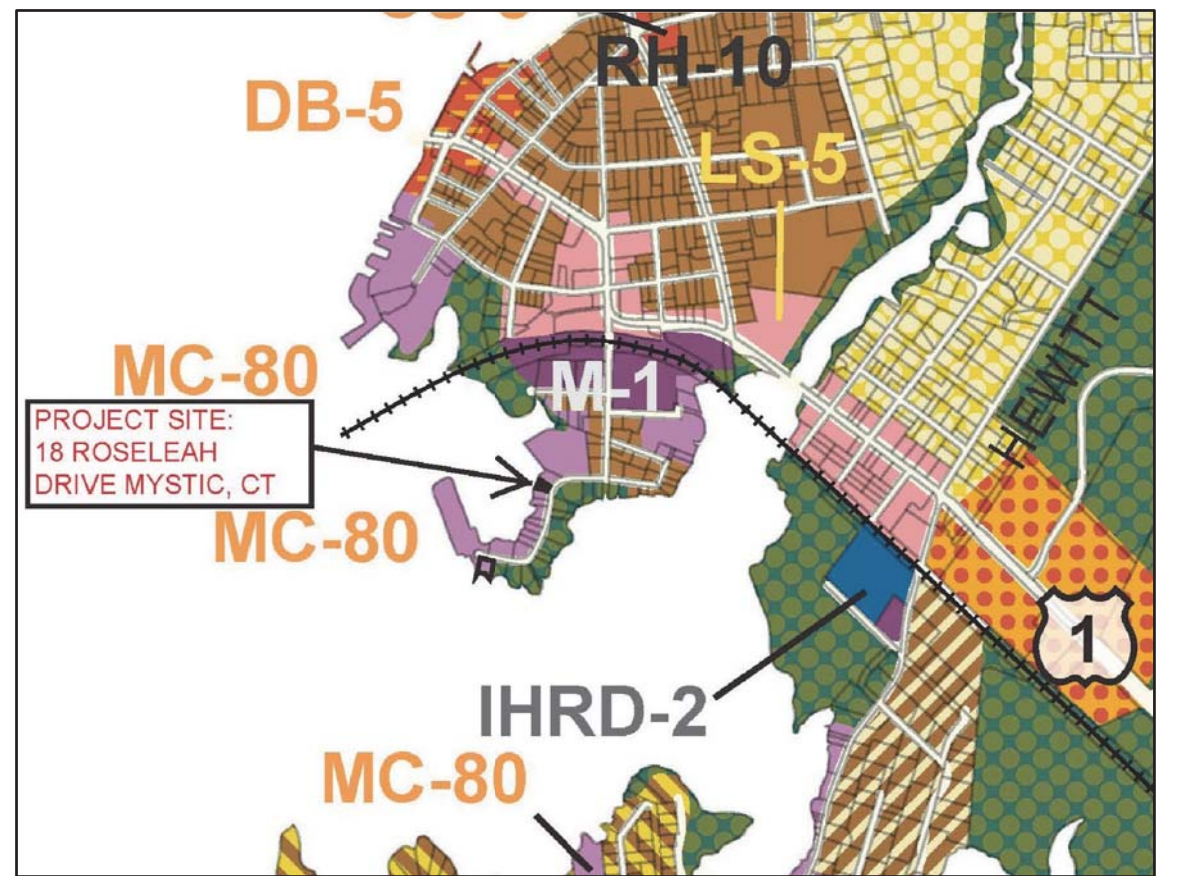
EXISTING UPPER 20"-26" STRATA IS A PREVIOUS FILL OVER UN-STRIPPED ORIG TOPSOIL/MUCK LAYER. THIS LAYER INCLUDING MUCK MUST BE COMPLETELY REMOVED BEFORE NEW SSDS. CONTRACTOR SHALL MAINTAIN 18" MIN DEPTH OF NATURAL SOIL ABOVE RESTRICTIVE GWL TIDAL MHW EL. +0.90.

THIS RECEIVING NATURAL SOIL LAYER ABOVE THE MHW ELEV IS A SILTY LOAM WITH ASSUMED PERC RATE OF 10.1 TO 20.0 MIN.

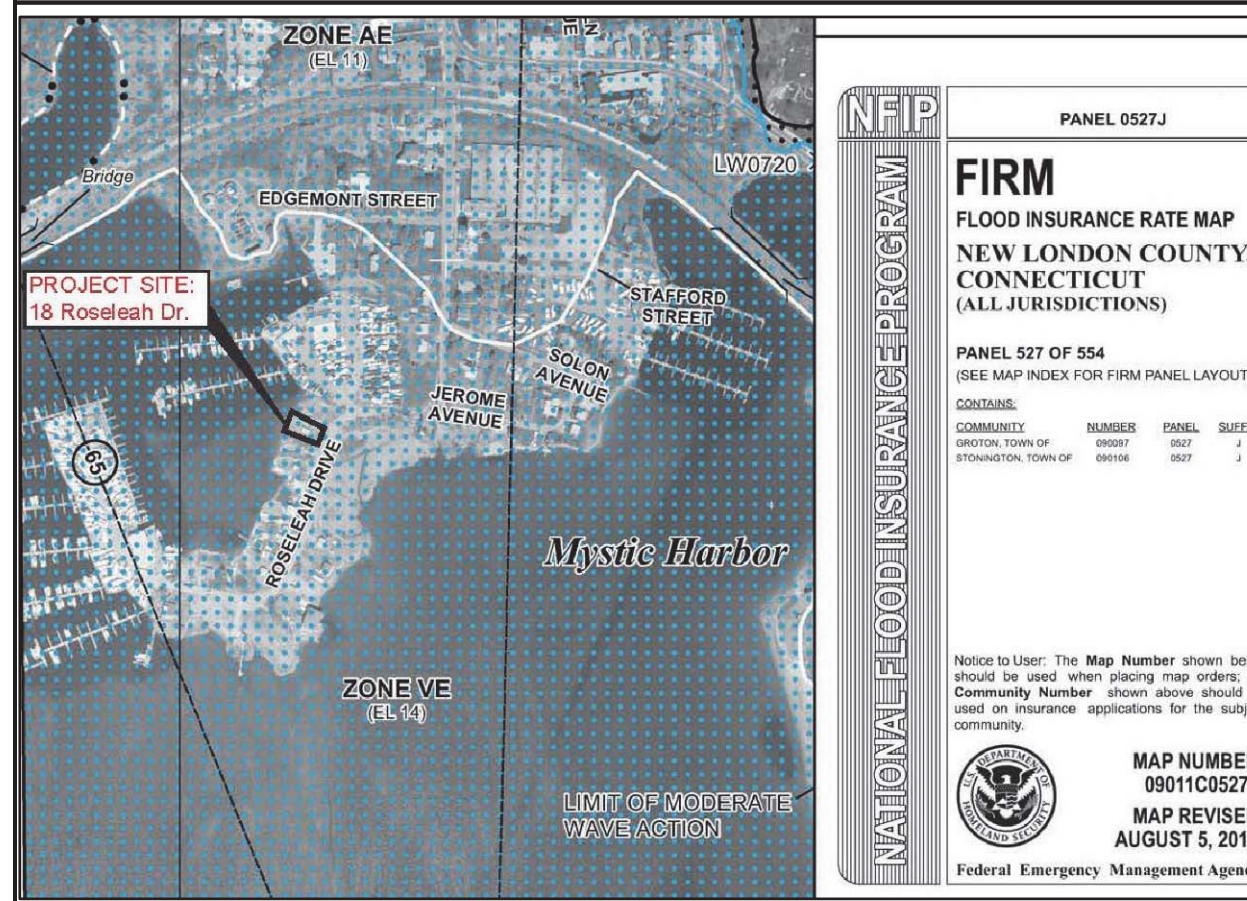
THE SILTY LOAM LAYER AT THE MHW ELEV AND BELOW IS A COARSE SAND & GRAVEL WITH ASSUMED PERC RATE OF LESS THAN 10.0 MIN.

ALL SELECT FILL INSTALLED ON THIS SITE SHALL HAVE A FINAL PERC RATE OF 20.0 MINUTES OR LESS, AND SHALL BE CONFIRMED WITH AN IN-PLACE PERC TEST.

(2) GEOTECHNICAL SOIL BORINGS WERE ADVANCED ON THIS SITE AND HAVE RESULTED IN NO REFUSAL TO 30" DEPTHS.



ZONING MAP
SCALE = NONE Latitude: 41.348 Longitude: -71.9655



FEMA FLOOD MAP SCALE = NONE

APPLICANT & LAND OWNER OF RECORD:	ENGINEER OF RECORD:	HEALTH DEPT. JURISDICTION:
FRANK & VICTORIA CORY 56 HIGH RIDGE ROAD BROOKFIELD, CT 06804 TEL: (203) 733-3218 Email: Frank.Cory@peoples.com	EDWARD H. WENKE III, PE CONN. P.E. # 16771 P.O. BOX 359 NEW LONDON, CT 06359 TEL: (860) 460-1606 Email: ewenke@comcast.net	LEDGELIGHT HEALTH DISTRICT 216 BROAD STREET #1 NEW LONDON, CT 06320 TEL: (860) 448-4802


ZONING DATA — 18 ROSELEAH DRIVE			
MC-80 MARINE COMMERCIAL ZONING DISTRICT TOWN OF STONINGTON, CONN. RH-10 RESIDENTIAL BULK REQUIREMENTS APPLY - ZR.2.4.2			
ITEM	REQUIRED/ALLOWED	EXISTING CONDITIONS	PROPOSED
LAND USE (ZR-4.6.1.8)	1-FAM. RESIDENTIAL	1-FAM. RESIDENT. - CONFORMING	1-FAM. RESIDENT. - CONFORMING
MIN. LOT AREA (ZR-5.2.1)	10,000 SF	5340 +/- SF (1012 +/- AC) TO C.J.L. LOT CREATED 1930 (PRE-EXIST ZONING) PRE-EXIST NON-CONFORMING	NO CHANGE PRE-EXIST NON-CONFORMING
MIN. FRONTAGE (ZR-5.2.1)	150 FT REQ'D	50 +/- FT - ROSELEAH DRIVE PRE-EXIST NON-CONFORMING	NO CHANGE PRE-EXIST NON-CONFORMING
FLOOR AREA RATIO (F.A.R.) (ZR-5.2.1)	25 % - MAX F.A.R. ALLOWED 25 % x 5340 SF = 1335 SF - MAX G.F.A. ALLOWED	EXIST G.F.A. = 486 +/- SF = 9.1% F.A.R. EXISTING / CONFORMING	NEW G.F.A. = 1330 +/- SF = 24.8% F.A.R. CONFORMING
MIN. FRONT YARD (ZR-5.2.1)	20 FT REQ'D	EXIST HOUSE = 30 +/- FT EXIST / CONFORMING	NEW HOUSE = 29.3 FT FRONT YD MEASURED TO DECK OVERHANG CONFORMING
MIN. SIDE YARD (ZR-5.2.1)	5 FT MIN/20 FT COMBINED	EXIST HOUSE = 5.5 +/- FT EXIST / CONFORMING	NEW HOUSE = 6.0 FT MIN SIDE YD + 9' SOUTH SIDE YD = 21' GROSS COMBINED SIDE YARD CONFORMING
MIN. REAR YARD (ZR-5.2.1)	EXIST LOT DEPTH = 100 +/- 10% x 100 FT = 10 FT REAR YD	EXIST HOUSE = 37 +/- FT EXIST / CONFORMING	NEW HOUSE = 25.5 FT REAR YD NEW DECK TO C.J.L. CONFORMING
MAX. BUILDING HGT ZONE REGMT (ZR-5.2.1)	35 FT MAX TO AVG GRADE FROM MEAN ROOF HEIGHT	EXIST A-FRAME ROOF = 24 +/- FT TO AVG GRADE (EXIST AVG GR EL. +14'-0") EXIST CONFORMING	NEW GABLE ROOF (MRH) = 28 FT TO AVG GRADE (NEW AVG GR EL. +5'-0") EXIST CONFORMING
MAX. BUILDING HGT CAM REGMT (ZR-13.5)	24 FT MAX ABOVE B.F.E. FROM MEAN ROOF HEIGHT	A-FRAME ROOF = 18 +/- FT TO B.F.E. +14'-0" EXISTING CONFORMING	NEW GABLE ROOF (MRH) = 18 +/- FT TO B.F.E. +14'-0" CONFORMING
CAM EXEMPTION SETBACKS (ZR-13.8.4)	NEW HOUSE/SUBSTANTIAL IMPROVEMENTS > 100 FT CTDEEP TIDAL WETLANDS ARE EXEMPT	EXIST HOUSE = < 100' FROM CTDEEP TIDAL WETLANDS	NEW HOUSE = < 100' FROM CTDEEP TIDAL WETLANDS NOT EXEMPT - CAM PERMIT REQ'D
"VE" FLOOD ZONE SETBACKS (ZR-17.8.3)	NEW HOUSE/SUBSTANTIAL IMPROVEMENTS MUST BE > 100 FT FROM MHW	EXIST HOUSE = 47 +/-' FROM MHW	NEW DECK = 30 +/-' FROM MHW ** VARIANCE REQ'D FOR < 100' TO MHW
WATER SERVICE	EXIST PUBLIC WATER - AQUARION WATER COMPANY - TO BE RE-CONNECTED		
SANITARY SEWER	EXIST PRIVATE ON-SITE TO BE REPLACED WITH NEW ON-SITE SSDS		

PROPOSED SSDS REPAIR — CODE COMPLIANCE:

GROSS E.L.A. PROVIDED = 506 SF E.L.A. > 500 SF REQ'D ~ E.L.A. COMPLIANT ~ O.K.

GROSS M.L.S.S. PROVIDED = 28 LF < 27.5 REQ'D ~ M.L.S.S. COMPLIANT ~ O.K.

Edward H. Wenke III, PE
CIVIL — STRUCTURAL ENGINEER
Licensed In - Connecticut, New York, Rhode Island, Maine
Massachusetts, Maryland, Pennsylvania, Wisconsin, California
P.O. Box 359 North Stonington, Connecticut 06359
Ph: 860.460.1606 — Fax: 860.475.5563


EDWARD H. WENKE III, PE
CT PE # 16771

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REVISIONS		
LTR	DESCRIPTION	DATE
A	PRELIM. ISSUE FOR OWNER REVIEW	06.04.19
B	SSDS DESIGN ISSUE FOR PERMIT	09.21.19
C	REV SSDS PER LLHD COMMENTS	12.13.19
D	REVISED FRONT YARD SETBACK TO DECK	05.19.20

SUBSURFACE SEWAGE DISPOSAL SYSTEM DESIGN
PROPOSED 1-BR HOUSE REPLACEMENT TO 2-BR
PREPARED FOR
FRANK & VICTORIA CORY
FOR PROPERTY LOCATED AT
18 ROSELEAH DRIVE — MYSTIC — M175/B1/L32
TOWN OF STONINGTON — NEW LONDON COUNTY — CONNECTICUT

Dwg. No.
C-01
SHEET 1 OF 3
Scale:
AS SHOWN
Date
JUNE 2019
Project No.
190410

SUBSURFACE SEWAGE DISPOSAL SYSTEM DESIGN PROPOSED 1-BR HOUSE REPLACEMENT TO 2-BR PREPARED FOR <u>FRANK & VICTORIA CORY</u> FOR PROPERTY LOCATED AT 18 ROSELEAH DRIVE — MYSTIC — M175/B1/L32 TOWN OF STONINGTON — NEW LONDON COUNTY — CONNECTICUT		
Dwg. No. <div style="font-size: 2em; font-weight: bold; text-align: center;">C-02</div> <div style="text-align: center;">SHEET 2 OF 3</div>		
Scale: <div style="text-align: center; font-weight: bold;">AS SHOWN</div>		
Date <div style="text-align: center;">JUNE 2019</div>		
Project No. <div style="text-align: center;">190410</div>		

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C-03	SSDS SITE PLAN & SPECIFICATIONS
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A-102	GRADE LEVEL & ROOF CONSTRUCTION PLANS
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CORY RESIDENCE
NEW SINGLE FAMILY RESIDENCE
18 ROSELEAH DRIVE
MYSTIC (STONINGTON), CONNECTICUT

CODE:

2015 INTERNATIONAL RESIDENTIAL CODE
2018 STATE BUILDING CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE

BUILDING USE GROUP: SINGLE FAMILY DETACHED R3
CONSTRUCTION TYPE: VB COMBUSTIBLE UNPROTECTED

WIND EXPOSURE:	110 MPH, 135 MPH Vuil. EXPOSURE D
WINDBORNE DEBRIS REGION:	NO - PER MODIFICATION REQUEST
GROUND SNOW LOAD:	30 PSF
WEATHERING:	SEVERE
FROST LINE DEPTH:	42"
FLOOD ZONE:	VE EL14
CLIMATE ZONE:	5A
WINTER DESIGN TEMP.:	7 DEGREES F
ICE BARRIER REQUIRED:	YES
AIR FREEZING INDEX:	1500
MEAN ANNUAL TEMP.:	50 DEGREES F
LATERAL BRACING:	BRACED WALLS - SEE STRUCTURAL

MINIMUM DESIGN LIVE LOADS:

GROUND SNOW LOAD:	30 P.S.F.
ATTICS W/ STORAGE:	20 P.S.F.
ATTICS W/O STORAGE:	10 P.S.F.
SLEEPING AREAS:	30 P.S.F.
GARAGES:	50 P.S.F.
DECKS & PORCHES:	40 P.S.F.
EXTERIOR BALCONIES:	40 P.S.F.
ALL OTHER SPACES:	40 P.S.F.

BUILDING DATA:
SQUARE FOOTAGES:
SEE DRAWING A-101

WINDOW REQUIREMENTS:

IMPACT RATING:	N.A.
PROTECTION SYSTEM:	N.A.
DP RATING:	DP50
1ST FLR. EGRESS:	YES, 5.7 S.F., 20" H MIN., 24" W MIN.
2ND FLOOR EGRESS:	YES, 5.7 S.F., 20" H MIN., 24" W MIN.
OPENING LIMITING DEVICE:	YES @ SILLS 6"0" ABOVE GRADE

INSULATION:

FENESTRATION U-FACTOR:	0.32
SKYLIGHT U-FACTOR:	0.50
CEILING R-VALUE:	R-49 OR R-38 FULL TO EAVE
FRAMED WALL R-VALUE:	R-21 OR R-13 + R-5
FLOOR R-VALUE:	R-30
BASEMENT WALL R-VALUE:	R-10/R-13
SLAB R-VALUE:	R-10, 4FT.

SCOPE OF WORK:

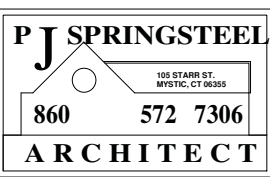
NEW 2 STORY, ELEVATED SINGLE- FAMILY DWELLING
AND RELATED SITE WORK IN VE EL14 FLOOD ZONE.

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NOTE:
THE DESIGNS, SPECIFICATIONS AND PLANS
FOR CONSTRUCTION ARE IN ACCORDANCE
WITH ACCEPTED STANDARDS OF PRACTICE
TO MINIMIZE FLOODING AND FLOOD DAMAGE.

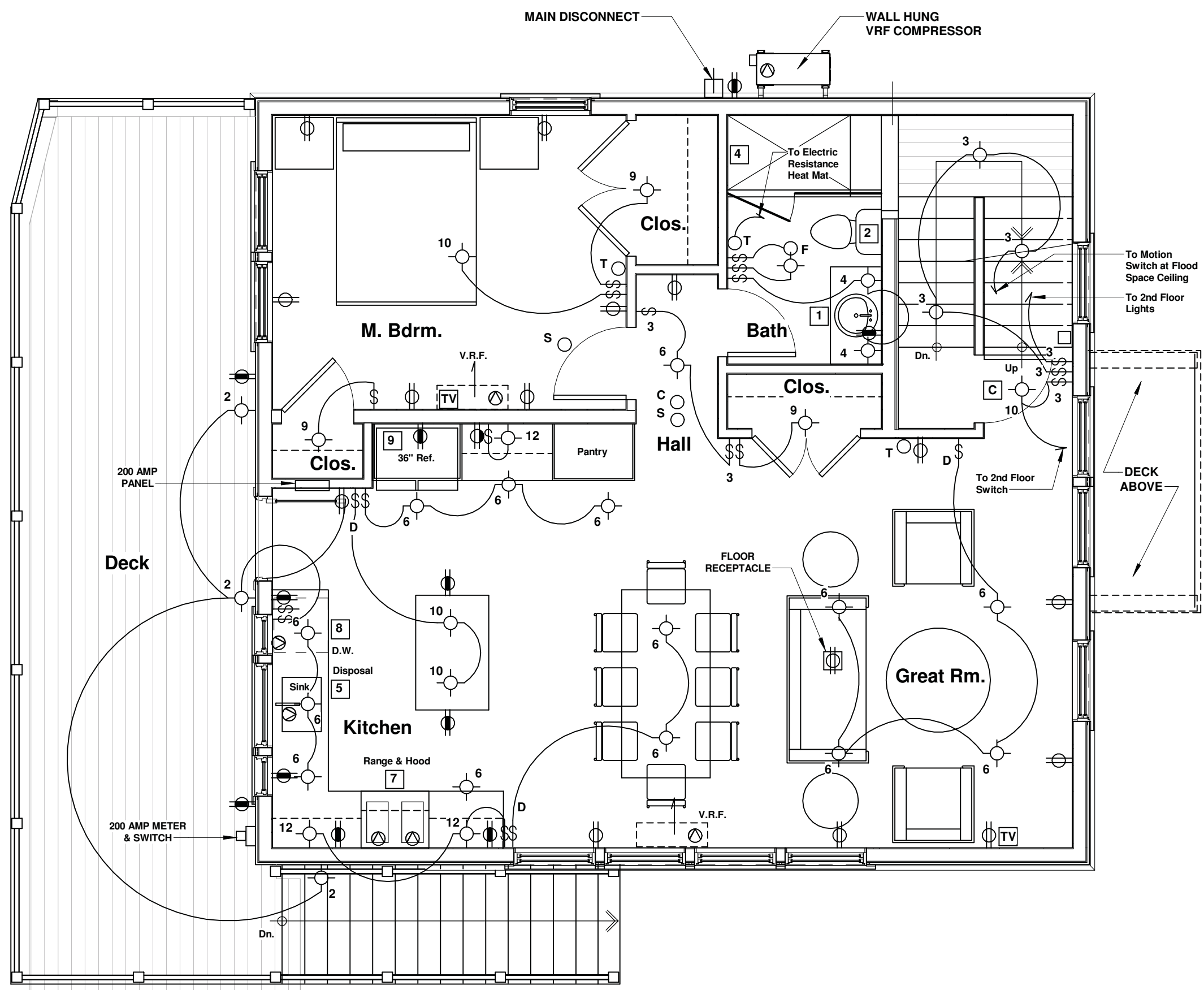
NOTE:
ALL UTILITIES ARE ELEVATED ABOVE EL 15.0',
BFE EL +14'0" +1'0".

E - Mail:
peter.springsteel@snet.net



DATE: 2 MAY 2020

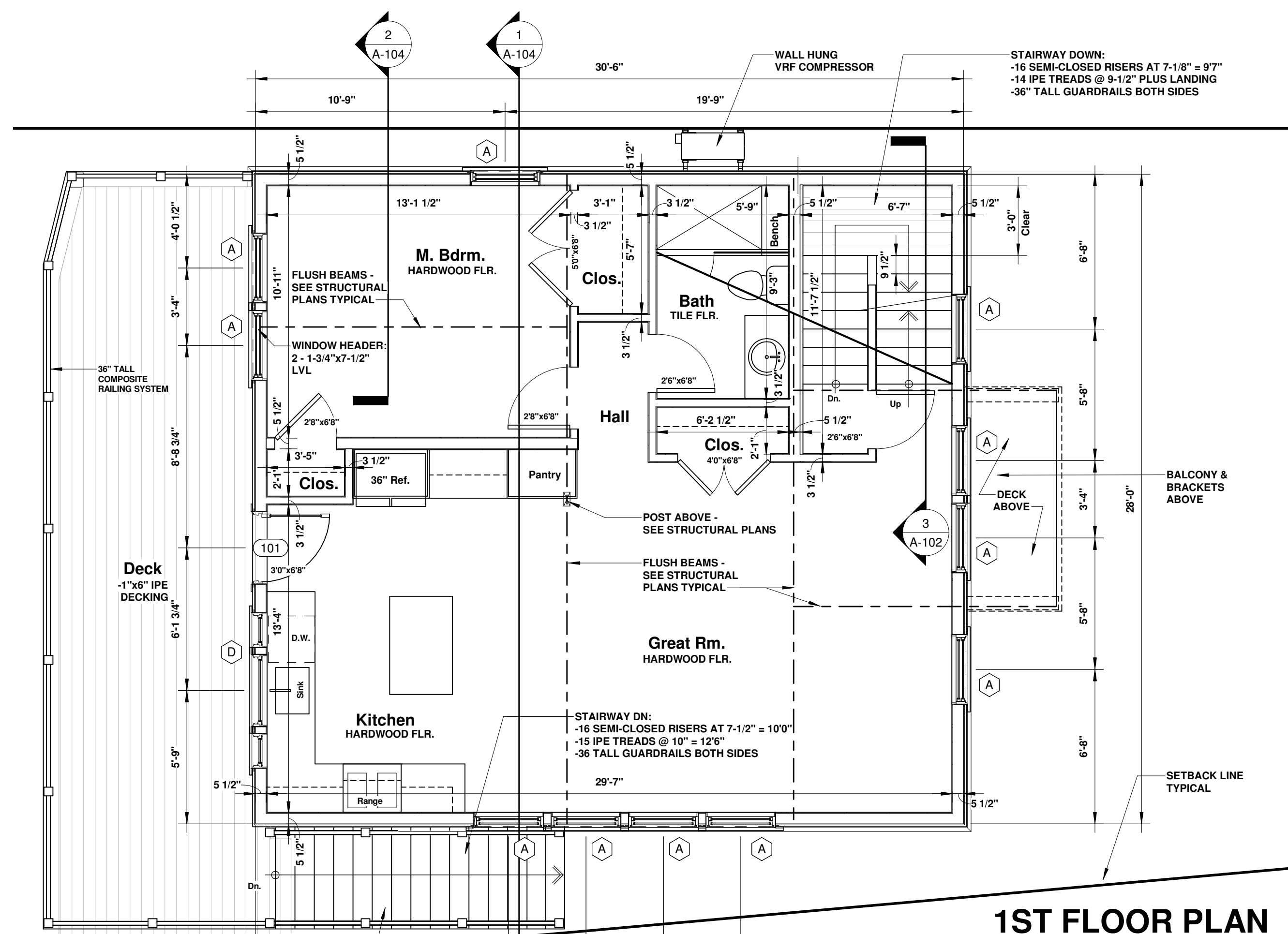
T-101



3 1ST FLOOR M.E.P. PLAN
1/4" = 1'-0"

ELECTRICAL SCHEDULE:

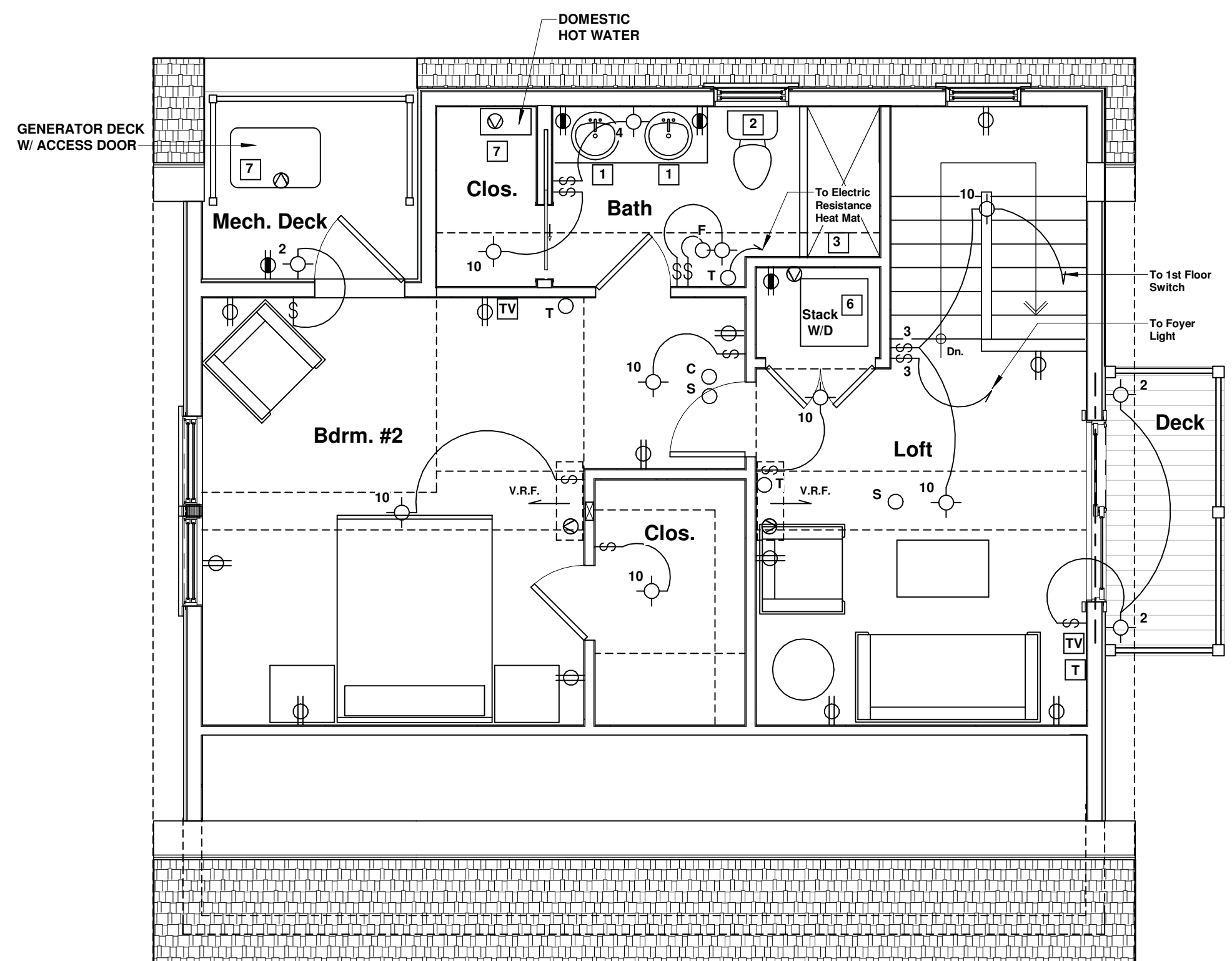
- Ⓛ DIMMER SWITCH
- Ⓢ SINGLE POLE SWITCH/110V/WHITE
- Ⓢ 3-WAY SWITCH/110V/WHITE
- Ⓢ 4-WAY SWITCH/110V/WHITE PLASTIC
- Ⓢ DUPLEX RECEPTACLE/110V/WHITE PLASTIC
18" A.F.F. OR AT EXISTING HEIGHT
- Ⓢ DUPLEX RECEPTACLE/110V/WHITE
LOCATE 6" O.C. ABOVE COUNTERTOP
- Ⓢ DUPLEX RECEPTACLE/110V/WHITE
LOCATE 6" O.C. ABOVE COUNTERTOP OR 18" AFF
AT EXTERIOR. GFCI PROTECTED DEVICE
- Ⓢ HARDWIRE MOTOR OR APPLIANCE CONNECTION.
- Ⓢ AC/DC SMOKE DETECTOR WIRE IN
SERIES TO ALL OTHER DETECTORS
- Ⓢ AC/DC CARBON MONOXIDE DETECTOR WIRE IN
SERIES TO ALL OTHER DETECTORS
- Ⓢ MODULAR TELEPHONE JACK
- Ⓢ THERMOSTAT WIRING BY ELECTRICIAN / DEVICE BY PLUMBER:
HONEYWELL, TACO OR EQUAL W/ AUTO SETBACK
- Ⓢ MODULAR CABLE TV JACK
- Ⓢ CHIME
- Ⓢ CHIME PUSH BUTTON
- Ⓢ CENTRAL VACUUM INLET
- Ⓢ BATHROOM EXHAUST FAN RUN THROUGH
ENERGY RECOVERY VENTILATOR
- 1 PLASTIC/PORCELAIN SOCKET W/75W A19
- 2 EXTERIOR WALL MOUNTED FIXTURE AS SELECTED
BY OWNER - SEE ALLOWANCES
- 3 EXTERIOR DAMP RATED CEILING RECESSED FIXTURE, I.E.D.,
LIGHTTOLIER OR EQUAL APPROVED BY THE ARCHITECT
- 4 VANITY WALL MOUNTED FIXTURE AS SELECTED
BY OWNER - SEE ALLOWANCES
- 5 4" DIA. CEILING RECESSED I.E.D. FIXTURE LIGHTTOLIER
OR EQUAL APPROVED BY THE ARCHITECT.
- 6 5" DIA. CEILING RECESSED FIXTURE, I.E.D. FIXTURE
LIGHTTOLIER OR EQUAL APPROVED BY THE ARCHITECT.
- 8 WALL SCONCE FIXTURE AS SELECTED
BY OWNER - SEE ALLOWANCES
- 9 WALL MOUNTED CLOSET FIXTURE
2' SINGLE BULB FLOURESCENT STRIP
- 10 CEILING SURFACE OR PENDANT MOUNTED FIXTURE AS SELECTED
BY OWNER - SEE ALLOWANCES
- 11 CEILING HUNG PADDLE FAN AS SELECTED
BY OWNER - SEE ALLOWANCES
- 12 UNDER CABINET FIXTURE AS SELECTED BY THE OWNER -
SEE ALLOWANCES.



1ST FLOOR PLAN
854 S.F.

NOTE:
THE DESIGNS, SPECIFICATIONS AND PLANS
FOR CONSTRUCTION ARE IN ACCORDANCE
WITH ACCEPTED STANDARDS OF PRACTICE
TO MINIMIZE FLOODING AND FLOOD DAMAGE.

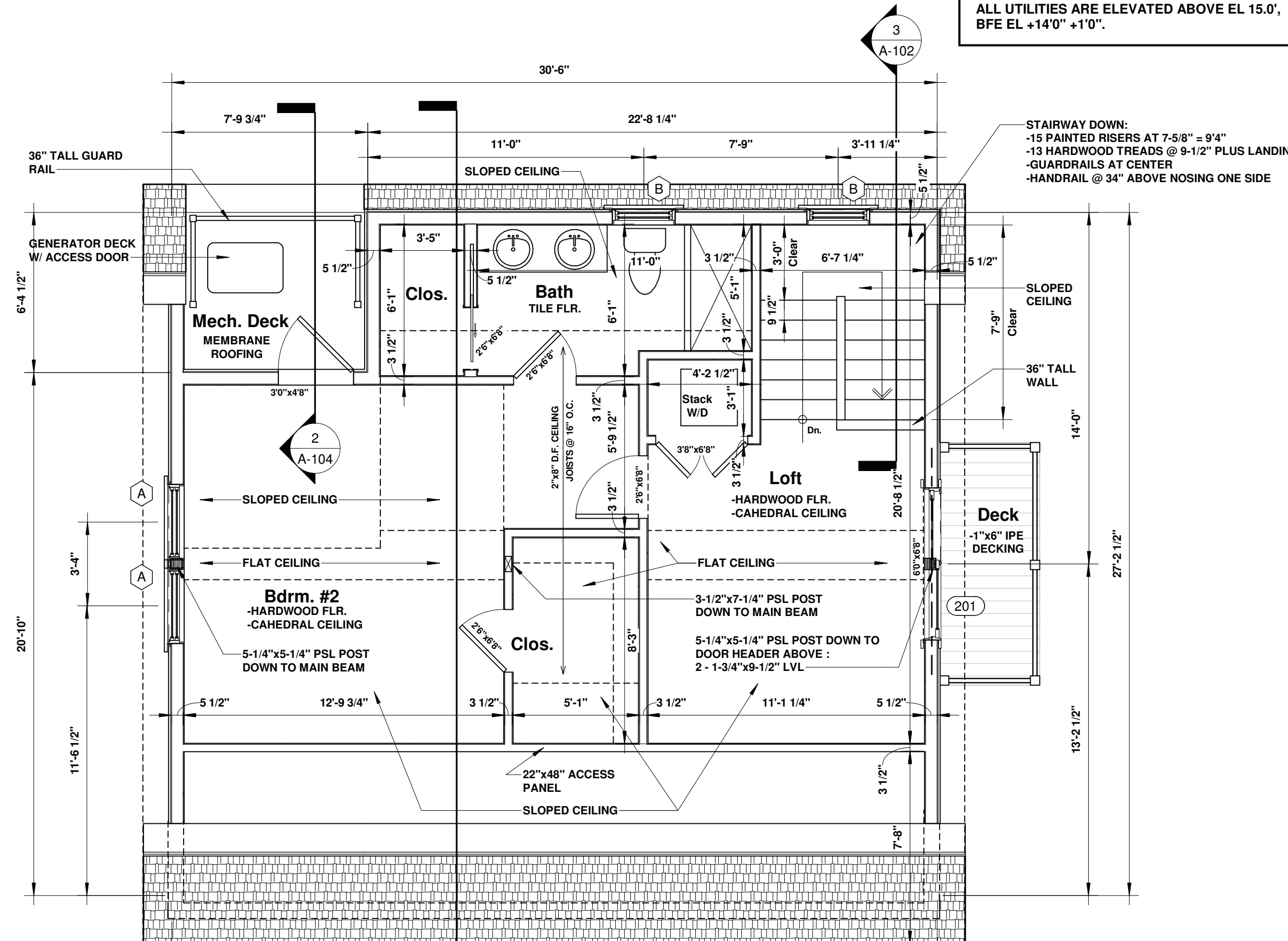
NOTE:
ALL UTILITIES ARE ELEVATED ABOVE EL 15.0',
BFE EL +14'0" +1'0".



4 2ND FLOOR M.E.P. PLAN
1/4" = 1'-0"

PLUMBING SCHEDULE:

- 1 LAVATORY WITH FAUCET SELECTED BY THE OWNER.
SEE SPECIFICATIONS FOR ALLOWANCES.
- 2 1.5 GAL. FLUSH TOILET SELECTED BY THE OWNER
THE OWNER. SEE SPECIFICATION FOR ALLOWANCES.
- 3 ALL TILED 32"x60" SHOWER ENCLOSURE W/ GLASS DOOR UNIT, ACRYLIC
PAN W/ SCHLUTER MEMBRANE AND PRESSURE BALANCING VALVE &
SPOUT AS SELECTED BY OWNER. SEE SPECIFICATIONS FOR ALLOWANCES.
- 4 ALL TILED 36"x60" SHOWER ENCLOSURE W/ BENCH, GLASS DOOR UNIT,
MID-SET TILED PAN W/ SCHLUTER MEMBRANE AND PRESSURE
BALANCING VALVE & SPOUT AS SELECTED BY OWNER. SEE
SPECIFICATIONS FOR ALLOWANCES.
- 5 SINGLE BOWL STAINLESS OR ENAMELED STEEL SINK WITH FAUCET AND
DISPOSAL AS SELECTED BY THE OWNER. SEE SPECIFICATIONS FOR
ALLOWANCES.
- 6 WASHER HOT & COLD SUPPLY WITH SHUT-OFFS, DRAIN AND OVERFLOW
PAN W/ DRAIN. DRYER EXHAUST DUCT WITH ROOF OR WALL MOUNTED
RAIN CAP & BACKDRAFT DAMPER
- 7 PROPANE GAS CONNECTION AND SHUT-OFF.
- 8 DRAIN AND HOT WATER SUPPLY CONNECTION W/
SHUT-OFF TO DISHWASHER.
- 9 COLD WATER SUPPLY CONNECTION WITH
SHUT-OFF TO REFRIGERATOR.
- 10 FROST PROOF HOSE BIB WITH HOT & COLD WATER SUPPLY.
- 11 OUTDOOR SHOWER HEAD AND PRESSURE
BALANCING VALVE.



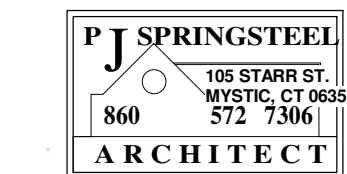
2ND FLOOR PLAN
465 S.F.

1ST & 2ND FLOOR CONSTRUCTION PLANS

CORY RESIDENCE
NEW SINGLE FAMILY RESIDENCE
18 ROSELEAH DRIVE - STONINGTON, CONNECTICUT

NOTES:
THE CONTRACTOR IS RESPONSIBLE FOR
CONFORMING ALL DIMENSIONS IN
THE FIELD. THE CONTRACTOR SHALL
IMMEDIATELY CONTACT THE
ARCHITECT WITH ANY DISCREPANCIES
FROM THE DRAWINGS.
DO NOT SCALE THE DRAWINGS.
THE ARCHITECT SHALL NOT BE
RESPONSIBLE FOR CONSTRUCTION
MEANS, METHODS OR SAFETY
PRECAUTIONS.

E-Mail:
peter.springsteel@snet.net



OWNER
FRANK & VICTORIA CORY

ARCHITECT
PETER J. SPRINGSTEEL
ARCHITECT LLC

105 STARR STREET
MYSTIC, CT 06355
T:(860)572-7306

DATE: 2 FEBRUARY 2019
DATE: 27 APRIL 2020
DATE: 2 MAY 2020

A-101

CORY RESIDENCE
NEW SINGLE FAMILY RESIDENCE
18 ROSELEAH DRIVE - STONINGTON, CONNECTICUT

E - Mail:
peter.springsteel@snet.net

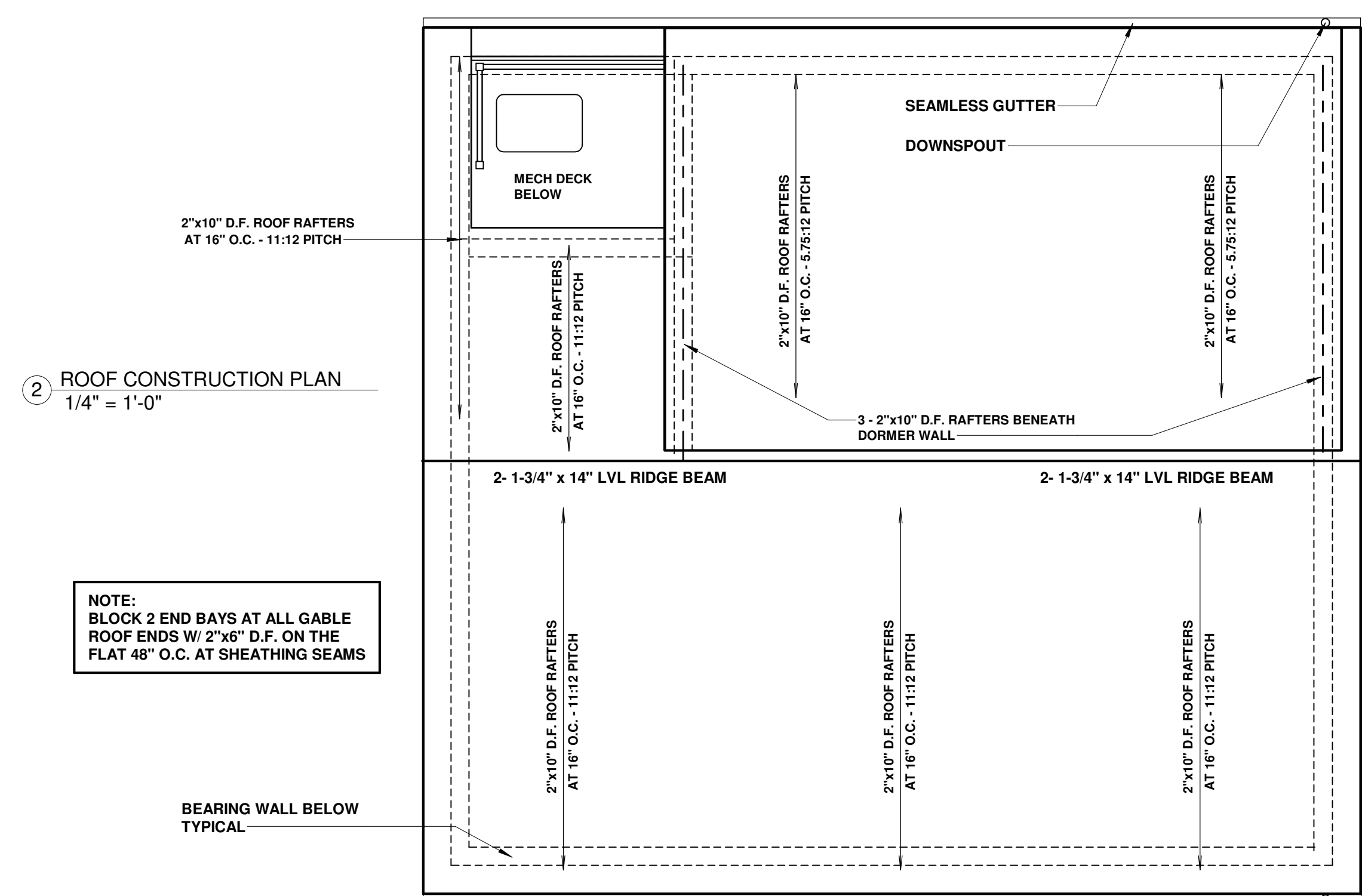
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MYSTIC, CT 06355
860 572 7306
ARCHITECT



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ARCHITECT LLC

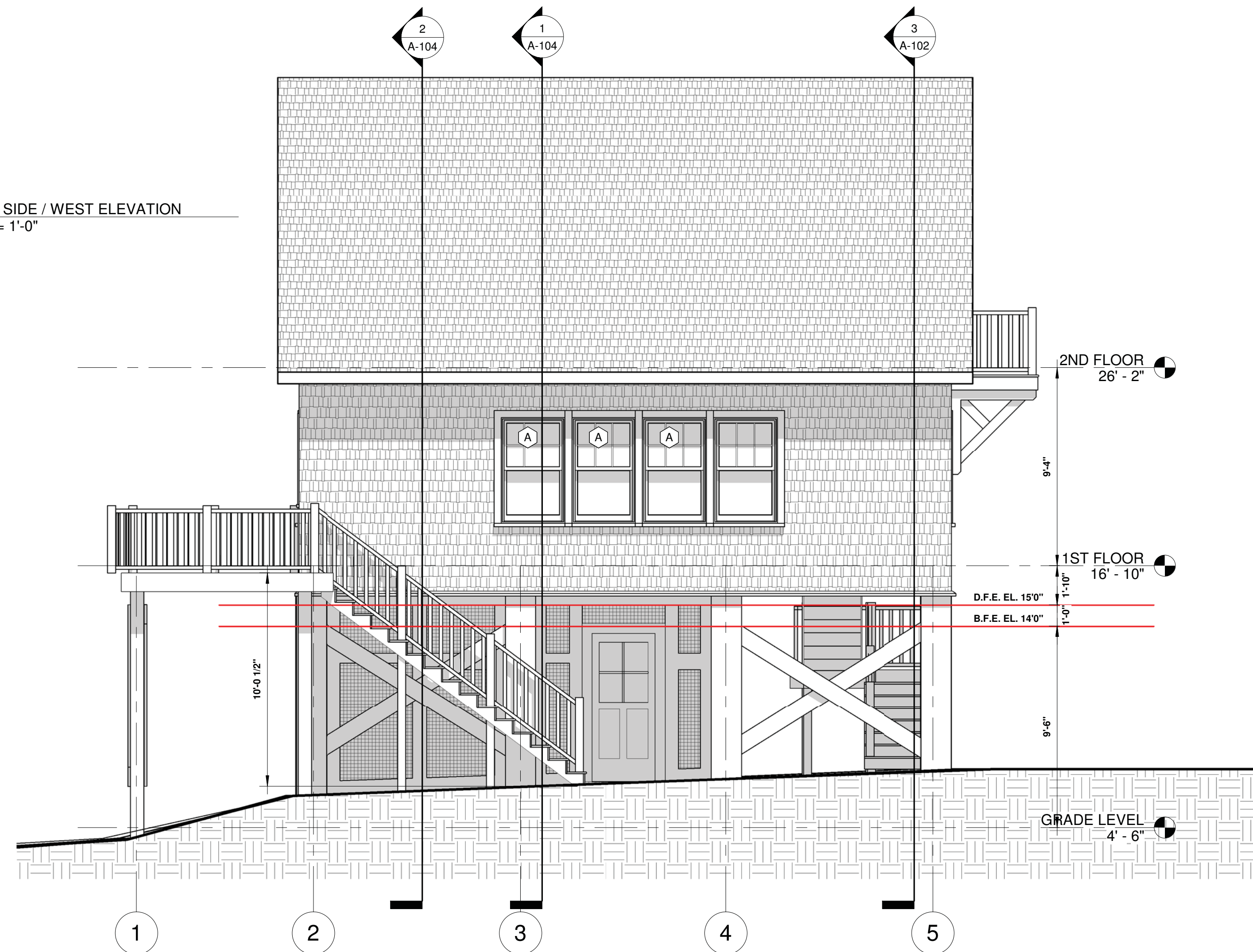
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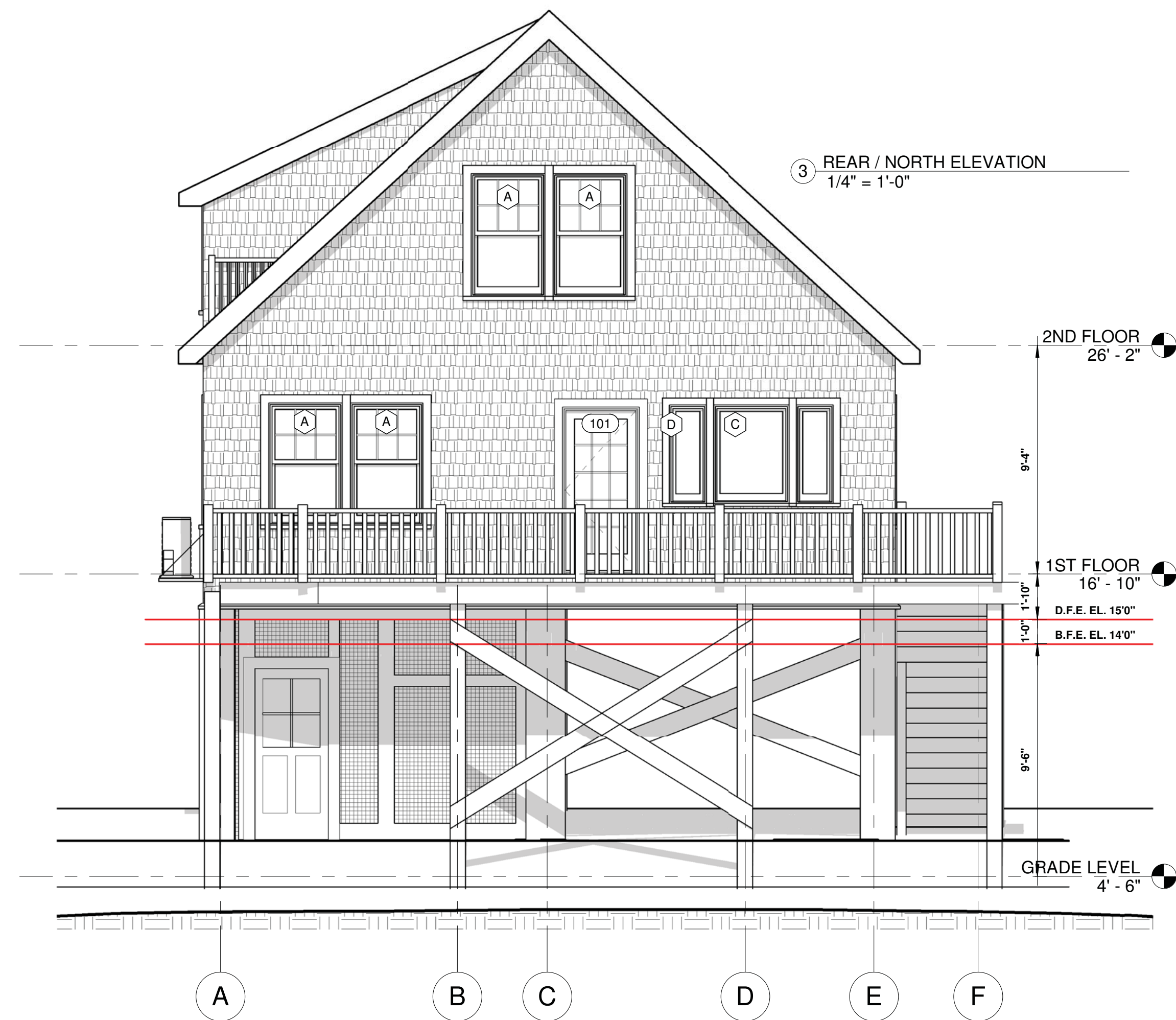


NOTE:
BLOCK 2 END BAYS AT ALL GABLE
ROOF ENDS W/ 2"x6" D.F. ON THE
FLAT 48" O.C. AT SHEATHING SEAMS

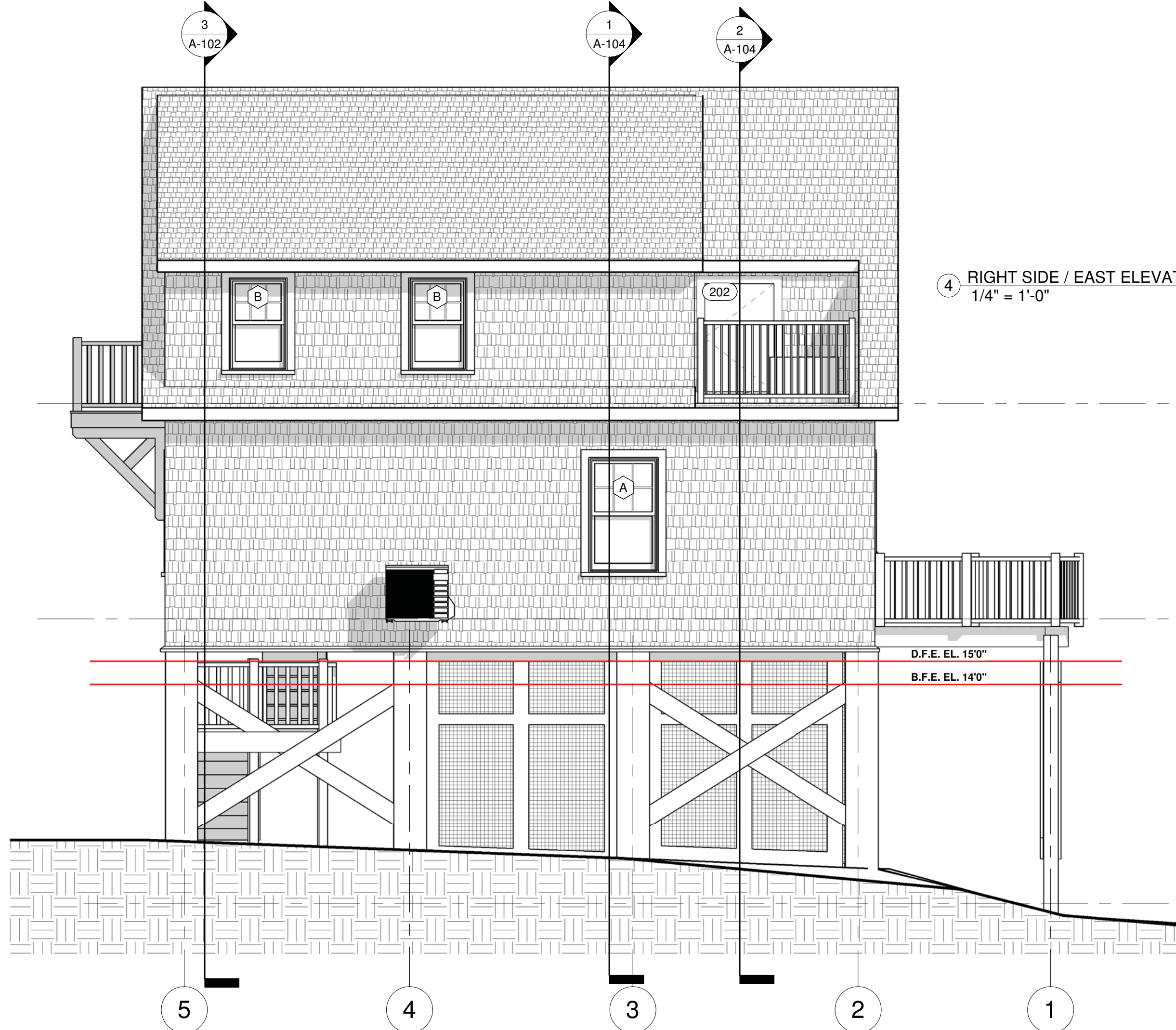
2 LEFT SIDE / WEST ELEVATION
1/4" = 1'-0"



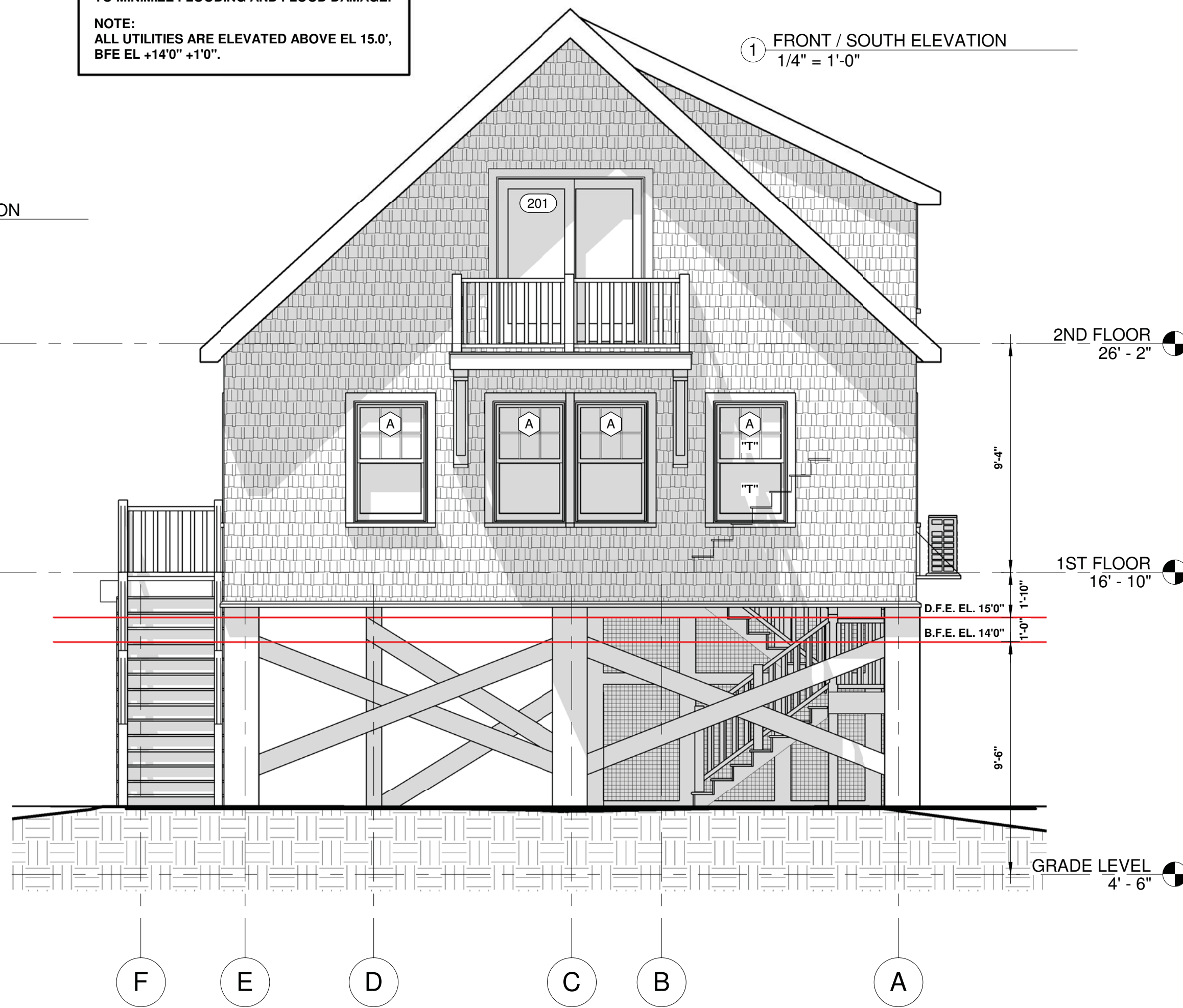
3 REAR / NORTH ELEVATION
1/4" = 1'-0"



4 RIGHT SIDE / EAST ELEVATION
1/4" = 1'-0"



1 FRONT / SOUTH ELEVATION
1/4" = 1'-0"



NOTE:
THE DESIGNS, SPECIFICATIONS AND PLANS
FOR CONSTRUCTION ARE IN ACCORDANCE
WITH ACCEPTED STANDARDS OF PRACTICE
TO MINIMIZE FLOODING AND FLOOD DAMAGE.

NOTE:
ALL UTILITIES ARE ELEVATED ABOVE EL. 15.0',
BFE EL. +14'0" +1'0".

WINDOW & DOOR SPECIFICATIONS:

1. ALL WINDOWS AND EXTERIOR DOORS, UNLESS OTHERWISE NOTED, ARE ANDERSEN A SERIES, HARVEY MAJESTY OR EQUAL APPROVED BY THE ARCHITECT AND OWNER.
2. GLAZING SHALL BE INSULATING LOW E2 WITH ARGON GAS, TEMPERED AT LOCATIONS INDICATED, DP50, NON-IMPACT RATED.
3. MUNTINS SHALL BE SIMULATED DIVIDED LITES.
4. GANGED WINDOWS SHALL BE SEPARATED BY TWO STUDS UNLESS OTHERWISE INDICATED.
5. EXTERIOR CASINGS SHALL BE 5/4"x4" w/ 2" HISTORIC SILL, SPLINED AND WELDED, PAINTED "BORAL" OR EQUAL.
6. ALL OPERABLE WINDOWS SHALL BE SUPPLIED WITH HIGH TRANSPARENCY MESH SCREENS, WITH WHITE FRAME. ALL HARDWARE SHALL MATCH EXISTING.
7. PROVIDE EXTENSION JAMBS AS NECESSARY AT EACH CONDITION.
8. ALUMINUM CLADDING SHALL BE WHITE.
9. GLAZING AT DOORS AND WHERE INDICATED BY "T" SHALL BE TEMPERED.
10. WINDOWS SHALL BE FLASHED AND SEALED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED SPECIFICATIONS. THE MANUFACTURER'S REPRESENTATIVE SHALL APPROVE THE WINDOW INSTALLATION ON SITE PRIOR TO INSTALLATION OF EXTERIOR AND INTERIOR CASINGS.
11. CONTRACTOR SHALL SUBMIT WINDOW/EXTERIOR DOOR SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO RELEASING THE ORDER FOR FABRICATION.

WINDOW & DOOR SPECIFICATIONS:

- (A) ANDERSEN OR HARVEY DOUBLE HUNG R.O. 3'0" W x 5'0" H, 6/1 LITES, 3W2H, R.O. HEAD @ 7'-3/4" ABOVE 1ST FLOOR SUBFLOOR & 2ND FLOOR SUBFLOOR & ATTIC SUBFLOOR.
- (B) ANDERSEN OR HARVEY DOUBLE HUNG R.O. 2'6" W x 4'0" H, 6/1 LITES, 3W2H, R.O. HEAD @ 7'-3/4" ABOVE 1ST FLOOR SUBFLOOR & R.O. HEAD @ 5'-3/4" ABOVE 2ND FLOOR SUBFLOOR.
- (001) THERMATRU "SMOOTHSTAR" PAINTED FIBERGLASS PREHUNG DOOR SYSTEM, 3'0"x6'8"x1-3/4", WEATHERSTRIPPING ON ALL SIDES, BRONZE THRESHOLD. SEE ALLOWANCES FOR HARDWARE.
- (101) ANDERSEN A-SERIES FRENCHWOOD HINGED INSWING DOOR FWHID3068, R.O. 3'0" W x 6'8" H, 15 - LITE, 3W5H.
- (201) ANDERSEN A-SERIES FRENCHWOOD GLIDING PATIO DOOR FWGP6068, R.O. 6'0" W x 6'8" H, 1 - LITE & 1 - LITE.

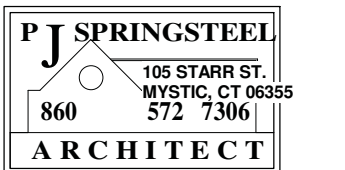
BUILDING ELEVATIONS

SCALE: 1/4" = 1'-0"
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CORY RESIDENCE
NEW SINGLE FAMILY RESIDENCE
18 ROSELEAH DRIVE - STONINGTON, CONNECTICUT

NOTES:
THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL DIMENSIONS IN THE FIELD. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ARCHITECT WITH ANY DISCREPANCIES FROM THE DRAWINGS.
DO NOT SCALE THE DRAWINGS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS OR SAFETY PRECAUTIONS.

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DATE: 2 FEBRUARY 2019
DATE: 27 APRIL 2020
DATE: 2 MAY 2020

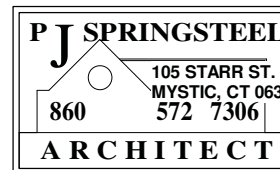
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CORY RESIDENCE
NEW SINGLE FAMILY RESIDENCE

18 ROSELEAH DRIVE - STONINGTON, CONNECTICUT

NOTES:
THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL DIMENSIONS IN THE FIELD. THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ARCHITECT WITH ANY DISCREPANCIES FROM THE DRAWINGS.
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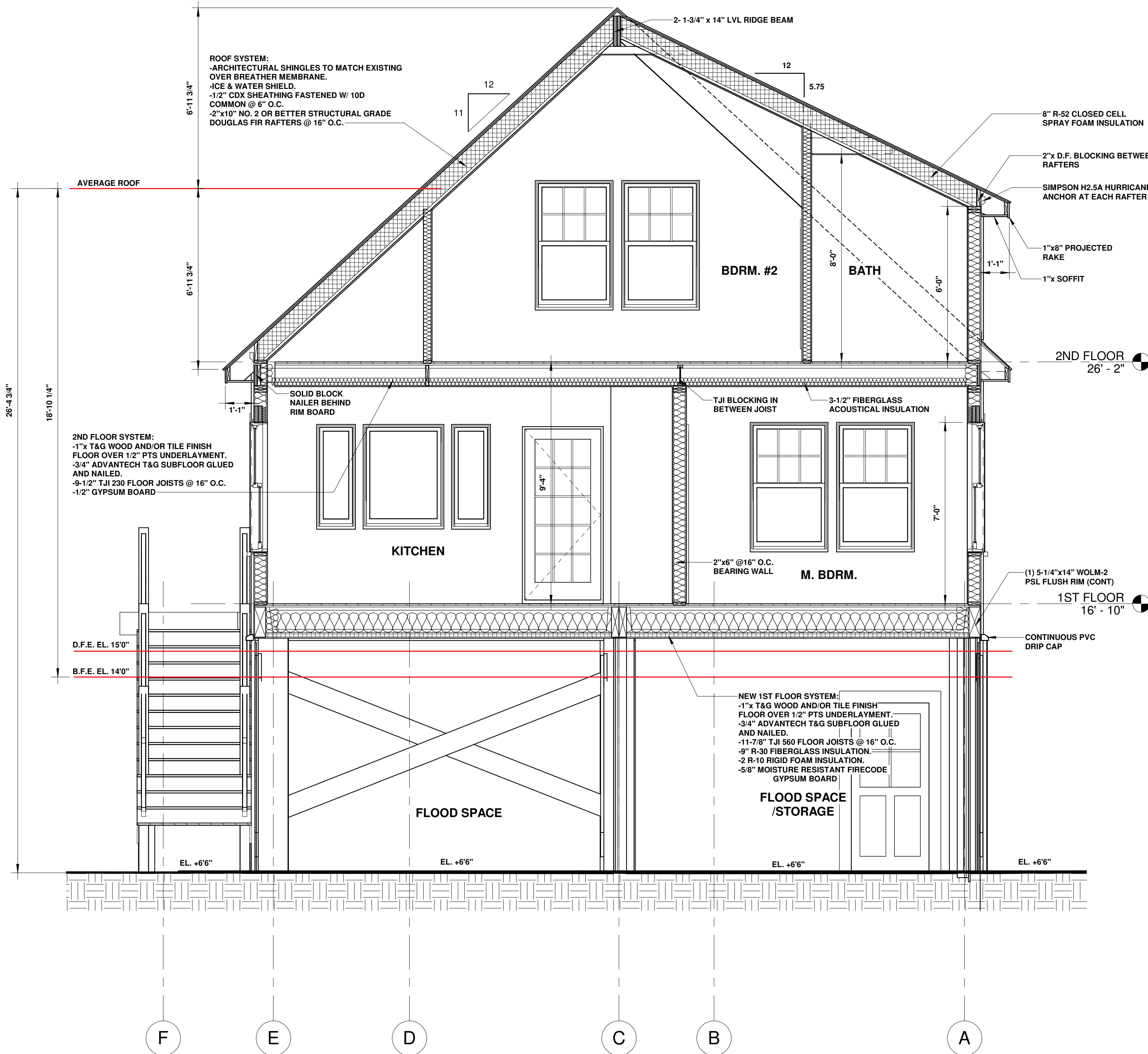
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BUILDING SECTIONS

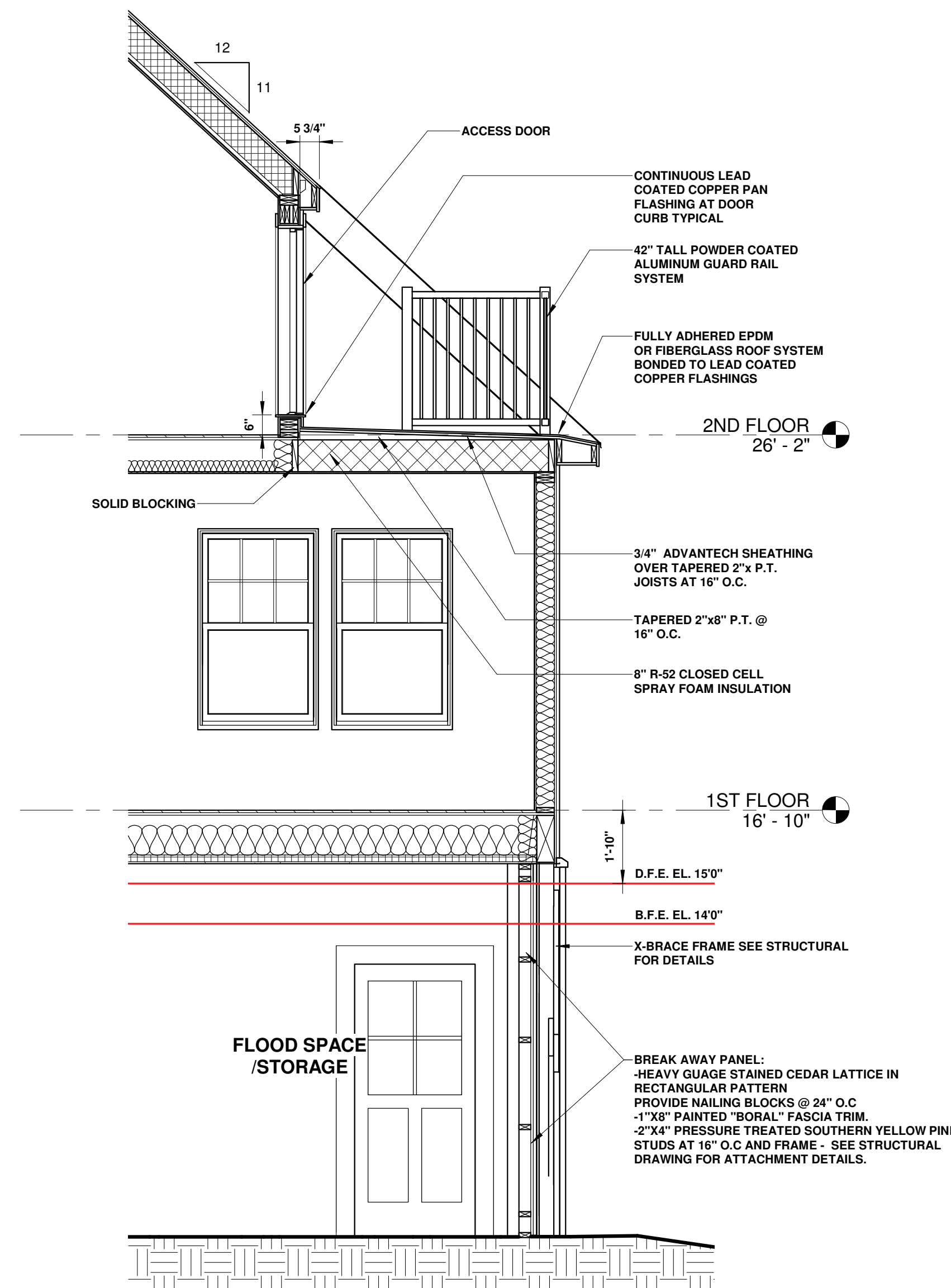
SCALE: 3/8" = 1'-0"
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NOTE:
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NOTE:
ALL UTILITIES ARE ELEVATED ABOVE EL. 15.0', BFE EL. +14'0" +1'0".



1 SECTION @ MAIN STRUCTURE
3/8" = 1'-0"



2 SECTION @ MECH. DECK
3/8" = 1'-0"

