

Meeting Summary Report

FEBRUARY 6, 2024 | SPECIAL MEETING

Town of Stonington
Planning and Zoning Commission



Town of Stonington Planning and Zoning Commission

AGENDA
SPECIAL MEETING
TUESDAY, FEBRUARY 6, 2024 – 7:00 PM
STONINGTON BOARD OF EDUCATION DISTRICT OFFICE
40 FIELD STREET, PAWCATUCK, CT 06379

COMMISSIONERS

Charles Sheehan
Chairman

Ryan Deasy
Vice Chairman

Lynn Conway
Secretary

Gary Belke
Member

Andy Meek
Member

Bennett Brissette
Alternate

Ben Philbrick
Alternate

MaryEllen Mateleska
Alternate

Agenda items are on file for public review at the Town of Stonington Department of Planning:

152 Elm Street
Stonington, CT 06378
P: 860.535.5095
E: dop@stonington-ct.gov

Stonington Board of Education District Office is wheelchair accessible. If you plan to attend this public meeting and you have a disability which requires special arrangements, please call 860.535.5095 at least 24 hours in advance of the meeting date. Reasonable accommodations will be made to assist your needs.

1. Call To Order – 7:00 PM
2. Appoint Alternates:
 - a. Ben Philbrick (Seated 9/5/23)
 - b. Bennett Brissette (Seated 10/3/23)
 - c. MaryEllen Mateleska (Seated 11/21/2023)
3. Minutes:
 - a. #1746 – January 2, 2024
 - b. #1747 – January 24, 2024
4. Public Comment:
5. Correspondence:
6. Reports:
 - a. Staff
 - b. Commission
 - c. Zoning Enforcement and Violations
 - d. Administrative Review
 1. **C.G.S. 8-24 Review: Circus Lot** – Request for review and report for the potential purchase of 29 Noyes Avenue (M/B/L: 1-3-1) by the Town of Stonington pursuant to C.G.S. 8-24.
7. Old Business:
 - a. **PZ2333CAM St. Edmunds Retreat (K. Nielson)** – Coastal Area Management application for the repair and restoration of the existing shoreline structures and landward seawall at St. Edmunds Retreat on Enders Island. Property located at Enders Island, Mystic; M/B/L 178-1-1. Property is located in the RC-120 Zone.
 - b. **PZ2334CAM Norwest Marine (K. Nielson)** – Coastal Area Management application for the restoration of existing marine support facilities. Properties are located at 1 River Road and 7 River Road, Pawcatuck; M/B/L: 5-6-20; 5-6-21. Properties are located in the RC-120 Zone and MC-80 Zone.
 - c. **PZ2335BR BG Ventures, LLC (E. Goodman)** – Bond Release/Reduction application for work performed under application PZ2125SUP & CAM. Property is located at 26 Old Stonington Road, Stonington; M/B/L: 153-2-3. This property is located in the GC-60 Zone.



Town of Stonington Planning and Zoning Commission

AGENDA
SPECIAL MEETING
TUESDAY, FEBRUARY 6, 2024 – 7:00 PM
STONINGTON BOARD OF EDUCATION DISTRICT OFFICE
40 FIELD STREET, PAWCATUCK, CT 06379

MEETING PROCEDURES

PUBLIC COMMENTS

Public comments are an opportunity for public participation on items not on the evening's agenda.

PUBLIC HEARINGS

Public hearings are an opportunity for public participation during the review of a development proposal.

Applicants will make an initial presentation. The public can then speak "in favor," "in opposition," or under "general comments." A signup sheet is located at the main entrance. Participants are not required to sign up, however, the list will be used to organize the order of interested speakers.

Any questions will be addressed as part of the applicant's rebuttal. Once a public hearing has been closed, neither the applicant nor the public can participate in the proceedings.

NEW SUBMITTALS

No action will be taken on these items. New submittals require routing to other Town agencies and, in some instances, may be scheduled for a public hearing at a later date.

8. Public Hearing(s):

- a. **PZ2327ZC RCP Waterford II, LLC & Readco Stonington III, LLC (J. Browning)** – Zoning Map Amendment application for a Neighborhood Design District (NDD) Zone. Proposal consists of 124 multi-family residential apartments, 10,000 square feet of commercial space, and 30,000 square feet of commercial recreation space. Properties are located at 85 Voluntown Road and 455 Liberty Street, Pawcatuck; M/B/L: 18-1-36; 18-1-33-A. Properties are located in the HI-60 Zone.

Public Hearing opened on December 19, 2023.

9. Future Public Hearing(s):

- a. **PZ2322SPA & GPP Fair Housing of Connecticut, LLC (M. Ranelli)** – Site Plan Application and Groundwater Protection Permit applications for an Affordable Housing Project submitted pursuant to C.G.S. 8-30g. Proposal consists of 102 single-family housing units and associated site improvements. Properties located at 207, 215, and an unaddressed parcel on Liberty Street, Pawcatuck; M/B/L: 16-4-12; 16-4

Public Hearing continued to February 20, 2024.

- b. **PZ2329ZC Maple Lawn Farm, LLC (Paul & Sharyne Cerullo)** – Zoning Map Amendment application for an Agricultural Heritage District (AHD) Zone. Proposal consists of a Master Plan to create a campus for food, education, and events. Properties are located at 343 Wheeler Road and another unaddressed parcel on Wheeler Road, Stonington; M/B/L: 94-1-4; 86-1-4. Properties are located in the RR-80 Zone and GBR-130 Zone.

Public Hearing continued to February 20, 2024.

10. New Submittal(s):

11. Adjournment

Planning & Zoning Commission
Special Meeting
January 2nd, 2024
Draft Minutes

The 1746th meeting of the Town of Stonington's Planning and Zoning Commission was held at the Stonington Board of Education Office, 40 Field Street, January 2, 2024. The meeting was called to order at 7:00 PM by Chairman Charles Sheehan. Also present for the meeting were MaryEllen Mateleska, Ryan Deasy, Gary Belke, Bennett Brissette, and Town Planner Clifton Iler. Andy Meek, Ben Philbrick, and Lynn Conway were not present.

Seated for the meeting were Charles Sheehan, Ryan Deasy, Gary Belke, and Alternates Bennett Brissette and MaryEllen Mateleska.

Minutes:

Mr. Deasy made a motion to approve the minutes of December 19, 2023, seconded by Mr. Belke, all were in favor, 5-0.

Mr. Deasy made a motion to approve the minutes of December 20, 2023, seconded by Mr. Belke, vote was taken 3-0-2. Abstain from MaryEllen and Ryan Deasy.

Public Comment:

Jim Moody, 77 Old North Rd, was not in favor or against the Mason's Island CAM applications on this agenda, however he would like the Commission to know that Old North Road does flood, storm drains do not treat this area, and houses in addition to this would make the issue worse. The lot is not currently empty, there are boats and other items being stored there. (*Commissioner Sheehan explained that this Public Comment section is often reserved for comments outside of a particular night's agenda, however an email from Mr. Moody was not included in tonight's report, thus he was allowed a brief comment*).

Correspondence: None

Reports: None

Old Business:

PZ2331CAM Masons Island Company, Inc. (S. Moran) – Coastal Area Management application to accompany future Zoning Permit application for the construction of new residential structures. Property is located at Old North Road, Mystic; M/B/L: 175-2-3. This property is located in the RM-15 Zone

Seamus Moran, H+H Engineering, displayed the conceptual lot development idea. The lot is available for a free split (Commissioner Sheehan clarified that one split of a non-subdivided lot is 'free'; a 'subdivision' must consist of three lots, or two splits). Per Mr. Moran, the conceptual plan shows both properties as duplexes as this is the most intensive use allowed, however the developer could shift to single family units if desired. The existing dock will remain on "lot 1". Both proposed duplexes have 2 three-bedroom units;

6 bedrooms on each lot. Lot 1 was approved by Ledge Light. Mr. Moran discussed comments from the Town Engineer as well as DEEP.

Atty John Chase discussed the submitted report from SLR and comments from DEEP.

The Commission questioned what would trigger this application to come before them again. Per Mr. Iler, this conceptual plan is the highest and most intensive use of the site thus a substantial change would be required.

Mr. Moran discussed the grading of these lots for the Commission upon request. Per Mr. Moran, the buildings do not have to be built on piers; this specific plan consists of foundation walls with flood vents; however, no utilities will be in this cellar area. Mr. Moran agreed that lesser events than a 100-year storm may still produce some flooding here.

No staff comments.

Mr. Deasy made a motion to approve the application with existing stipulations, seconded by Mr. Belke, all were in favor, 5-0.

PZ2332CAM Masons Island Company, Inc. (S. Moran) – Coastal Area Management application to accompany future Zoning Permit application for the construction of new residential structures. Property is located at Old North Road, Mystic; M/B/L: 175-2-3. This property is located in the RM-15 Zone.

Mr. Deasy made a motion to approve the application with existing stipulations, seconded by Mr. Belke, all were in favor, 5-0.

Public Hearing(s): Began at 7:36 PM

PZ2328SUP Phoenix Pawcatuck, LLC (Northeast Sign Co.) – Special Use Permit application for Special Wall Signs pursuant to ZR §14.7.1 to permit a building mounted sign totaling 37.5 SF. Property is located at 100 Mechanic Street, Pawcatuck; M/B/L: 4-7-16. Property is located in the Heritage Mill Zone.

Beth Tabriz, Interior Designer at Northeast Sign Co, discussed the necessity to build a larger size than what is allowed; it will be acrylic and without illumination. Ms. Tabriz displayed a rendering of how the sign will appear on the building. The commission confirmed that there will be no lighting and Ms. Tabriz further discussed the necessity for a special use permit.

Mr. Iler discussed brief staff comments, none of which were against this application.

Mr. Deasy made a motion to close the public hearing at 7:47 PM, seconded by Mr. Belke, all were in favor, 5-0.

Mr. Deasy made a motion to approve the waivers, seconded by Mr. Belke, all were in favor, 5-0.

Mr. Deasy made a motion to approve the special use permit with existing stipulations, second by Mr. Belke, all were in favor, 5-0.

PZ2329ZC Maple Lawn Farm, LLC (Paul & Sharyne Cerullo) – Zoning Map Amendment application for an Agricultural Heritage District (AHD) Zone. Proposal consists of a Master Plan to create a campus for food, education, and events. Properties are located at 343 Wheeler Road and another unaddressed parcel on Wheeler Road, Stonington; M/B/L: 94-1-4; 86-1-4. Properties are located in the RR-80 Zone and GBR-130 Zone.

Paul Cerullo, 343 Wheeler Rd, displayed a slide show and explained the historic, current, and potential future activities of this property. Mr. Cerullo discussed the agricultural activities that have taken place on this lot as well as current uses such as raising ducks, chickens, small crops, etc. Per Mr. Cerullo, drainage has always been something that they have tried to address, the pond helps in reducing flooding on Wheeler Rd, a high yield well has been installed to reduce stress on residential wells, and there was further discussion regarding the homestead renovation. Mr. Cerullo would like to create a self sufficient property that can financially support itself and hold recreational events that include art, culinary education, weddings, etc. Per Mr. Cerullo, the agricultural funds that have been raised have all gone toward scholarships in addition to fundraiser events held with the TAPS organization.

Mr. Cerullo confirmed for the commission that there have no no complaints about traffic, noise, or anything else during the TAPS events. The Commission discussed stormwater management with Mr. Cerullo and the desire for there to be more extensive plans in writing on how this will be managed.

Bob Mercer, MBV Architects, confirmed that he is not qualified to produce a stormwater management plan. Only a few days prior to the meeting they received a detailed list regarding information that should be included in their plans. They are working on producing conceptual plans for stormwater management and a traffic study.

Jessica Cerullo, 16 Cutler St, discussed the farm land loss in Connecticut. Per Ms. Cerullo, it is important to gather meaningfully and garner community relationships. She discussed the artistic and recreational activities that honor the nature and historic elements of this property.

The Commission agreed that a master plan should have conceptual ideas regarding stormwater management and a traffic study.

Mr. Iler discussed comments from the town commissions and town staff. The determination of intent is up to the Commission this evening. Mr. Iler discussed the rules of zone amendments within Stonington's regulations. Mr. Iler discussed the timeline of this application and what will be expected from this Commission.

Public Comment:

Bill Lyman, 579 Taugwonk Road, had concern regarding large events where boundaries may not be clearly defined, the amplification of music, and the frequency and timing of events. According to Mr. Lyman, 'fundraising events' is a vague term and should be defined more explicitly in a master plan.

Stuart Cole, Chairman of Conservation Committee, discussed the intent of the AHD. All activities shown by the applicant can be done without this zoning amendment. Mr. Cole read from comments that were already submitted on the record. The AHD does not prevent this land from being subdivided with multiple homes in the future; there is little control over future uses of this land. Mr. Cole is concerned with the looseness of regulations for this zone.

Stanton Simm, 20 Sommers La, reiterated that none of these activities require the AHD zone change. This would not prevent a commercial entity from purchasing the property in the future. Permitted 'performances' should be better defined. Mr. Simm discussed similar properties in Stonington which currently use easements to preserve land and are not within an AHD zone.

Joyce Fingerut, 537 Taugwonk Rd, has experienced noise issues from Stonington Vineyards as there is no real enforcement, broken promises, etc. Ms. Fingerut would like the commission to consider time limits, decibel restrictions, and overall enforcement of these rules.

Ben Tamsky, 5 Edgemont St, spoke as a citizen, reinforced that guidelines should be in place for amplified music; it can be a long process to enforce sound, number of events / people, etc.

Laurie Cerullo, 267 Taugwonk Rd, daughter of Paul and Sharyne Cerullo, confirmed her and her sister's intention to maintain their parent's vision for future generations.

Carrie Moore, 186 Dawley Dr, expressed appreciation for the Cerullo's intentions. Ms. Moore is concerned as a mother and neighbor regarding noise, traffic, drunk driving, and potentially setting a precedent for 'spot zoning'. Ms. Moore discussed that intention does not prevent certain actions of others. They have heard noise from parties in the past. The Moores bought their property due to the surrounding land preservation.

John Pereira, 182 Dawley Dr, expressed concern regarding large events as there have been events in the past that have disrupted their horses.

Vicki McCord, 400-Wheeler Rd, wanted to inform the Commission that she has never heard loud noises or parties as others have stated. Ms. McCord is in favor of this application.

Anna Hankin, 30 Dawley Dr, expressed that up to this point they have not experienced any issues with loud noise; however, she is concerned about this increasing in the future.

Rebuttal:

Mr. Cerullo explained that they simply responded to a Town letter regarding the AHD zone and it seemed to be a good idea considering the options that were available to them to preserve this land. Mr. Cerullo

confirmed that he is happy to adhere to any necessary rules regarding lights, sound, etc. Mrs. Cerullo explained that the farm used to be around 600 acres but pieces have been sold; they would like to prevent that from continuing. The extra parking was an attempt to improve the application, not to indicate a desire for larger events. Per Mr. Cerullo, the location of a tent for events would be behind the house and not visible from the street. Parking would also be behind the house. There is a 96-acre lot that serves as a 'horse shoe buffer' around their lot.

Mr. Iler discussed 'floating zone' precedent and why this is not an example of 'spot zoning'. It was confirmed that decibel regulation cannot be set by this Board, however they could eliminate it all together; setting a limit would be a Police issue. Mr. Iler listed a number of items on the town's radar, mostly conceptual items.

Mr. Deasy made a motion to table the public hearing until Feb 6th, seconded by Mr. Belke, all in favor, 5-0. The public hearing was tabled at 9:33 PM.

Mr. Deasy made a motion to adjourn the meeting, seconded by Mr. Belke, all in favor, 5-0. The meeting was adjourned at 9:34 PM.

Planning and Zoning Commission
Special Virtual Meeting
January 24, 2024
Draft Minutes

The 1747th meeting of the Town of Stonington's Planning and Zoning Commission was held virtually via Microsoft Teams on Wednesday, January 24, 2024. The meeting was called to order at 7:00 PM by Chairman Chuck Sheehan. Also present for the meeting were Commissioners Ryan Deasy, Andy Meek, Gary Belke, and Alternates Ben Philbrick, Bennett Brissette, and MaryEllen Mateleska. Francisco Gomes, Project Lead from FHI Studio, and Town Planner Clifton Iler were also present. Commissioner Lynn Conway was absent.

Chairman Sheehan opened the meeting at 7:00 PM and ceded the floor to Mr. Gomes.

Mr. Gomes conducted a presentation covering the following agenda:

1. Review project schedule
2. Review status of online survey
3. Discuss recommended amendments from the Environmental Resource Protection, Sustainability, and Resilience review
4. Next Steps

Mr. Gomes reviewed the project schedule and the current status of Phase Two for the group. The Commission discussed when and how to schedule the public presentation of the first set of recommendations. Mr. Gomes said he would work with the Mr. Iler to find an appropriate time to schedule the meeting. Mr. Iler will also redistribute the online survey information to the public.

Mr. Gomes went through the draft recommendations for the Environmental Resource Protection, Sustainability, and Resiliency sections of the Zoning Regulations. The following 17 recommendations were presented and included a brief discussion with the Commission and members of the public:

1. Increase Freeboard Requirement
2. Remove Single-Family Home Exemption from CAMOD
3. Adopt a Transfer of Development Rights (TDR) regulation
4. Accommodate Required Increases in Building Elevation
5. Expand Non-Infringement Area Regulations
6. Require a setback from the Coastal Jurisdiction Line in all flood hazard areas
7. Update the Flood Hazard Overlay District regulations to ensure consistency with state and federal guidelines
8. Allow Hobby Farms
9. Update stormwater management standards and relocate technical standards from the regulations to the Town's Technical Standards document
10. Provide more flexibility in the height and location of ground-mounted Small Solar Energy Systems
11. Provide a Sustainability Incentive

12. Improve protection of trees and require planting of trees
13. [Removed]
14. Provide a reference to Stonington's Aquifer Protection Area Regulations in the Zoning Regulations and update the Aquifer Protection Area Regulations
15. Establish lot coverage limits and eliminate FAR standards
16. Establish a green roof incentive
17. Establish porous, pervious, and permeable pavement incentive

After the discussion, Mr. Gomes reiterated a list of actionable items for the project team and Town staff:

- Coordinate with Town staff to distribute and promote the online survey
- Coordinate with Town staff to schedule a virtual public meeting date in early March
- Town staff will collect comments from the Commission and public and submit to the project team
- The project team will investigate further revisions to the recommendations, including:
 - Increasing the freeboard requirement to 3-4 feet
 - Potential restrictions on mounding to meet the freeboard requirement and the use of compensatory storage
 - Potential for CAM applications for single-family dwellings to be reviewed by Town staff instead of the Commission
 - Other TDR regulations/programs to share with the Commission, and consideration of increased restriction on receiving areas
 - Mapping of potential impacts of the non-infringement areas to determine the number of affected properties
 - Potential regulations for projects located in Rhode Island's Aquifer Protection Zone
 - Keep FAR restrictions in addition to lot coverage limits
 - Appropriate percentage credits for both green roofs and permeable pavements
 - Incentivizing or requiring land conservation in the regulations

The next virtual meeting is scheduled for Wednesday, January 24, 2024.

Chairman Sheehan adjourned the meeting at 9:03 PM.

Respectfully Submitted By:

Lynn Conway, Secretary



Town of Stonington | Department of Planning
Planning and Zoning Commission Meeting
February 6, 2024
Summary of Administrative Review Items¹

Per Section 15.3.2 of the Zoning Regulations, Administrative Review proposals are required to receive Commission approval. Section 15.3.3 of the Zoning Regulations gives the Commission guidance on reviewing modifications to approved plans.

Report Prepared By: Clifton J. Iler, AICP – Town Planner

Applications

1. **C.G.S. 8-24 Review: Circus Lot** – Request for review and report for the potential purchase of 29 Noyes Avenue (M/B/L: 1-3-1) by the Town of Stonington pursuant to C.G.S. 8-24.

The Town of Stonington is considering the purchase of 5.6 acres of land in Stonington located at 29 Noyes Avenue (M/B/L: 1-3-1), commonly referred to as the “Circus Lot.” This parcel is located along the Pawcatuck River and has been the subject of discussion as a location for a new public park, pending funding and approval. Currently, this property is owned by the Town of Westerly but is available for purchase by the Town of Stonington for \$35,000.

The Board of Selectmen voted unanimously to refer the potential acquisition of this land to the Commission for their review and report at their January 10, 2024 meeting. Please find the memorandum from the First Selectman’s Office attached.

Per C.G.S. 8-24, a proposal made by a municipal agency to acquire land for the use as a park or other public recreation facility is subject to review by the permitting agency (Planning and Zoning Commission). The Commission is required to make a finding of consistency with the Plan of Conservation and Development.

The Department of Planning has no questions or concerns with the potential acquisition of the Circus Lot.

¹ Summary reports are intended to be summaries of application information and issues by staff for the Commission. This report is not considered part of an applicant’s submittal, nor can it be considered an approval or denial of an application.



POCD Compliance

In the Plan of Conservation and Development (POCD), the community established the following policies:

Policy 3.1.1 – Protect environmentally sensitive coastal areas and hazard-prone areas such as coastal flood plains and coastal wetlands.

Policy 3.1.2 – Restore impaired coastal resources such as tidal wetlands wherever possible.

Policy 3.2.3 – Strive to ensure that all Planning and Zoning development proposals shall address provisions for public access to the coast, its resources and recreational opportunities.

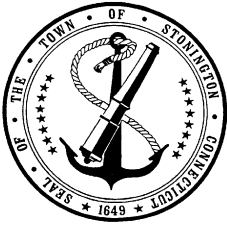
Policy 3.2.4 – Encourage the use of living shorelines and other non-structural flood and erosion control techniques.

Policy 5.1.5 – Encourage re-use and redevelopment of “brownfield” sites in order to implement remediation of contamination.

Policy 6.1.2 – Actively search for open space that is contiguous to other deeded open space and forms a green infrastructure.

Policy 6.3.1 – Strive to create opportunities for bike paths and trails linking residential and commercial areas and between neighboring open space.

Policy 8.2.3 – As riverside properties are redeveloped in the villages, encourage increased public access.



TOWN OF STONINGTON

SELECTMAN'S OFFICE
DANIELLE CHESEBROUGH
FIRST SELECTMAN

152 Elm Street • Stonington, Connecticut 06378
(860) 535-5050 • Fax (860) 535-1046
dchesebrough@stonington-ct.gov

January 10, 2024

Mr. Charles Sheehan, Chair
Planning & Zoning Commission
152 Elm Street
Stonington, CT 06378

Dear Mr. Sheehan,

The Board of Selectmen at a special meeting held on January 10, 2024 voted unanimously to approve referring the potential purchase of certain real property known as the "Circus Lot" located at 29 Noyes Ave, Pawcatuck to the Planning and Zoning Commission for a report on said potential purchase.

Therefore, pursuant to Connecticut General Statute Sec 8-24, the Board of Selectmen refers this to your commission for a report. After receipt of your report, the Board of Selectmen will move the item of the potential purchase to a special town meeting tentatively scheduled for Monday, February 26, 2024.

Please find information on the property enclosed.

Warm regards,

Danielle Chesebrough

cc: C. Iler



TOWN OF STONINGTON

152 Elm Street • Stonington, Connecticut 06378 • (860) 535-5050

January 11, 2024

Re: Circuit Lot Acquisition

Dear Planning and Zoning Commission,

The "Circus Lot" is the locally referenced name for a 5.6 parcel of land that sits along the federally designated Wild and Scenic Pawcatuck River in Stonington located at 29 Noyes Ave in Pawcatuck. It is currently a problematic property; however, with hard work and financial investment, it could become a wonderful asset.

This parcel of land is currently owned by the Town of Westerly, but located within the Town of Stonington. Per a reverted clause in the deed, Stonington has the right to purchase it back for \$35,000 so long as Westerly Water is no longer using the exclusively for water production purposes.

Creating a public park has been an ongoing discussion in the community for over a decade. In the past two years, Stonington has invested in making progress toward this goal. The Town has done a topography and wetlands survey, Phase I and Partial Phase II environmental testing, created a concept plan, and further engaged the community. In regards to the environmental testing, other than the groundwater – which is associated with off-site properties, no significant environmental issues were found for the site (soil) itself. Generally, levels detected were below applicable regulatory criteria and would not limit site development.

All these steps have yielded positive results and plans are underway to take the final legal steps to purchase the land. The Town has also passed its annual budget, which includes \$125,000 to allow for work to purchase and begin work toward creating this new local asset.

The objective is to turn this property into a community asset that allows for outdoor recreation for people of all ages and ability. It will offer much needed public access to the water, along with walking trails, a sports field, and playground area.

The Town plans to utilize LID/Green Stormwater Strategies as the site has the ability to utilize different stormwater treatment approaches, and could be used as a demonstration project for the public.

The project will serve as an example of how a municipality can utilize and improve a degraded property, within a flood zone to create a useful, public amenity without displacing any of the flood storage capacity of the site. The vegetation on the site is now dominated by invasive species. A goal is to remove the invasive species, restore the riparian zone along the river, and the upland woodland & riverine grassland habitats, which will enhance the environmental quality and offer educational opportunities for CT residents and visitors.

Rehabilitating this parcel could also help enhance the economic development along the Route 2 corridor, which currently has two vacant lots abutting this parcel, as well as Stonington's village of Pawcatuck, which is a 0.2-mile walk. This parcel is also located in a 'Environmental Justice Community' and 39.33% of people who live in this area of our community are low/moderate income.

There should be no adverse impacts on water quality, wildlife, or quality of life in surrounding communities. The plan should enhance the environment in and around the park and river, as well as the quality of life for the community.

We are looking to send this to a Town Meeting for Stonington residents to vote on the opportunity to purchase this property back from Westerly, and further work can then commence on creating a new public asset along the Pawcatuck River.

Sincerely,

A handwritten signature in blue ink, appearing to read "Danielle Chesebrough".

Danielle Chesebrough, Stonington First Selectman

Attachment B: GIS View





Town of Stonington | Department of Planning
Planning and Zoning Commission Meeting
February 6, 2024
PZ2333CAM St. Edmunds Retreat (K. Nielson)

Coastal Area Management application for the repair and restoration of the existing shoreline structures and landward seawall at St. Edmunds Retreat on Enders Island. Property located at Enders Island, Mystic; M/B/L 178-1-1. Property is located in the RC120 Zone.

Report Prepared By: Clifton J. Iler, AICP – Town Planner

Application Status

This application requires Coastal Area Management (CAM) review pursuant to [Section 22a-109\(g\)](#) – which states that CAM applications are subject to the same timeframe requirements as Subsections (a) and (b) of Section 8-7d for the purpose of determining the time limitations for a zoning commission to reach a final decision. The Commission can elect to conduct a public hearing if desired, although [C.G.S. Section 8-7d\(b\)](#) places a 65-day limit on the timeframe to review and act on a Site Plan or CAM application whether or not a public hearing is held.

- Official Date of Receipt for this application was 12/19/23.
- Tonight's meeting is **Day 49** of 65 total days to decide on the application.
- A decision, without extension, must be made by 2/22/24.

The applicant may consent to one or more extensions provided the total period of any such extension or extensions shall not exceed 65 days.

Purpose

This application is for the repair, restoration and modification of existing shoreline structures including the causeway viaduct, bridge, utilities, shoreline seawalls, revetments, and boat access facilities at St. Edmunds Retreat on Enders Island. This project will utilize recycled, reclaimed materials from onsite for all aspects of the walk except for the new concrete for the wharf and seawall. The new seawall will be built upon a pervious foundation of rock and crushed stone to allow for the free drainage of subsurface, percolated rainfall out into coastal waters. There will be no new impervious structure or pavement.

The application set includes a detailed description of the project overview.

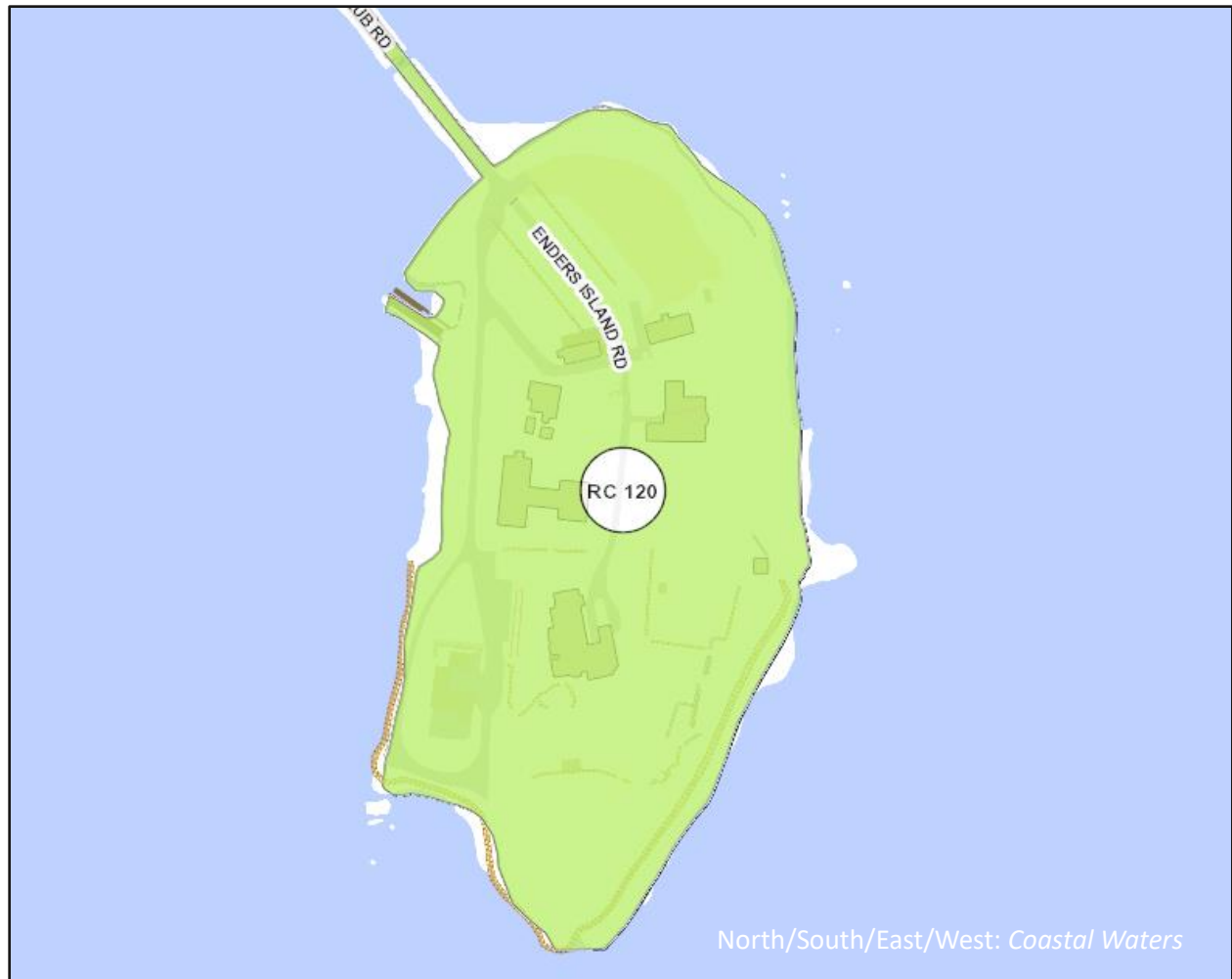
Zoning and Context

This parcel is in compliance with the Town of Stonington Zoning Regulations as a pre-existing, legal nonconforming use. Below are the bulk and use requirements of the Zoning Regulations for the RC-120 Zone.

RC-120 Zone Bulk and Use Requirements

| | <i>Required</i> | <i>Provided</i> | | <i>Required</i> | <i>Provided</i> |
|------------------|-----------------|---------------------|-------------------|-----------------|---------------------|
| Lot Size | 120,000 SF | ±435,000 SF | Building Height | 25' | 50.5' ¹ |
| Frontage | 300' | ±3,000' | Floor Area Ratio | 0.04 | 0.083 ² |
| Setbacks (F/S/R) | 75'/75'/100' | Varies ³ | Parking | N/A | N/A ⁴ |
| Res. Buffer | N/A | N/A | Non-Infring. Area | 100' | Varies ⁵ |

ZONING MAP



¹ COV01-12 issued on May 8, 2001.

² COV01-12 issued on May 8, 2001.

³ Pre-existing legal nonconformity established prior to 1979.

⁴ Application does not establish use. See Section 13 of the Zoning Regulations.

⁵ Pre-existing legal nonconformity established prior to 1979.

Site Access and Traffic

The site is accessed from Yacht Club Road. There are no expected traffic impacts with this development.

Environmental Elements

This site falls within the Coastal Area Management Overlay District (CAMOD) and is within 100 FT of designated coastal resources and therefore subject to CAM review. This application is subject to review by CT DEEP and currently in the process of obtaining a Certificate of Permission (COP) for the project. Correspondence from CT DEEP is captured in the Response Summary.

The site also is located entirely within the Flood Hazard Overlay District (FHOD) and FEMA Special Flood Hazard Areas (SFHA), therefore regulated by FEMA and local floodplain management regulations. The existing seawall and revetment structures are located right along the boundary line between a VE (Velocity) Flood Zone with a Base Flood Elevation (BFE) of 14 feet NAVD88 and an AE Zone with a BFE of 13 feet. Inland of the coastal structures, for most of the site, the flood zone transitions to an AE Zone with a BFE of 12 feet. The proposed project does not include any fill or construction within a VE zone. The construction and fill proposed will take place in AE Zones under coastal influence, so does not require VE Zone standards or compensatory storage.

Utilities

The site is currently served by public water and private septic.

Waivers Requested

No waivers are requested with this application.

Response Summary

The application was routed to the following agencies/agents of the Town. Responses are shown below:

BUILDING OFFICIAL – No comment.

HARBOR MANAGEMENT (MYSTIC) – I am well aware of this project as it has been discussed in detail at the Mystic Harbor Management Commission meetings. I have reviewed the documents you forwarded and I completely support this effort. The sooner this work commences the better as the existing wall continues to threaten the integrity of Enders Island. [Dated: 12/14/23]

TOWN ENGINEER – Awaiting comments.

FLOODPLAIN MANAGER (SLR INTERNATIONAL) – See attached memorandum.

WATER POLLUTION CONTROL AUTHORITY (WPCA) – The WPCA has no comment regarding the above referenced P&Z application as this project has no effect on the sanitary sewerage system. [Dated: 1/2/24]

ZONING ENFORCEMENT OFFICER – No comment.

FIRE DISTRICT MARSHAL (MASONS ISLAND) – See attached memorandum.

CT DEEP LAND & WATER RESOURCES DIVISION, REGULATORY – EAST REGION – See attached memorandum.
(Applicant response also attached.)

Town Planner Comments

The Town Planner offered the following comments on the application [Dated: 1/16/24]:

1. The bulk requirements for the RC-120 Zone are incorrectly labeled on Sheet 1. **ADDRESSED**
2. The applicant should include a detail showing the proposed walkway material and rail design. Additionally, the applicant should show available and proposed ADA-accessible ramps or pathways on the Site Plan. **ADDRESSED**
3. The Landscape Plan (Sheet 4) does not show the proposed landscaping for areas where there is existing *Boulder Rock Stockpile and Brush* (Sheet 2). The applicant should revise the Landscape Plan to include the entirety of the island. **ADDRESSED**
4. This application received an overwhelming number of comments from the public. As of [1/16/24], there are 119 comments in favor of the application, and 3 opposed.
 - a. This number has been updated to reflect 123 comments in favor and 5 opposed at the time of writing this report.

The applicant provided a revised plan set, dated January 30, 2024, to address the original set of comments. The revised plan set is included with this memorandum. Town staff/agencies, however, have not provided additional comment on the revised plan set at the time of this report.

There are no additional questions or concerns with the proposed application.

Recommended Stipulations

Should the Commission decide to approve this application, the Department of Planning recommends the following stipulations of approval:

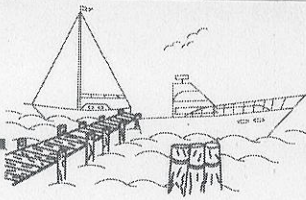
1. The applicant shall address any outstanding comments to the satisfaction of the Town Engineer and Town Planner.
2. The applicant shall provide the Town of Stonington a copy of the Certificate of Permission (COP), once approved by CT DEEP, to include in the project file.
3. Final plans shall be reviewed to the satisfaction of the Town Engineer.
4. Prior to the issuance of a Zoning Permit, the final plans shall be signed by the Commission and recorded in the Town's Land Evidence Records.
5. Modifications to the site development plans, if necessitated by CTDEEP or USACE, shall be reviewed and approved by Town staff and the Commission, as necessary.

Commission Action Required

The Commission is required to make a determination on the following items:

- A decision on the Coastal Area Management (CAM) application

Section 9.2.8 – The Commission may approve, deny, or modify with conditions any project within the CAM boundary. In addition, the Commission may require additional erosion and sediment control measures, measures to mitigate any adverse impacts, pedestrian access easements, visual access easements, and conservation easements, and may require a design review in accordance with Section 17.1 of these regulations if the project is proposed for an area which has been designated as a viewshed or resource area in the Plan of Conservation and Development.



DOCKO A SOUND ENGINEERING ASSOCIATES COMPANY

PO BOX 421, MYSTIC, CT 06355 (860) 572-8939 EMAIL: office@docko.com

December 8, 2023
Revised January 30, 2024

Mr. Clifton Iler
Planning and Development Commission
Town of Stonington
1525 Elm Street
Stonington, CT 06340

Re: Enders Island
Planning and Zoning Application
CAM Site Plan

Dear Mr. Iler:

We are pleased to transmit, herewith, revised application documents for a Planning and Zoning application and the CAM Site plan permit for shoreline restoration at the property of St. Edmund's Retreat on Enders Island.

Attached are the following documents included:

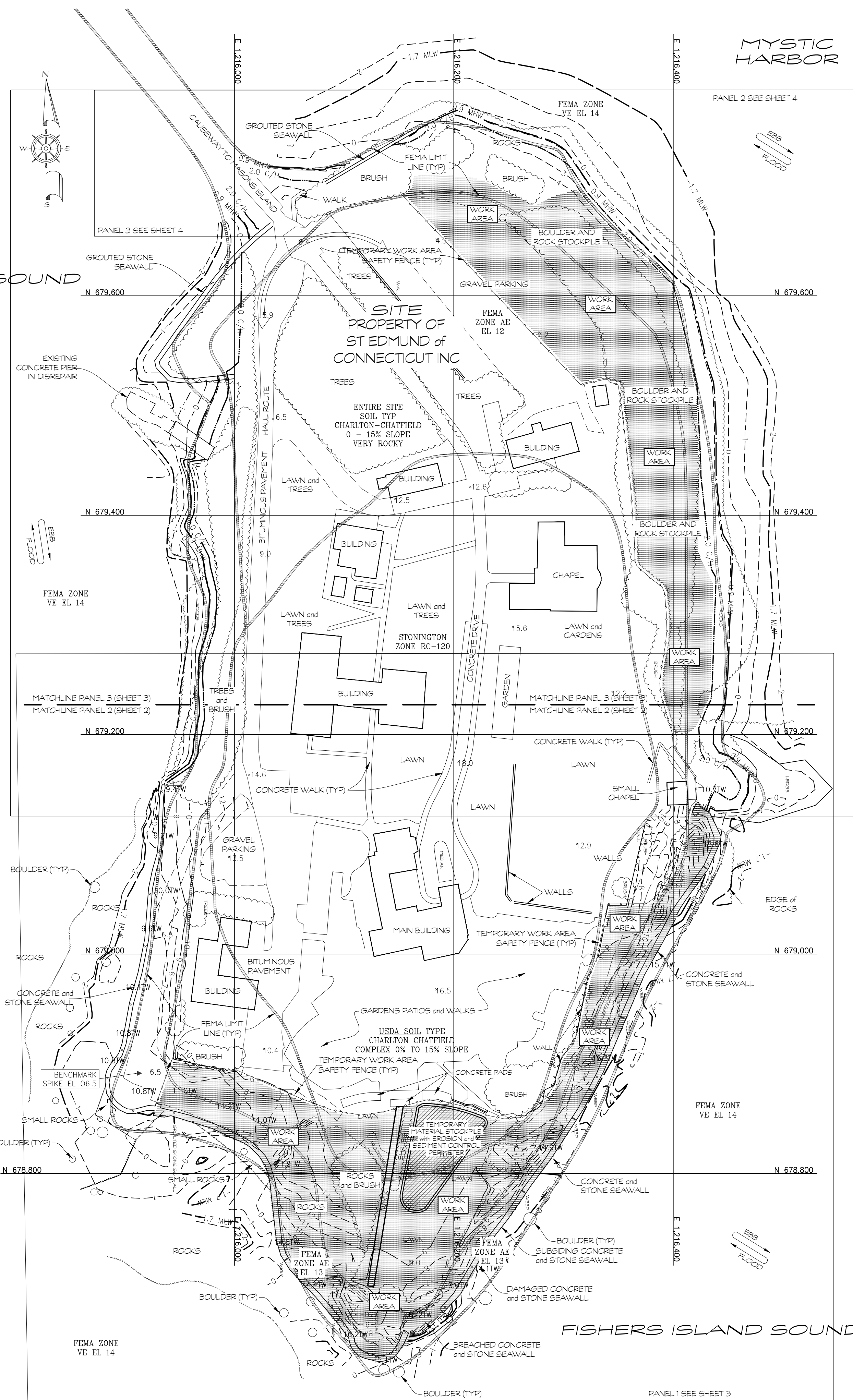
- Coastal Site Plan and Planning and Zoning Application
- Application drawings plus an electronic copy issued via email
- Reference & Resource Maps
- Photographs of the site

We have forwarded the application to you electronically as well. I trust that you will find these revisions complete and acceptable. We look forward to meeting with you at your earliest convenience and making our presentation to the Planning & Zoning Commission at their next regularly scheduled meeting. If you get a chance please forward a copy of the agenda so that we can plan our presentation accordingly.

Yours truly,
DOCKO

Keith B. Neilson, P.E.

KBN: cl
Enclosures
CC: Father Tom Hoar
File: 23-07-3292 ENDERS ISLAND



MYSTIC HARBOR

FISHERS ISLAND SOUND

FISHERS ISLAND SOUND

EXISTING CONDITIONS



ZONING NOTES

DESCRIPTION OF PROPOSED PROJECT OR ACTIVITY (THIS PROJECT DESCRIPTION INCLUDES BOTH THE TOWN AND DEEP/USACOE SCOPE OF WORK)

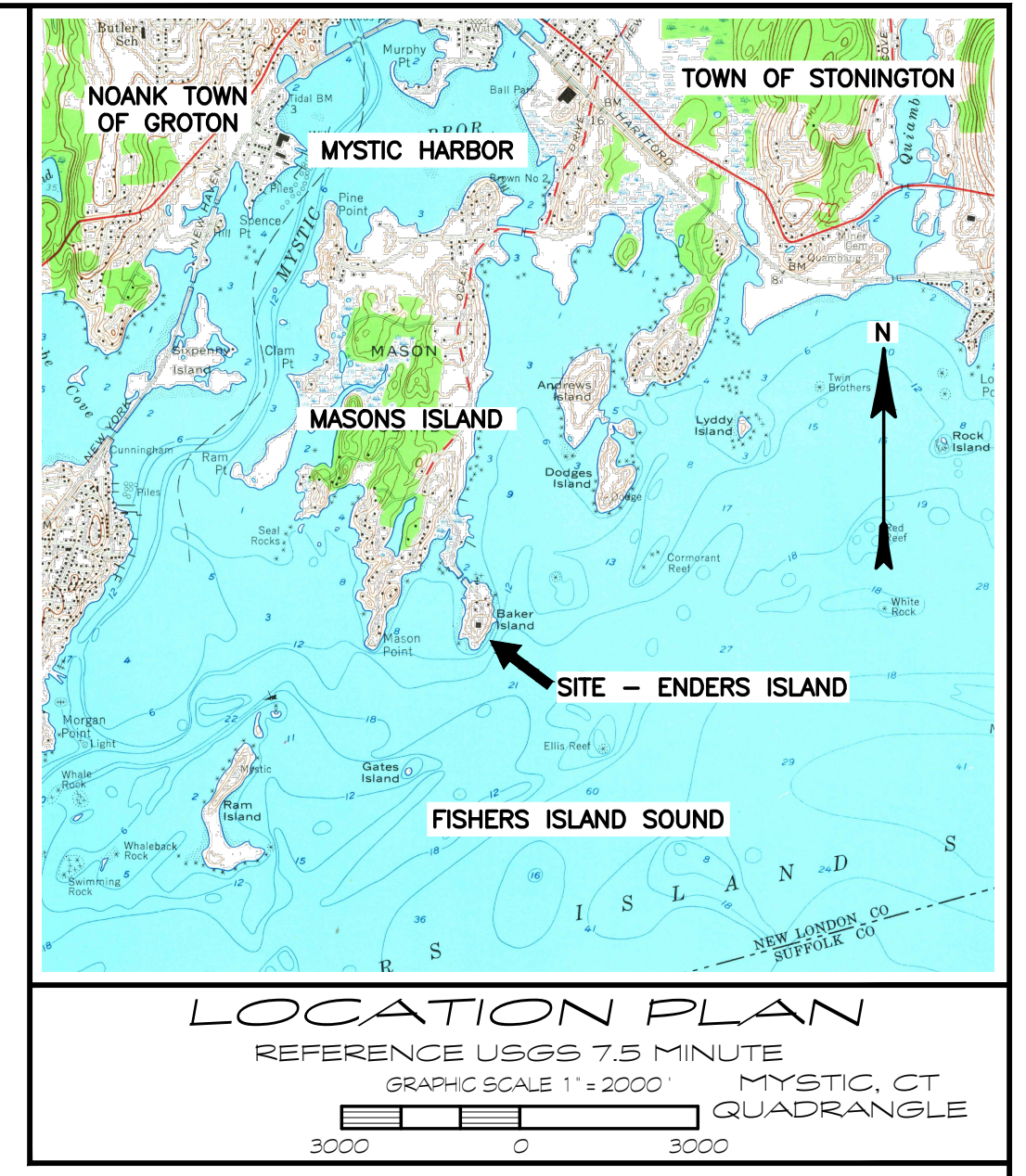
- THIS PROPOSED DEVELOPMENT PROJECT IS TO INCLUDE THE FOLLOWING:
 - REMOVE THE TOP 5'-6" FEET OF AN 800'-L.F. OF STONE AND CONCRETE SEAWALL, 600'-CY OVER 4000'-SF FOR REUSE ON SITE LANDWARD OF THE C.U.L. AND HTL. NEW TOP ELEVATION 10.2 FT TO 11 FT NAVD, VARIABLE ALL LANDWARD OF THE HTL AND C.U.L.
 - SUPPLEMENT EXISTING SEAWALL TO ARMOR STONE 500'-CY OVER 10,000'-SF USING EXISTING ON-SITE STONE WATERWARD OF THE HTL AND C.U.L.
 - CONSTRUCT 1300'-L.F. OF CAST IN PLACE, REINFORCED CANTILEVERED CONCRETE SEAWALL WITH A TOP ELEVATION OF 15'-6" FEET NAVD.
 - RECONSTRUCT AN EXISTING 14 FOOT WIDE BY 35 LF STONE WHARF WITH A CONCRETE CAP 400'-CY OVER 1300'-SF, INCLUDING A METAL SECURITY GATE AND INSET STONE STEPS TO A LOWER PIER LANDING AT AND LANDWARD OF THE HTL AND C.U.L.
 - REPAIR AND RECONSTRUCT AS NECESSARY 230'-L.F. OF MORTARED STONE SEAWALL 520'-CY OVER 500'-SF, WEST OF THE VIADUCT ENTRANCE AND 120'-L.F. EAST OF THE VIADUCT ENTRANCE 165'-CY OVER 1000'-SF AT AND LANDWARD OF THE C.U.L. AND HTL.
 - REPLACE AN EXISTING DOCK FACILITY, 48'-L.F. OF 7-FOOT-WIDE WOOD PILE RESTRAINED WOOD FLOATING DOCK AND RECONSTRUCT AN EXISTING 4 FOOT WIDE BY 37 LF WOOD PILE SUPPORTED WOOD PILE AND TIMBER PIER TO 34 LF. INSTALL A NEW 4 FOOT BY 24 LF HINGED RAMP.
 - MAINTAIN EXISTING STONE CAUSEWAY VIADUCT ACCESS WAY WITH 450'-CY OF ARMOR STONE OVER 20,000'-SF, INCLUDING NEW PAVING APPROXIMATELY 480 LF BY 12 FT WIDE (VARIABLE) WITH GUARD RAILS AND NEW WATER AND ELECTRICAL SERVICE TO THE ISLAND AND REPLACE OR OVERLAY THE EXISTING BRIDGE DECK TO ACCOMMODATE HEAVY CONSTRUCTION WORK REQUIRED FOR THIS PROJECT LANDWARD OF THE HTL AND C.U.L.

2. REFERENCES

- THIS PLAN IS CREATED FROM A SURVEY TITLED 'TOPOGRAPHIC SURVEY EXISTING CONDITIONS ADJOINING SEAWALL ENDERS ISLAND STONINGTON, CT' PREPARED BY RESOURCE MANAGEMENT AND MAPPING JULY 28 2008. ORIGINAL SCALE 1"=40'-FT. AND A SURVEY TITLED 'TOPOGRAPHIC SURVEY PROPERTY OF ST EDMUND OF CONNECTICUT INC ENDERS ISLAND MYSTIC - STONINGTON, CT' PREPARED BY RESOURCE MANAGEMENT AND MAPPING DATED OCTOBER 4, 2023 ORIGINAL SCALE 1"=40'-FT.
- REFERENCE IS MADE TO THE FOLLOWING ADDITIONAL DOCUMENTS:
 - FEMA FLOOD INSURANCE RATE MAP - COMMUNITY PANEL NUMBER 091005291 (EFFECTIVE 8-5-2018)
 - DEEP RESOURCE MAP - MYSTIC QUADRANGLE
 - DEEP SHELLFISH CONCENTRATION AREA MAP - MYSTIC QUADRANGLE
 - USDA SOIL SURVEY WEBSITE
 - HTTPS://WEBSOILSURVEY.BC.EGOV.USDA.GOV/APP/WEBSOILSURVEY.ASPX

- ELEVATION DATUM IS NAVD 1988. TIDAL INFORMATION IS TAKEN FROM COASTAL JURISDICTION LINE TAKEN FROM THE DEEP COASTAL JURISDICTION FACT SHEET STONINGTON, CT.
- THIS APPLICATION DRAWING REPRESENTS A COMPILATION OF INFORMATION FOR ZONING PERMIT PURPOSES. THIS IS NOT A CONSTRUCTION CONTRACT DOCUMENT. THESE APPLICATION DRAWINGS REPRESENT EXISTING CONDITIONS AND DEPICT PROPOSED CONDITIONS. THEY COVER GRADING, DRAINAGE, EROSION AND SEDIMENT CONTROL, PARKING, EMERGENCY RESPONSE AND UTILITY LAYOUT INCLUDING LIGHTING WILL REMAIN AS THEY CURRENTLY ARE EXCEPT THAT THE NEW DOWNCAST, LOUVERED LIGHTING WILL BE INSTALLED ALONG THE 'ROSBARY WALK' POSTS OR BACK WALL. THESE DRAWINGS DEPICT GENERAL LANDSCAPING AND WAVE PROTECTION IMPROVEMENTS. THERE ARE NO PROPOSED BUILDING MODIFICATIONS OR IMPROVEMENTS IN THIS PROJECT.
- THIS SITE WAS EVALUATED BY MR. RICHARD SNARSKI, CERTIFIED SOIL SCIENTIST #1979 AND PROFESSIONAL WETLANDS SCIENTIST #1991 AND NO TIDAL WETLANDS VEGETATION WAS OBSERVED OTHER THAN A SMALL PATCH OF SPARTINA ALTERNIFLORA IS DEPICTED ON THE NORTH END OF THE ISLAND IN FRONT OF THE STONE WALL AND WILL NOT BE DISTURBED IN THIS PROJECT.
- THE EXISTING DRIVE IS READILY ACCESSIBLE BY FIRE DEPARTMENT FIRE FIGHTING VEHICLES SUCH AS PUMPERS AND LADDER TRUCKS. ACCESS WILL NOT BE IMPEDED BY THE CAUSEWAY BRIDGE OR STONE REMOVAL WORK AT THE NORTH END OF THE ISLAND EXCEPT FOR THE TEMPORARY BRIDGE SPAN INSTALLATION FOR THE DURATION OF THE PROJECT WHICH WILL ALSO MAINTAIN FIRE DEPARTMENT ACCESSIBILITY TO THE SITE.

- OWNER MUST CONTACT THE TOWN OF STONINGTON PLANNING DEPARTMENT PRIOR TO BUILDING PERMIT APPLICATION AS NECESSARY TO VERIFY ELECTRICAL LOADS AND SERVICE. TOWN POLICE WILL BE NOTIFIED 72 HOURS PRIOR TO STREET LOADING OR OFFLOADING ACTIVITIES.
- ANY CONSTRUCTION (HAND HOLE, DISCONNECT MANHOLE, SIDEWALK, CURB, ETC.) WITHIN THE RIGHT-OF-WAY IS TO BE IN ACCORDANCE WITH THE MASONS ISLAND FIRE DISTRICT SPECIFICATIONS AND A PERMIT MUST BE OBTAINED FROM THE HIGHWAY SUPERINTENDENT PRIOR TO CONSTRUCTION REGARDLESS OF THE OTHER APPROVALS OR PERMITS RECEIVED.
- NO EXCAVATION SHALL TAKE PLACE WITHOUT NOTIFYING 'CALL BEFORE YOU DIG' AT 1-800-922-4455. ALL UTILITY LOCATIONS SHOWN ON THIS PLAN SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- EXISTING WATER SERVICE MUST BE ADAPTED FOR THE NEW SUPPORTS ON THE CAUSEWAY AND MUST BE AS APPROVED BY THE FIRE MARSHALL AND TOWN ENGINEER PRIOR TO CONSTRUCTION. SITE LIGHTS SHALL BE LOUVERED, OF MINIMUM WATTAGE AND AIMED TO PROVIDE SAFE ILLUMINATION BUT NOT SHED GLARE ON ADJACENT PROPERTY.
- NO PROJECT OR SITE IDENTIFICATION SIGNS ARE PROPOSED.
- NO VARIANCES HAVE BEEN REQUESTED FROM THE PROVISIONS OF THE ZONING REGULATIONS.
- PARKING CALCULATION: THERE ARE NO PROPOSED CHANGES TO THE PARKING OR DRIVEWAY ACCESS POINTS ON THE SITE. ALL PARKING WILL REMAIN AS IT CURRENTLY EXISTS.



EROSION & SEDIMENT CONTROL NOTES:

- THE PRIMARY SEDIMENT AND EROSION CONTROLS FOR THIS PROJECT WILL BE THE STONE BERM AT THE NORTH END AND THE NEW LANDWARD SEAWALL FOR THE SOUTHEAST QUADRANT RESTORATION WORK WHICH WILL CONTAIN ALL OF THE PROJECT EXCAVATION WORK IN ADDITION:
- PRIOR TO THE START OF WORK A PRE-CONSTRUCTION MEETING WILL BE HELD WITH THE STONINGTON PLANNING and ZONING STAFF, THE OWNERS REP, THE ENGINEER AND THE CONTRACTOR TO ASSESS THE SCOPE OF WORK AND ANY CHANGES OR ENHANCEMENTS TO THE SOIL AND EROSION CONTROLS WHICH MIGHT BE REQUIRED BY PERMIT OR OTHERWISE APPROPRIATE.
 - ACTUAL LOCATIONS AND THE APPLICATION OF EROSION CONTROL DEVICES DEEMED NECESSARY SHALL BE DETERMINED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION BASED ON CURRENT CONDITIONS BUT WILL BE IN GENERAL CONFORMANCE WITH THE DETAILS ON THE APPROVED PERMIT APPLICATION DRAWINGS.
 - AGREED UPON EROSION AND SEDIMENT CONTROLS AND DEVICES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITE, EXCEPT THE NORTHEAST QUADRANT ROCK REMOVAL.
 - LAND DISTURBANCE WILL BE KEPT TO A MINIMUM. THE SEQUENCE OF THE WORK WILL BE EXCAVATION, ROUGH GRADING, RE-STABILIZATION WILL BE COMPLETED AS SOON AS PRACTICAL FOLLOWING THE STONEWALL RESTORATION AND NEW SEAWALL. RETAINING WALL UTILITY WORK WILL THEN FOLLOW AND BE COMPLETED PRIOR TO FINE GRADING AFTER WHICH THE SOIL WILL BE PLACED AND TURFED.
 - THE TOWN PLANNING and ZONING OFFICE SHALL INSPECT THE EROSION CONTROLS PRIOR TO CONSTRUCTION.
 - INSTALLED EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE MAINTAINED AS INSTALLED THROUGHOUT THE COURSE OF THE PROJECT.
 - REFERENCE IS MADE TO THE STATE OF CONNECTICUT GUIDELINES FOR SOIL AND EROSION SEDIMENT CONTROL HANDBOOK, LATEST EDITION.

ZONING DATA TABLE

| ITEM | EXISTING | PROPOSED | REQUIRED | REMARKS |
|----------------------|----------|------------|----------|------------|
| AREA SQUARE FEET | 434,884 | NO CHANGE | 120,000 | |
| FOOTAGE FEET | 2902 | 2902 | 300FT | |
| FLOOR AREA RATIO % | 0.022 | 0.022 | .04 | |
| BUILDING HEIGHT FEET | 25 | 25 | 25 | MAIN HOUSE |
| FRONT YARD SET BACK | 75 FEET+ | NO CHANGES | 75FT | CHAPEL |
| SIDEYARD SET BACK | 55 FEET | NO CHANGES | 75FT | ADMIN OFF |
| REARYARD SET BACK | 55 FEET | NO CHANGES | 75FT | RESIDENCES |
| NON INFRINGEMENT | 80 FEET | NO CHANGES | 100FT | WEST DORM |

NOTE 1: THERE ARE NO BUILDING CHANGES PROPOSED IN THIS DEVELOPMENT PLAN.
NOTE 2: THERE IS NEW LANDSCAPING PROPOSED IN THE AREAS WHERE BOULDERS ARE TO BE REMOVED

REVISED 1/23/24
DEEP PERMIT ISSUES, EROSION and SEDIMENT CONTROLS & LANDSCAPING

**SHORELINE RESTORATION
COASTAL SITE PLAN
ENDERS ISLAND
NOVEMBER 14, 2023**

PROPERTY OF
ST EDMUND OF CONNECTICUT INC
3 ENDERS ISLAND

APPROVED _____ DATE _____

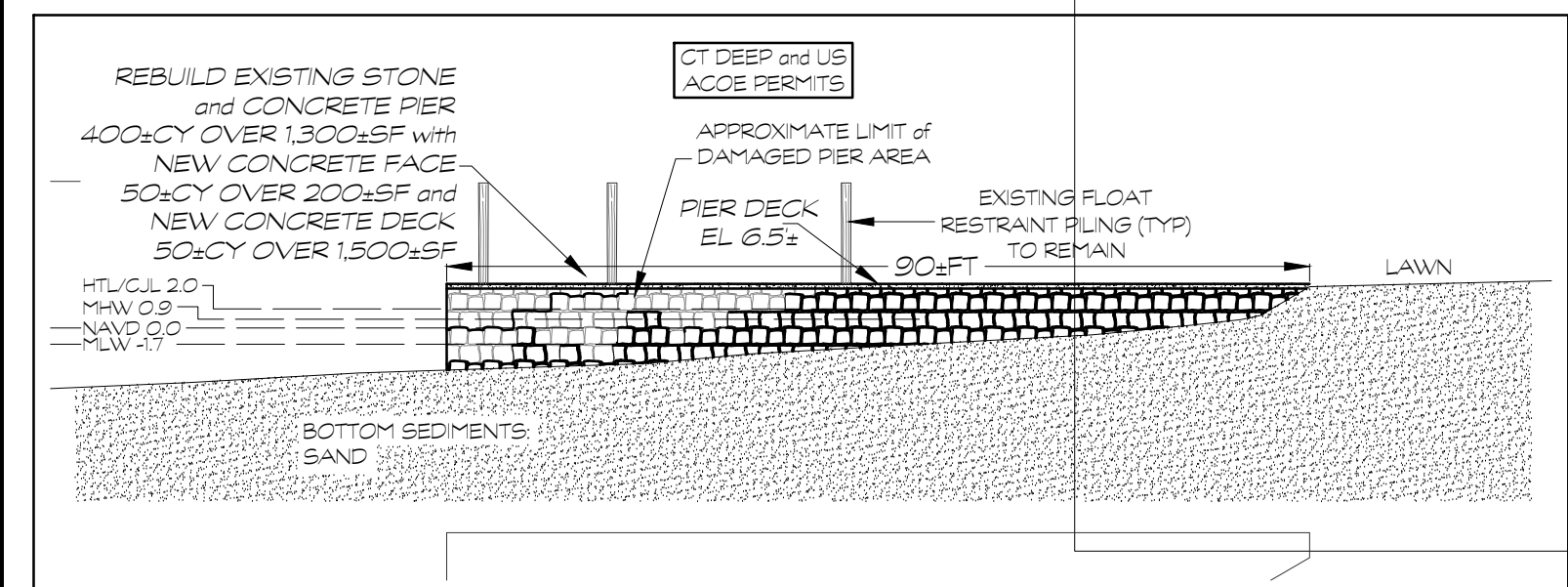
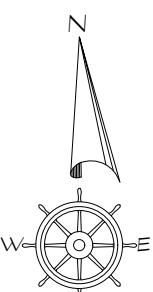
SHEET 1 OF 4

PREPARED BY:
DOCKO
SOUND ENGINEERING
ASSOCIATES LLC
PO BOX 421 MYSTIC, CT 06355
860 572-8939 FAX 572-7569
EMAIL: drc@docko.com

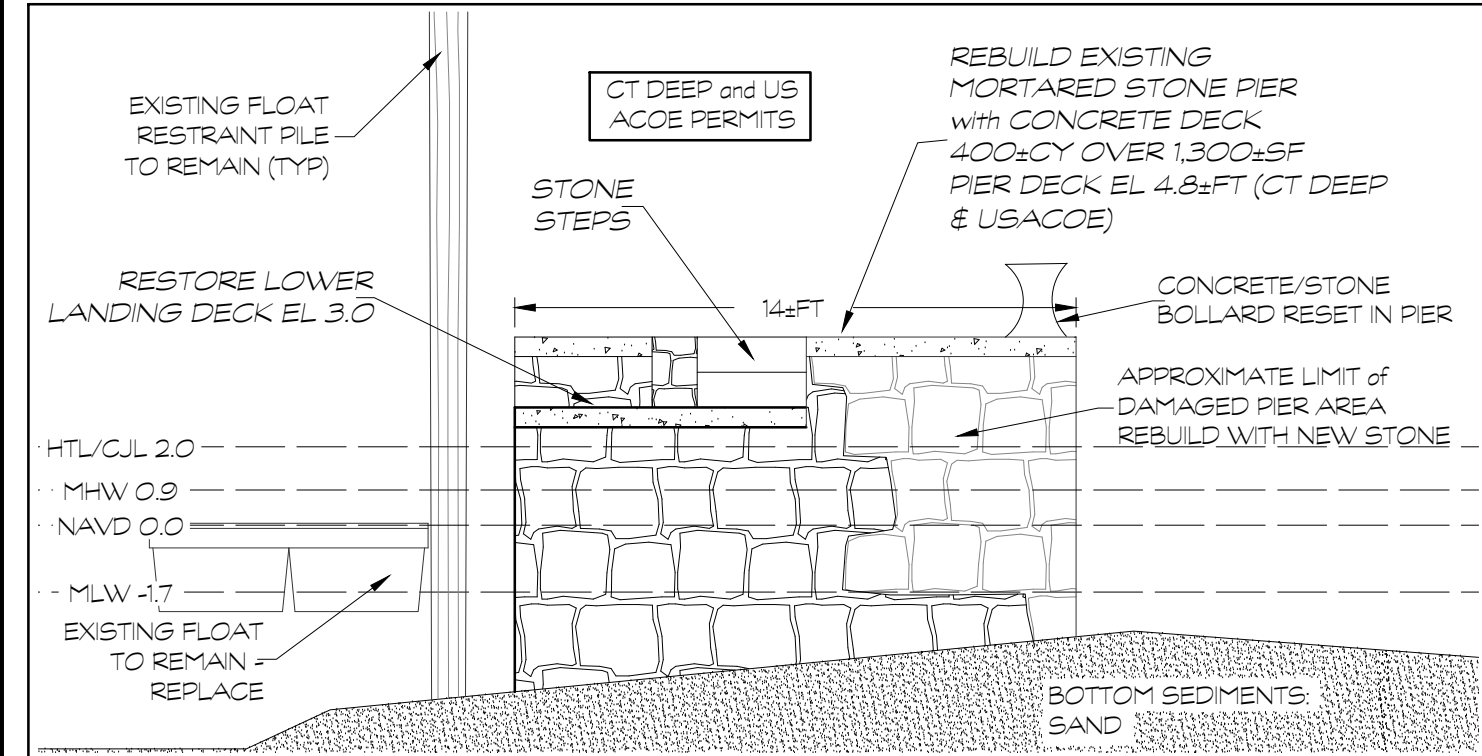
DWS 23-09-5392

CHAIR STONINGTON PLANNING and ZONING COMMISSION DATE

MYSTIC HARBOR



GRouted STONE SEAWALL RESET LOOSE and DISPLACED STONE RECHINK AND GROUT AS NECESSARY - DEEP & US ACOE PERMITS (TYP)



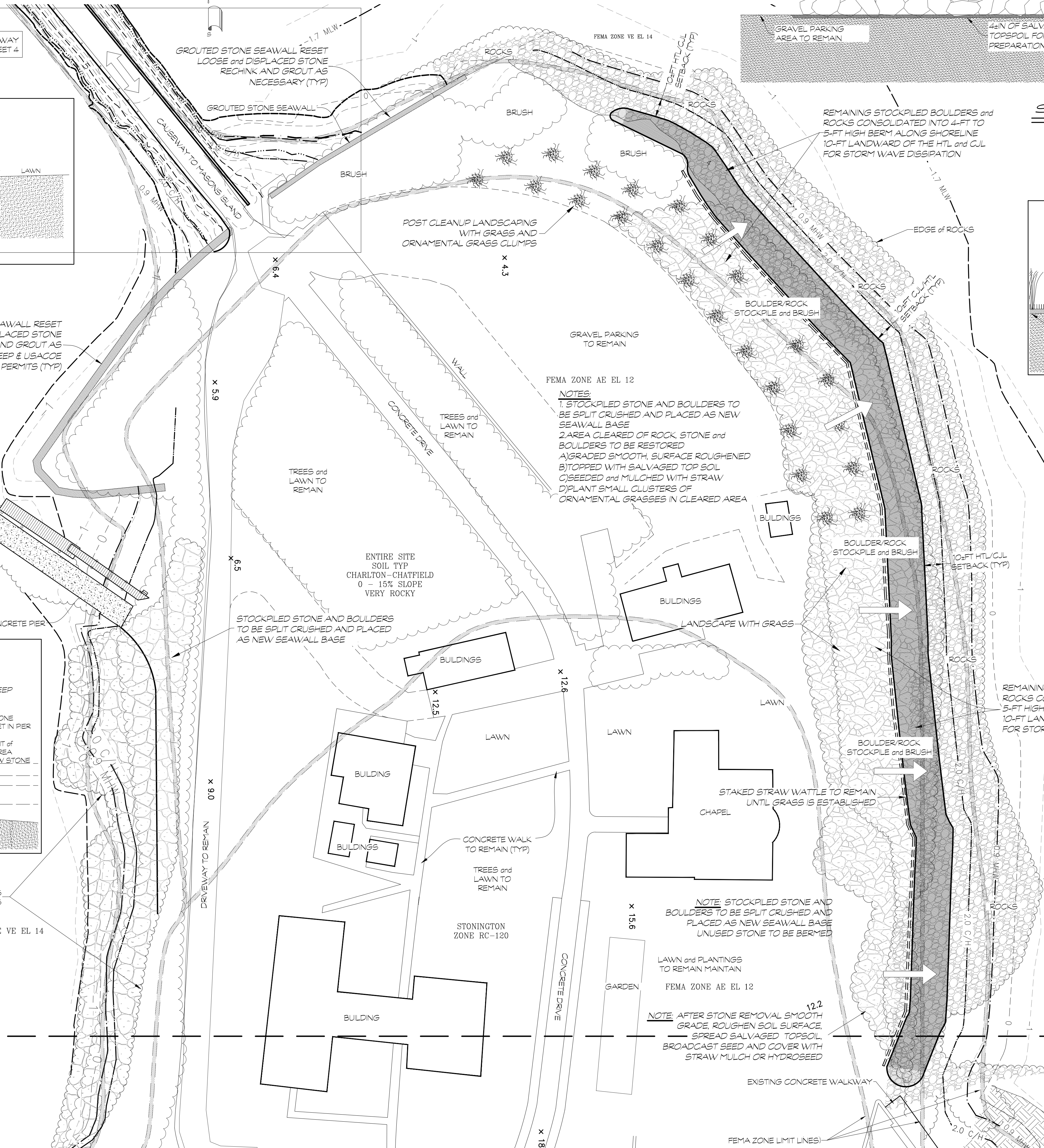
STONE PIER END VIEW

GRAPHIC SCALE 1" = 5'

FISHERS ISLAND SOUND

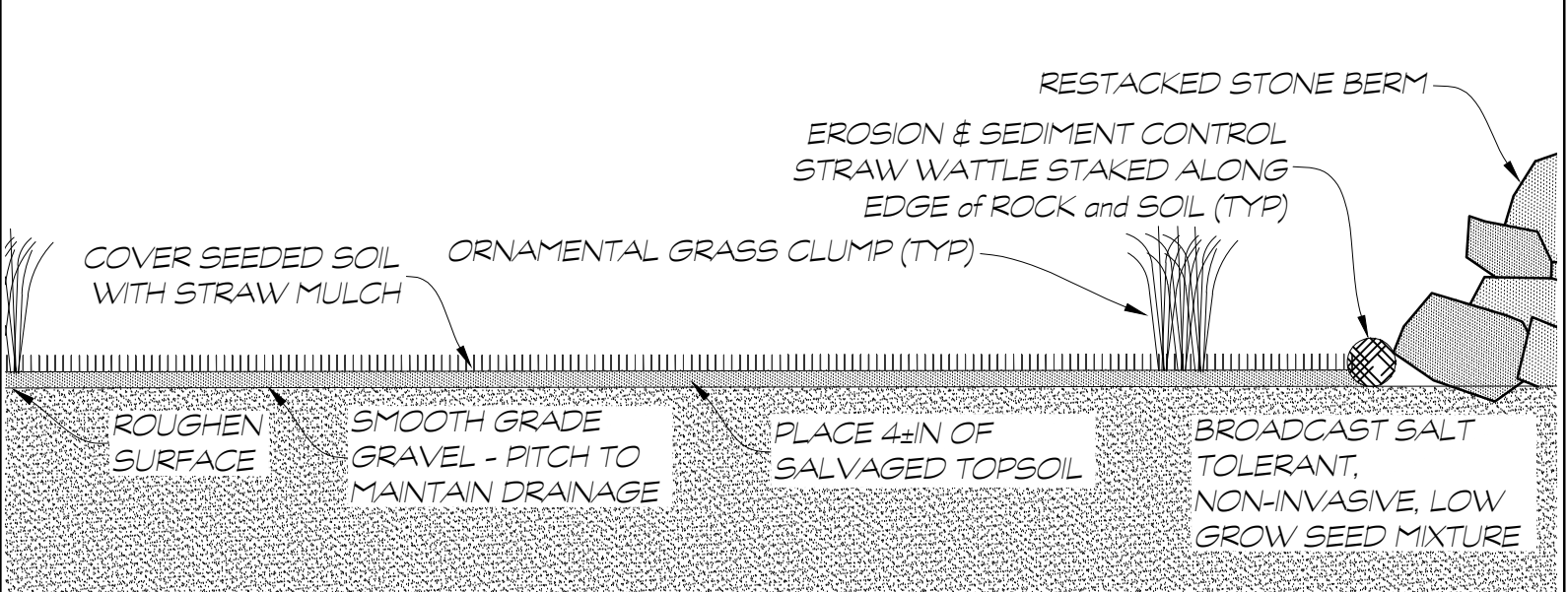
MATCHLINE PANEL 3 (SHEET 3)

MATCHLINE PANEL 2 (SHEET 2)



STONE BERM STORM PROTECTION

GRAPHIC SCALE 1" = 6'



GRASS DETAIL

GRAPHIC SCALE 1" = 4'

FISHERS ISLAND SOUND

CHAR STONINGTON PLANNING and ZONING COMMISSION

PANEL 1 PLAN VIEW

GRAPHIC SCALE 1" = 30'

REVISED 1-23-24 DEEP, EES and LANDSCAPING

SHORELINE RESTORATION COASTAL SITE PLAN ENDERS ISLAND

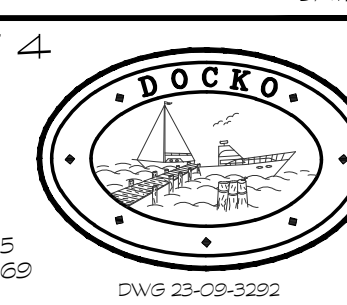
NOVEMBER 14, 2023

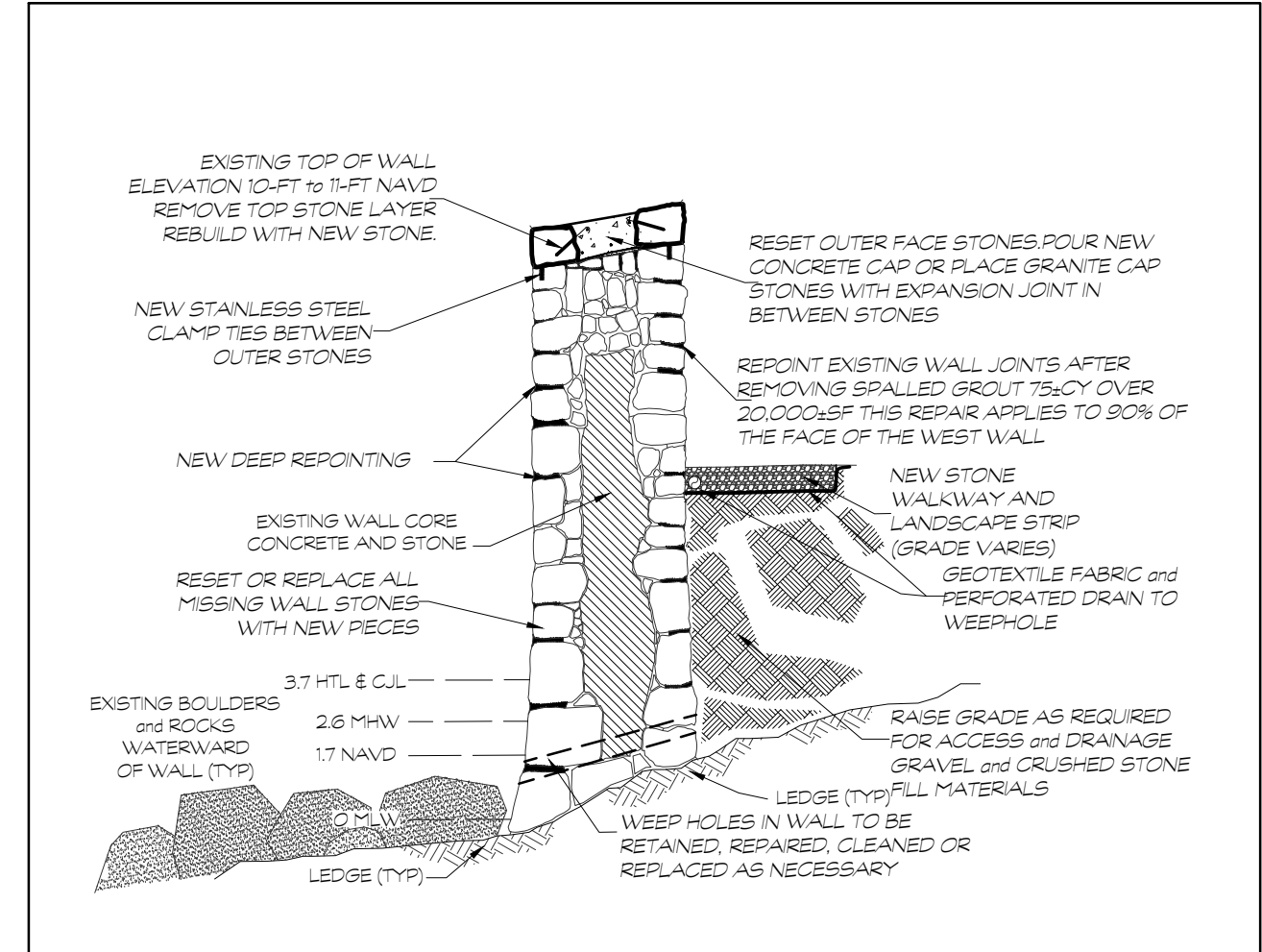
PROPERTY OF ST EDMUND of CONNECTICUT INC 3 ENDERS ISLAND

APPROVED _____ DATE _____

SHEET 2 OF 4

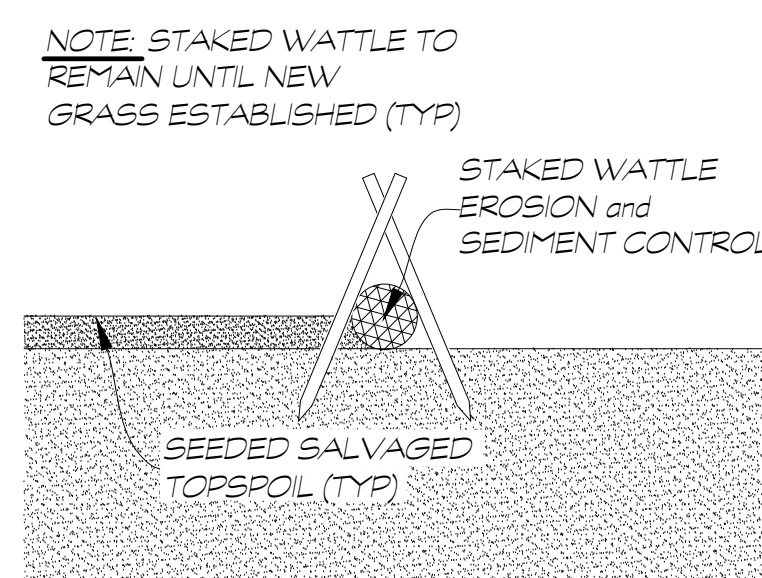
PREPARED BY: DOCKO SOUND ENGINEERING ASSOCIATES LLC





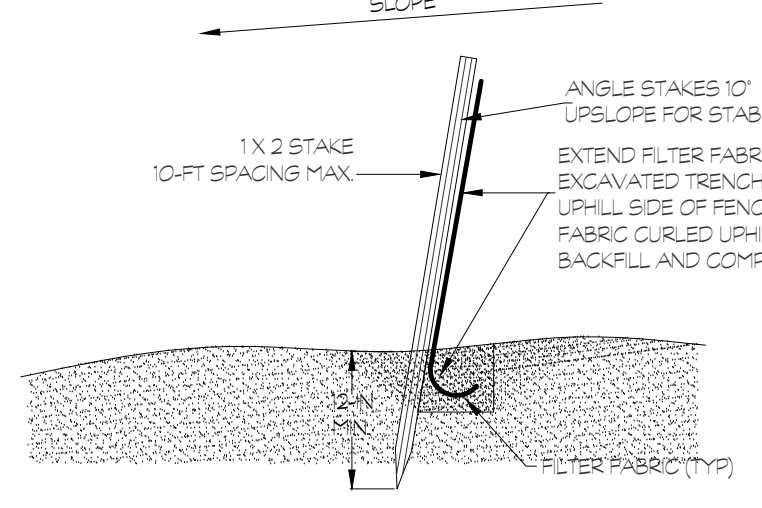
EXISTING GROUTED STONE SEAWALL RESTORATION SECTION B-B

GRAPHIC SCALE 1" = 5'



STAKED STRAW WATTLE DETAIL

NOT TO SCALE



SILT FENCE DETAIL

NOT TO SCALE

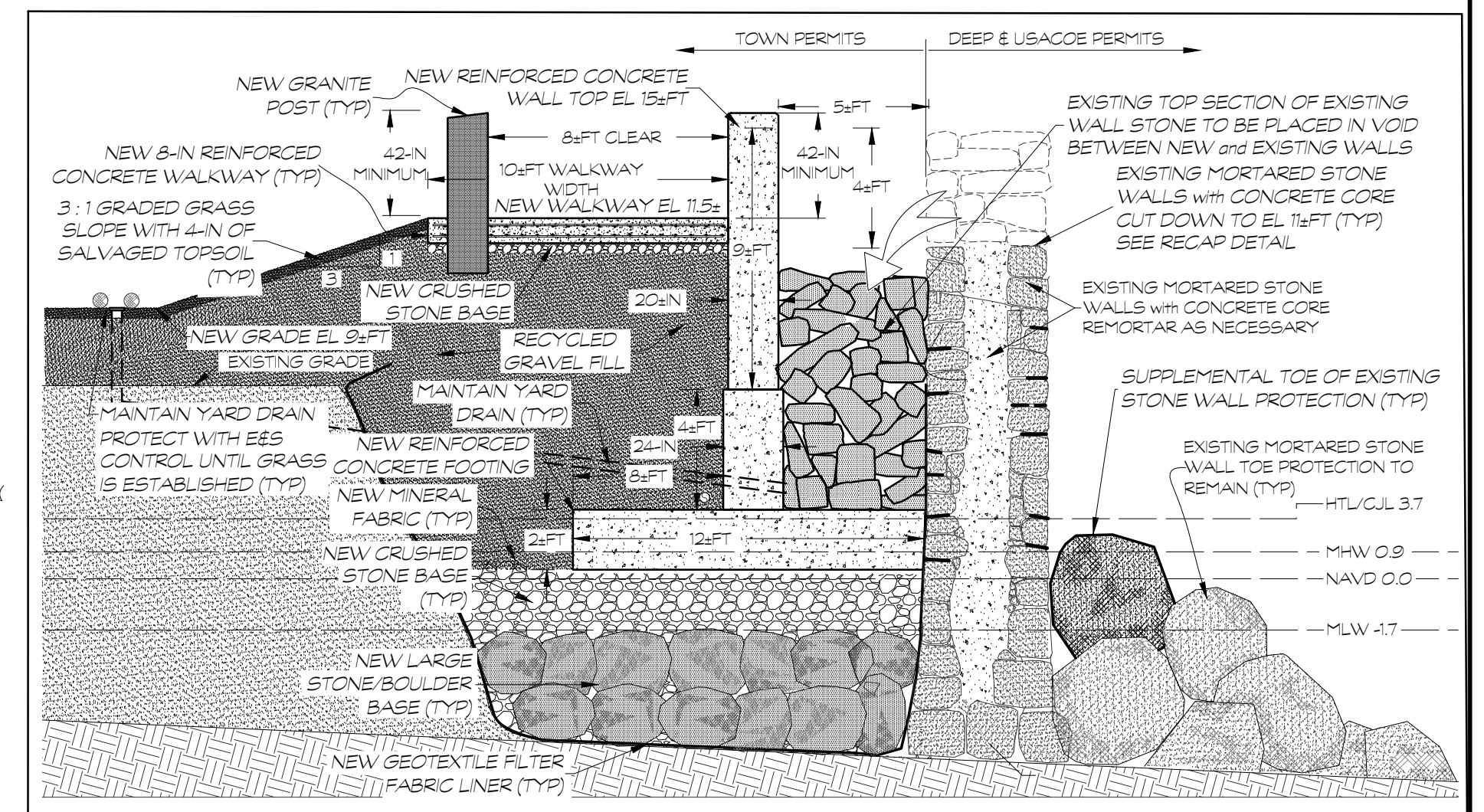


FISHERS ISLAND SOUND
FEMA ZONE VE EL. 14

PANEL 2 PLAN VIEW

GRAPHIC SCALE 1" = 30'

REVISED 1-23-24 DEEP, E&S and LANDSCAPING



NEW REINFORCED CONCRETE WALL SECTION A-A

GRAPHIC SCALE 1" = 5'

SHORELINE RESTORATION COASTAL SITE PLAN ENDERS ISLAND
NOVEMBER 14, 2023

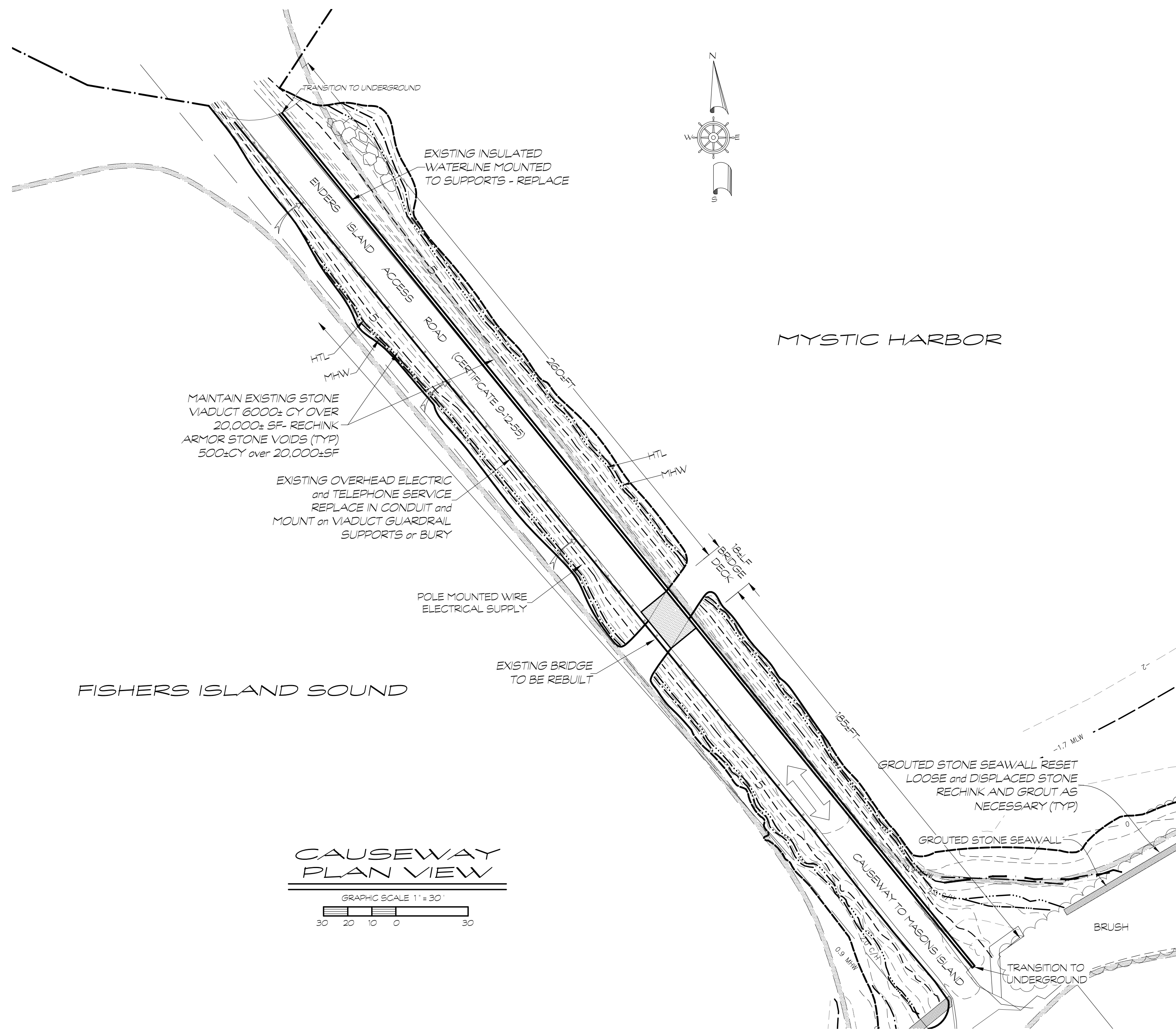
PROPERTY OF ST EDMUND OF CONNECTICUT INC 3 ENDERS ISLAND

APPROVED _____ DATE _____

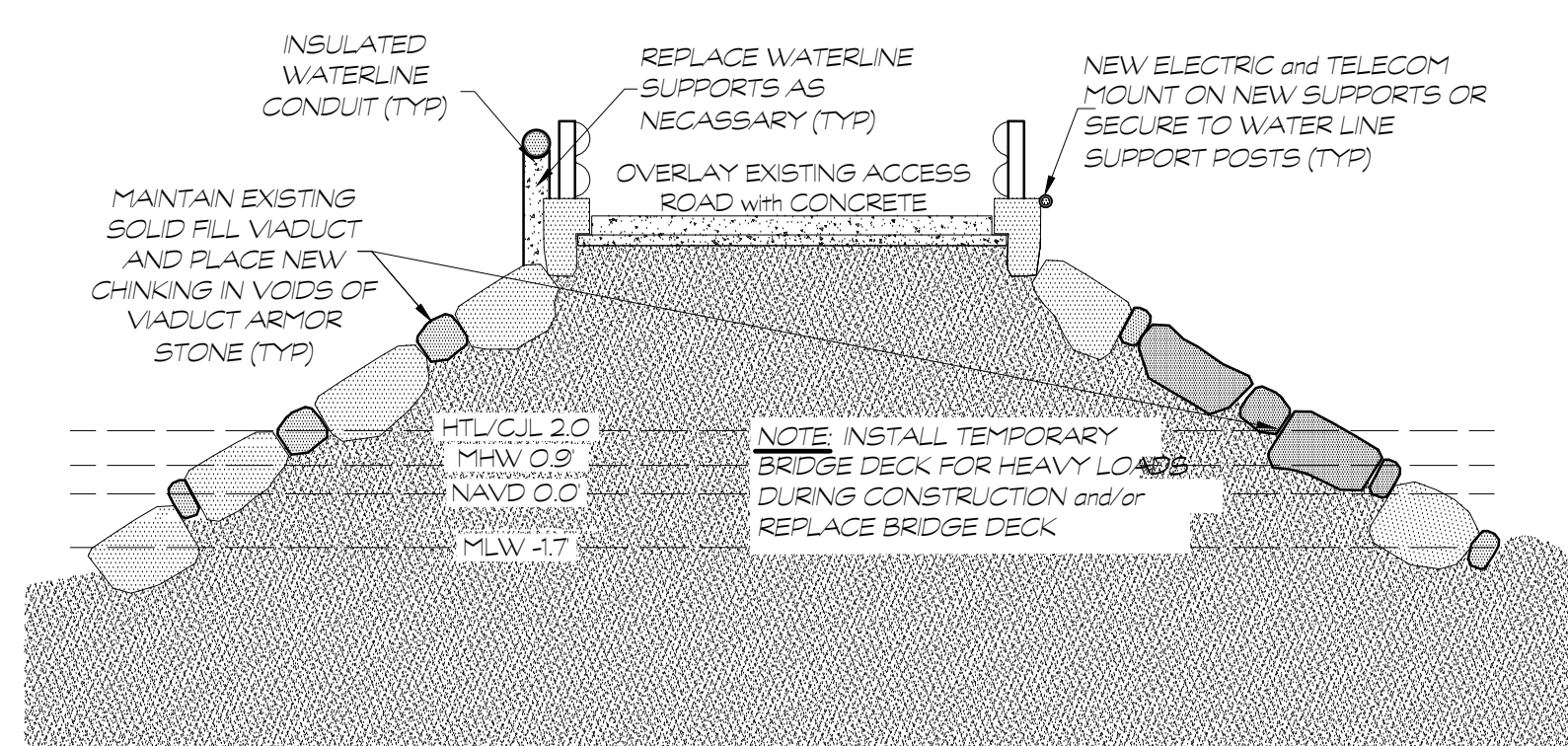
SHEET 3 OF 4

PREPARED BY: DOCKO SOUND ENGINEERING ASSOCIATES LLC
 860 572-8939 FAX: 572-7569
 E-MAIL: office@docko.com

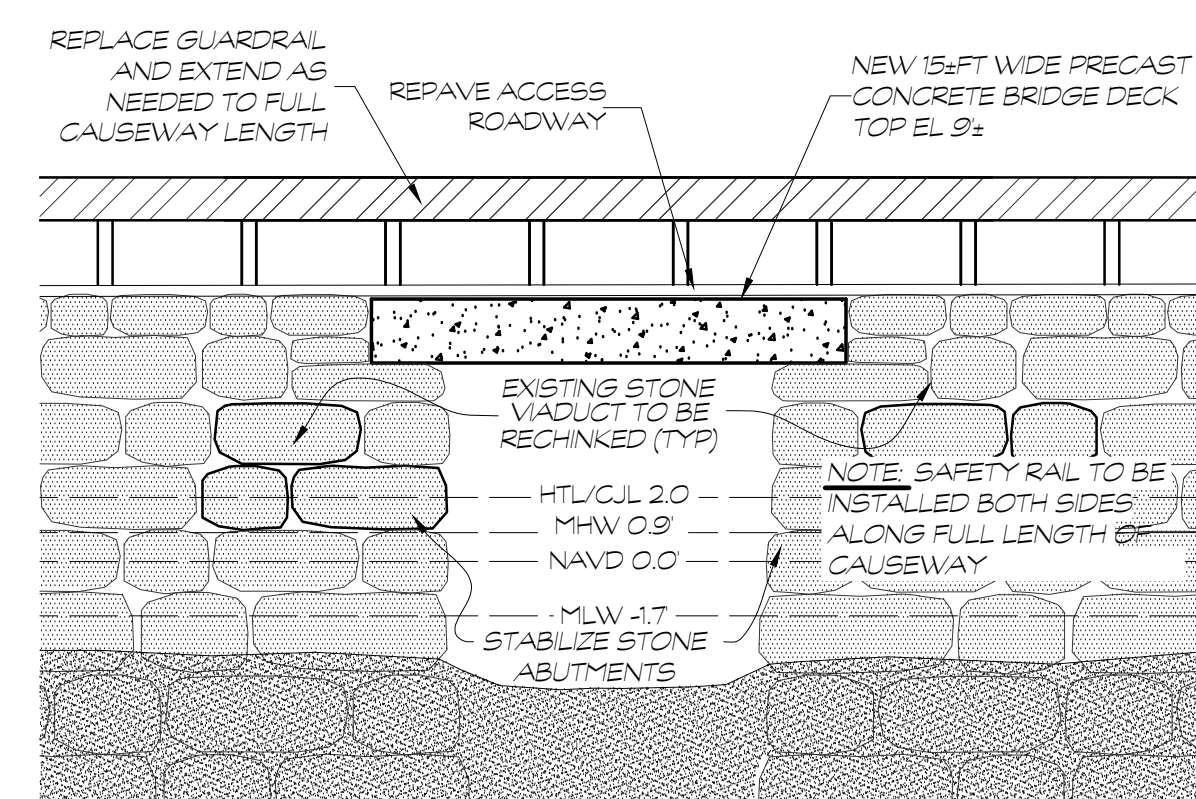


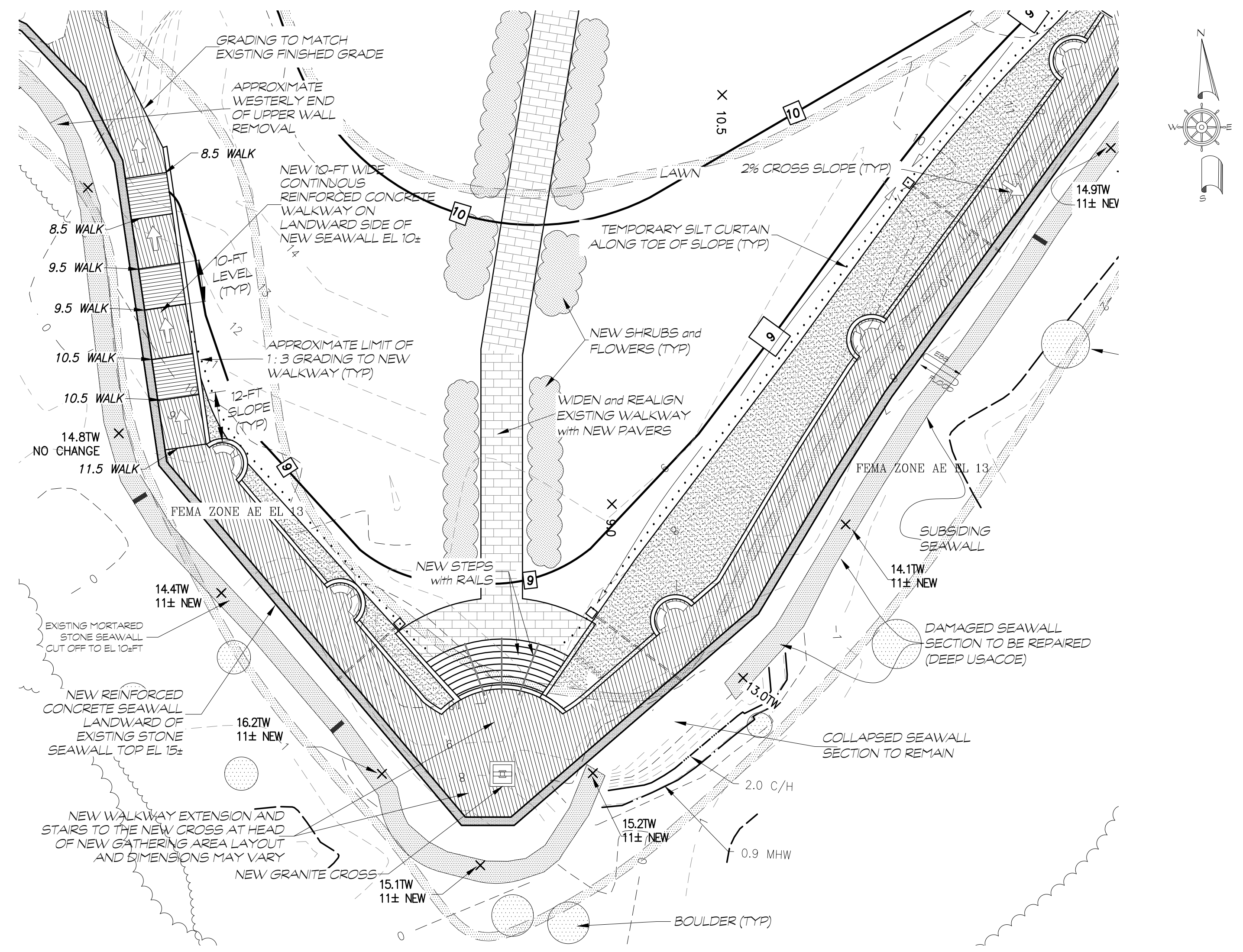
CAUSEWAY PLAN VIEW
GRAPHIC SCALE 1"=30'



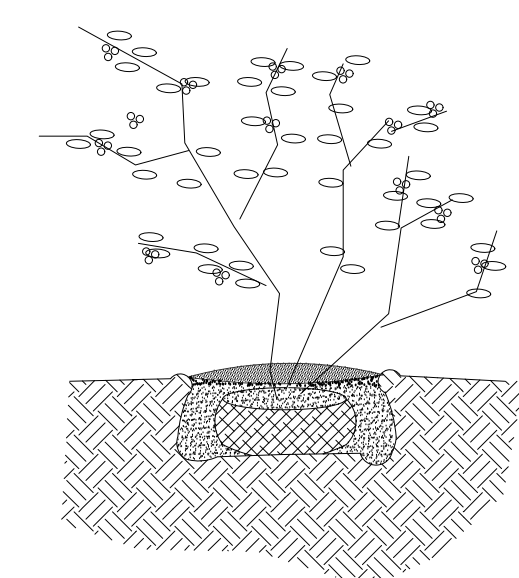
CAUSEWAY TYPICAL SECTION
GRAPHIC SCALE 1"=6'



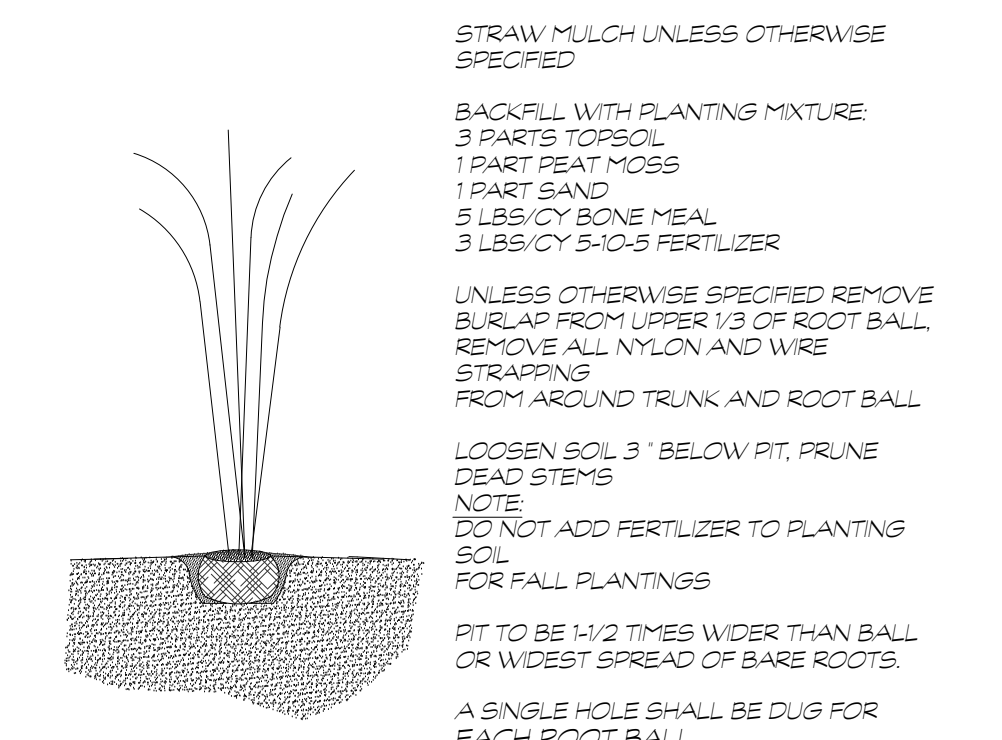
CAUSEWAY BRIDGE PROFILE
GRAPHIC SCALE 1"=6'



PANEL 2 PLAN VIEW
GRAPHIC SCALE 1"=10'



TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE



TYPICAL ORNAMENTAL GRASS PLANTING DETAIL
NOT TO SCALE

3" PINE BARK MULCH UNLESS OTHERWISE SPECIFIED

BACKFILL WITH PLANTING MIXTURE
3 PARTS TOPSOIL
1 PART PEAT MOSS
1 PART SAND
5 LBS/CY BONE MEAL
3 LBS/CY 5-10-5 FERTILIZER

UNLESS OTHERWISE SPECIFIED REMOVE BURLAP FROM UPPER 1/3 OF ROOT BALL. REMOVE ALL NYLON AND WIRE STRAPPING FROM AROUND TRUNK AND ROOT BALL

LOOSEN SOIL 3" BELOW PIT. PRUNE DEAD WOOD

NOTE:
DO NOT ADD FERTILIZER TO PLANTING SOIL FOR FALL PLANTINGS

PIT TO BE 1/2 TIMES WIDER THAN BALL OR WIDEST SPREAD OF BARE ROOTS.

A SINGLE TRENCH SHALL BE DUG FOR ALL SHRUBS IN A HEDGE

DECIDUOUS STOCK MAY BE SET 1'-3" DEEPER THAN SURROUNDING GROUND

CHAR STONINGTON PLANNING and ZONING COMMISSION DATE

SHORELINE RESTORATION COASTAL SITE PLAN ENDERS ISLAND
NOVEMBER 14, 2023

PROPERTY OF ST EDMUND OF CONNECTICUT INC 3 ENDERS ISLAND

APPROVED _____ DATE _____

SHEET 4 OF 4

PREPARED BY: **DOCKO** SOUND ENGINEERING ASSOCIATES LLC
PO BOX 421 MYSTIC, CT 06355
860 572-8939 FAX 572-7569
E-MAIL: office@docko.com

DATE: _____

STATE OF CONNECTICUT
LICENSED PROFESSIONAL ENGINEER

CLA Engineers, Inc.

Civil • Structural • Survey

317 MAIN STREET • NORWICH, CT 06360 • (860) 886-1966 • (860) 886-9165 FAX

January 12, 2024

Christopher Greenlaw, P.E., Town Engineer
Town of Stonington
152 Elm Street
Stonington, CT 06378

RE: Coastal Site Plan Review for
PZ2333CAM St. Edmunds Retreat
Shoreline Restoration, Coastal Site Plan
Enders Island
Assessors Map 178, Block 1, Lot 1
CLA-7715

Mr. Greenlaw:

CLA Engineers, Inc. (CLA) has received the following application materials for the above referenced project:

1. Town of Stonington Application Form, Municipal Coastal Site Plan Review with attachments.
2. Cover Letter from Docko, dated December 8, 2023
3. Plan Set: Shoreline Restoration, Coastal Site Plan, November 14, 2023, Property of St. Edmund of Connecticut Inc, 3 Enders Island, Sheets 1 through 4, Prepared by Docko

CLA has conducted a review of reviewed the documents and would like to offer the following comments on the application materials:

1. A large portion of the work will be performed within the 100-year flood plain. We would recommend the Applicant provide a flood contingency plan for the construction within this area. The plan should identify parties responsible for monitoring of forecast storm events, means or methods to secure the work in progress, plans for securing or relocating equipment and stored material, and other actions that may be needed.
2. The Applicant should provide documentation on how the requirements of Section 9.3 of the Zoning Regulations are met for work within the flood plain. A Flood Hazard Report (9.3.6) and verifications/certifications should be provided.
3. The project description indicates the replacement of an existing dock facility. This is not depicted on the plans. We recommend identifying the location of this work. Is this a replacement in kind?
4. Are the Panel 1 & 2 Plan View scales accurate? They don't appear to correspond with the Landscape Plan scale.

5. Planned locations for rock splitting, crushing, or processing equipment and activities should be shown on the plans. The Applicant should specify means for dust control during the processing activity.
6. Surface restoration, slope stabilization, topsoil, and seed details and/or specifications should be provided.
7. Will heavy equipment be used waterward of the existing seawall?
8. Will construction staging be used waterward of the existing seawall for repointing and stone resetting? If so, how will it be protected during high tides, or storm events?
9. How will the Sound be protected from sedimentation or concrete leakage during the stone pier repair work?
10. It appears that dewatering may be necessary for the construction of the new reinforced concrete wall. Dewatering details and/or a narrative for creating a clear water discharge should be provided.
11. The new walkway landward of the new concrete wall is indicated as 8' wide on the plan and 5' wide on the section; this should be clarified.
12. What is the surface material for the new walkway?
13. What is the surface treatment for the 3:1 slope to the new walkway. Is temporary stabilization (i.e. erosion control matting) needed?
14. The new wall section detail indicates yard drains are present that discharge through the new seawall to the Sound. The yard drains don't appear on the plan. The application indicates there is no stormwater infrastructure on the island. If yard drains are present, they should be located and protected with erosion & sedimentation control measures as applicable.
15. The causeway plan indicates the electric and telephone services may be buried along the causeway. If so, a location should be shown and trench details, slope stabilization details, and erosion & sedimentation control information provided.
16. Minimum requirements or specification should be provided for the causeway bridge deck replacement (i.e. minimum loading).
17. What is the bottom elevation of the new causeway deck? Does it match existing?
18. What measures are proposed to stabilize the causeway bridge abutments as indicated in the causeway bridge profile?
19. Turbidity curtains and/or other measures should be provided for the bridge deck demolition and construction.

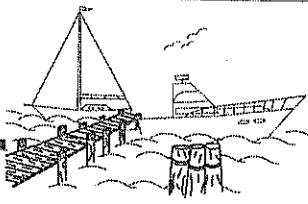
20. Several notes on the causeway typical section detail are obscured and should be clarified.
21. Is the causeway access road concrete overlay cast-in place concrete? Provisions should be shown or specified to prevent concrete leakage or spillage into the Sound/Harbor.
22. Will traffic be maintained during the causeway concrete overlay and deck replacement? If so, a construction sequencing and maintenance & protection of traffic plan should be provided. Or will the island be vacated during the overlay and deck construction?

Thank you for the opportunity to provide this review. Please feel free to call me at our office or email me at khaubert@claengineers.com with any questions or comments.

Very truly yours,
CLA Engineers, Inc.

A handwritten signature in blue ink, appearing to read "K Haubert".

Kyle Haubert, P.E.



DOCKO A SOUND ENGINEERING ASSOCIATES COMPANY

PO Box 421, MYSTIC, CT 06355 (860) 572-8939 EMAIL: office@docko.com

January 30, 2024

Christopher Greenlaw, PE
Town Engineer
Town of Stonington
52 Elm St.
Stonington CT 06378

Re: St. Edmund's Retreat

Dear Mr. Greenlaw,

I am in receipt of CLA Engineers Inc. letter dated January 12, 2024, regarding Coastal Site Plan PZ2333 CAM for St. Edmunds retreat on Enders Island and offer you the following additional information and responses to their comments:

1. The Novitiate has an emergency flood contingency plan for the island, which is basically to evacuate the premises, copy attached. The grounds are currently protected to an elevation of approximately 10 feet NAVD which provides protection to developed features against most typical flooding conditions. The causeway is slightly lower so coastal flooding to 2 feet above "High Tide" would initiate the departure from the island. Obviously there would be situations like Hurricanes "Irene" or "Sandy" where it would be prudent to have people off the island. The purpose of this project is to restore the existing seawall and perimeter flood to protection so that the island infrastructure is no so threatened by these less severe typical storms.
2. We make reference to the analysis by SLR made in response to this application package which indicates that the project and the continued operations at the site are in compliance with floodplain regulations of the Town and FEMA.
3. We have included new details relevant to the Zoning requirements of the Stonington Planning and Zoning Commission in these drawings. We have made separate applications to the Connecticut DEEP and the Corps of Engineers related to boat facility option structures which exist and/or span through the High Tide line and Coastal Jurisdiction line for their independent approval. Facility improvements and changes covered by those two agencies specifically, have generally not been addressed on this Coastal Site Plan drawing.
4. The scales on the respective drawings are accurate. Scaling blocks and references have been made on details as well for clarity.
5. The rock splitting and crushing operations will be adjacent to the north parking and at the south tip of the island. We have added gray shading to our drawing to indicate the work areas to which the contractor operation for the project will be limited in general. Rocks will be sprayed with water, when and if necessary, for rock splitting and crushing for dust control.
6. We have added details to the surface restoration slope stabilization topsoil mulching and seeding, as necessary to add clarity to the scope of work. The Novitiate understands that the grasses need to be native, noninvasive and will be selected for their salt tolerant capabilities.

7. It is anticipated that this entire wall project will be built with equipment operating on and from this site. We are not anticipating that barge mounted equipment will be utilized unless it is necessitated for removal and replacement of the bridge deck exterior armor stone and possibly driving piles at the boat basin.
8. It is anticipated that a long reach excavator could be utilized to assist with the placement of exterior stone in the DEEP permit or re-mortaring or re-grouting operations, if necessary, however, preliminary discussions with local masons indicate they will probably do the work at low tide by hand, standing in the water at the face of the wall.
9. The boat basin wharf walls will be sealed and rebuilt primarily by hand. After the wall surfaces are fully exposed and debris removed, the stone will be reset on a fresh bed of mortar which will be backfilled after placement of a geotextile fabric liner and after the mortar has fully set. Debris removal will be from a barge mounted crane. The wharf will not be backfilled until the stonewall work is completed thus containing the backfill process which will be stoney gravel. Based on our test hold experience the excavation will not require dewatering.
10. We do not believe that a dewatering provision will be necessary for the completion of this project. Once the backfill excavation has occurred behind the existing seawall, a geotextile fabric will be placed and attached to the back of the wall stone and lapped over the ledge on which the new fill has to be placed. Thus, all of the work will be confined by this geotextile fabric and erosion and sedimentation leakage should be minimal.
11. The new walkway will actually be approximately 10 feet wide in order to accommodate the new stone rail support posts for the Rosery Walk; the drawings reflect this width.
12. The walkway will be concrete, backsloped 2% toward the interior of the site where the runoff from rain will run down the grassy slope to the perimeter drainage swale and yard drains. We anticipated that most rainfall runoff will be absorbed into the ground and percolate to the edges along the top of ledge and into the Harbor.
13. The landscaped surface treatment for the 3:1 slope will be grass. The embankment will be built of salvaged gravel fill from the site and covered with salvaged topsoil as well. In the event that straw mulch is not adequate to provide erosion and sedimentation control, a mat, such as "Excelsior Mat", or Hydro-mulching or hydroseeding may be used. Grass will be native, non-invasive salt tolerant and drought resistant due to the site features.
14. The yard drains are shown in the drainage swale at the base of the 3:1 grassed slope. Each yard drain has a loop of straw waddle shown around it on the site plan as erosion and sediment protection supplementing the slope protection.
15. It is anticipated that the utilities for electric and water will be attached to new or existing posts along the causeway. At this time, there are no plans to trench and bury the utilities in the roadbed because of the anticipated excavation difficulties.
16. The new reinforced causeway bridge deck will be rated for 50,000-pound axle loads and will be designed by a licensed structural engineer.
17. The causeway deck elevation will be no lower than the existing bridge deck underside and will rest upon the existing stone abutments.

18. A load bearing test will be conducted on the causeway bridge abutments prior to the new bridge deck slab design construction and installation.
19. It is anticipated that the existing bridge deck will be lifted off by a barge mounted crane and the new deck will be set by the same operation, probably in one day. We do not plan on any causeway excavation which could expose erodible soils to the tidal waters.
20. We have rearranged various notes, callouts and survey details in the site plan set to take care of inadvertent obscurations with surveyed features depicted thereon.
21. The causeway overlay is anticipated to be asphalt which will be worked, spread and controlled by hand and hand tools, and so spillage is not anticipated to be a significant concern.
22. It is anticipated that the bridge deck replacement project will be accomplished in one day and so necessary arrangements for transportation on and off the island should be minimal. The St. Edmund's facility may be closed for the day in order to make this happen and so there would be no occupants on the island in that case.

We trust that you will find these explanations and clarifications suitable to support the project. If you would like to discuss any issue at greater length, please give me a call and I will make myself available to suit your schedule.

Very Truly Yours,
Docko



Keith Neilson, P.E.

KBN:cl

Attachments

CC: Ms. Candy Palmer, Zoning Official

Mr. Clifton Iler, Town Planner

Father Thomas Hoar

Mr. Keivn Miller, Site Manager

File: Enders Island 23-07-3292



December 28, 2023

Revered Thomas Hoar
St. Edmund's Retreat, Inc.
P.O. Box 399 (Enders Island)
Mystic, CT 06355-0399

Subject: Certificate of Permission ("COP") Application #**202308931-COP**
Enders Island, Stonington

Dear Father Hoar:

A review of your certificate of permission ("COP") application indicates that the following additional information is necessary in order to evaluate your proposal:

1. Please provide current photographs of the existing causeway/viaduct, stone wharf, fixed pier and floating dock system and areas of existing seawall toe armor stone as these existing structures are identified within the application materials as seeking approval for proposed repairs and/or modification.
2. Please provide **Part III: Site and Resource Information**, number 7 **License History**. Page 2a was not included with the submitted application materials.
3. Please revise **Part V: Engineering Support Documentation and Certification** number 1. to check "YES", the proposed activity includes engineered structures...and/or shoreline flood & erosion control structures as various elements of the proposed activities meet this threshold. Additionally, please revise the **LWRD License Application Engineering Report Cover Sheet** accordingly.
4. Please provide a signed Dredging Consultation Form (Attachment 22) and associated analytical data and grain size analysis for the sediment which is proposed to be dredged. Please be aware that given the relatively short timeframe associated with the COP regulatory process, if sediment sampling and analysis has not been conducted, you may want to consider removing this element for the scope of the proposed activities and applying for a new COP application once the sediments have been analyzed and coordination with DEEP staff, including DEEP Fisheries Division and Department of Agriculture, Bureau of Aquaculture staff have been conducted.
5. As the pending application is proposing to conduct maintenance dredging, please provide a signed Fisheries Consultation Form and a signed Department of Agriculture/Bureau of Aquaculture Consultation Form.
6. Please revise Sheet 7 of 16 to identify and label the proposed top and toe of slope associated with the proposed dredging. In addition, please provide a cross-section through the proposed dredge footprint identifying existing and proposed bathymetry. Please revise the plan to identify the dimensions of the existing fixed pier, ramp and floating dock.

7. Sheet 7 of 16 identifies the proposed dredge depth as -3' MLW with an allowable 1' of over-dredge while Sheet 2 of 16 and the application materials identify a proposed dredge depth of -4' MLW with an allowable 1' of over-dredge. Please revise the application materials and plans accordingly.
8. Sheet 10 of 16 contains the following note "*STOCKPILED STONE AND BOULDERS TO BE SPLIT CRUSHED AND RECYCLED AS NEW SEAWALL BASE.*" However, the details on Sheet 10 of 16 do not appear to include an existing or proposed seawall. Please revise this sheet to either remove this note or provide further clarification as to where the stone will be placed elsewhere on the site.
9. Please revise Sheets 12 and 13 of 16 to identify the top elevation of the existing stone seawall and the top elevation of the seawall following the proposed removal of the top 4'.
10. Please indicate if the construction of the proposed reinforced concrete wall and placement of backfill landward of the proposed wall will require municipal approval.
11. Please revise Sheets 1 through 11 of 16 to show the locations of the cross-sections on Sheets 12 through 16 of 16. Please make certain to provide additional cross-sections through the various proposed work areas as necessary and include all tidal datums, dimensions and elevations as appropriate.
12. Sheet 12 of 16 identifies installation of a new weep hole through the existing seawall to handle storm water runoff from the upland areas and a new weep hole located beneath of the proposed reinforced concrete footing for the new wall. However, there does not appear to be a way for storm surge or spray which may overtop the proposed lower seawall to drain from behind the seawall. Please include a discussion as to how this water will be removed and revise the plans should a weep hole be proposed.
13. Please revise Sheet 14 of 16 to identify the existing top elevation of the existing stone wharf and identify the thickness of the proposed new concrete "cap".
14. Based on a review of the Town of Stonington Geographic & Property Information Application, it appears that portions of the existing site is identified as "*CNSERVA M-00*" while other areas are identified as "*CHURCH M-94*" and "*RC-120*". Please provide a copy of any conservation or prescriptive easements for the subject property.

Accordingly, under subsection(c) of section 22a-363b of the Connecticut General Statutes, a decision regarding your application shall be made no later than **March 13, 2024**, ninety (90) days from the date of its receipt. In order to adequately review your additional submissions, we must receive this material no later than February 1, 2024. Failure to comply with this deadline will result in the denial of your application as sufficient time is not available to evaluate the proposed work.

Please include your application number on all submissions and forward such material to my attention at:

Department of Energy & Environmental Protection
Land & Water Resources Division, Regulatory – East Region
79 Elm Street
Hartford, CT 06106-5127

In addition, you should be aware that any work in tidal wetlands or waterward of the coastal jurisdiction line in tidal, coastal or navigable waters of the State without proper authorization is a violation of state law and is subject to enforcement actions by the Department of Energy & Environmental Protection and the Office of the Attorney General.

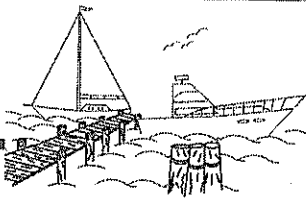
Should you wish to discuss this application, please contact me at 860-424-3674 or micheal.grzywinski@ct.gov. Thank you for your cooperation in this matter.

Sincerely,

A handwritten signature in blue ink, appearing to read "M.P. Grzywinski", followed by a long horizontal flourish.

Micheal P. Grzywinski
Senior Environmental Analyst
Land & Water Resources Division
Bureau of Water Protection & Land Reuse

cc: Father Thomas Hoar, tfhx@endersisland.org
Keith Neilson, Docko, Inc., office@docko.com
Kevin Kotelly, ACOE, Kevin.R.Kotelly@usace.army.mil
Eric Donch, Stonington Harbormaster, harbormaster@usa.com
Don Procko, Mystic Harbormaster, mysticharbormaster@gmail.com
Candy Palmer, Stonington ZEO, cpalmer@stonington-ct.gov
Darcy Winther, DEEP LWRD, darcy.winter@ct.gov
Kristal Kallenberg, DEEP LWRD, kristal.kallenberg@ct.gov
File # 202308931-COP, Stonington



DOCKO A SOUND ENGINEERING ASSOCIATES COMPANY

PO BOX 421, MYSTIC, CT 06355 (860) 572-8939 EMAIL: office@docko.com

January 3, 2024

Mr. Micheal Grzywinski
CT DEEP/LWRD
79 Elm Street
Hartford, CT 06106

Re: St. Edmund's Retreat, Inc.
Application No. 202308931-COP

Dear Mr. Grzywinski:

Thank you for your letter of December 28, 2023. With regard to your questions, we offer the following additional information:

1. Attached are current photographs of the site, the causeway, the north stone walls, fixed pier, and other areas of interest. The floating dock and ramp were destroyed in a recent storm and debris has been removed from the site. The pier was also damaged and will have to be rebuilt. The outer half of the wharf will have to be rebuilt due to the failure of the stone support walls.
2. We have attached a copy of part III: Site and Resource information and the license history for the site.
3. Part IV: Engineering Support Documentation and certification has been edited as requested, as has the LWRD Engineering Report cover sheet. We are also providing, herewith, additional information which will address engineering concerns for the proposed structural shoreline protection rehabilitation and restoration nature of this project.
4. With regard to this question 4, as well as 5,6,7, we have deleted dredging in this project. The last time this project was applied for and the same dredging was approved, a simple grain size analysis was required and we still have that information. Going through \$10,000 worth of testing for the removal of 300 to 400 cubic yards of sand is not a cost beneficial proposition, especially since it would make this project come under a two to three year LWRD S&D process; the other high priority work cannot wait that long. We have withdrawn any reference to dredging from this project and the application documents and materials have been revised to delete any reference to the dredging in this project.
8. The "stockpile boulder and stone" note has been removed from the project as requested.
9. While we anticipate taking off the top four feet of the existing wall, you know from experience, that this wall was built under 1920's technology. Two independent mortared stone walls were gradually built up, forming the exterior wall surfaces and the void between the two was backfilled with mass concrete, with little reinforcement. While the wall has withstood the test of time for the last 90 years, we are seeing progressive surficial damage, which is going to eventually take its toll on the wall. By removing the top four feet of the structure, we will be reducing the amount of force that the breaking waves exert on the wall. The stone and concrete that is taken off the top will be utilized as backfill between the old structure and the new reinforced concrete wall, built entirely landward of the CT jurisdiction line, and in no way connected to the existing wall structure. In this way, the rubble and debris will form reinforcements behind the existing wall to help it to withstand breaking waves forces. We have added some top of wall elevations as requested.
10. The seawall behind the existing stone and concrete wall structure and all supporting work will require Town approval and a Coastal Site Plan application has been submitted for that review.

11. Sheets 11 through 16 have been revised to show the cross section locations although the details are meant to be applicable throughout the project typically. The cross sections show the two typical sections, and scenario in this project: modification of the existing wall to lower it in front of the new wall and repairing the wall where it is to remain, typically along the southwesterly section.
12. The top of the seawall as modified will be irregular due to the nature of construction. The top of the stones remaining will be what can be removed safely and without damage to the remaining seawall rather than specific elevation. The top elevation will vary from 10 or so to 12 feet or so above the reference datum.
13. The graded slope on the inside of the new seawall will direct overtopping waves down into a drainage collection swale at the base of the wall where the proposed drains are to be located. The water that accumulates between the two walls will still drain down through the foundation stone to the underlying ledge and then out into the Harbor/Sound. Based on the longstanding structure and nature of the base of the seawall, rainfall and wave overtopping waters will be able to drain out through the existing and new previous base structure after it percolates down through the new rock fill and foundation work.
14. We have modified the detail on sheet 14 of the drawing. There is no cap on the existing seawall. There are serrated stones on the south end of the seawall, which will be removed when that section of the wall is lowered to the new design. The elevations will vary as discussed above.
15. We have reviewed existing land records and documents for the site and have been informed that only RC120 Zone applies to this project in the Zoning Regulations. It is our understanding that the other nomenclature was referenced to tax codes and are not appropriate to land use. We have confirmed this with the Zoning Official for the Town.

Attached are the reference drawings revised in accordance with your comments, photos, Engineering Report Cover Sheet, and description of the scope of work for your use. We trust that you will find this additional information helpful to allow you to issue the requested permit. If you seek further information or would like to discuss the project in greater detail, please feel free to call me anytime. Your assistance is always greatly appreciated.

Very Truly Yours,



Keith B. Neilson, P.E.

KBN:cj
Attachments
CC: Mr. Kevin Kotelly, US ACE
Father Thomas Hoar
Mr. Kevin Miller, St. Edmonds
File: 23-07-3292 ENDERS ISLAND

Indicate the number and date of issuance of any previous state coastal permits or certificates issued by DEEP authorizing work at the site and the names to whom they were issued:

| <i>Permit/COP Number</i> | <i>Date Issued</i> | <i>Name of Permittee/Certificate Holder</i> |
|--------------------------|---------------------------|--|
| GP 201203101-MG | 2012 | St. Edmund's Retreat. Inc. |
| COP 2008017585-MG | April 21 2010 | St. Edmund's Retreat. Inc. |
| COP 2007-021-MG | April 16, 2007 | St. Edmund's Retreat, Inc. |
| SD-W-85-196 | May 29, 1985 | Society of St. Edmunds, Inc. |
| Certificate | September 12, 1955 | Society of St. Edmunds, Inc. |
| Certificate | May 6, 1955 | Agents for Society of St. Edmunds, Inc. |
| Letter | September 16, 1940 | Dr. T.B. Enders |

Part IV: Project Information (continued)

5. If the site is a marina or yacht club, provide the following:
- Number of boat slips and moorings: _____ (should be consistent with plans submitted as Attachment 14)
 - Type of marine sanitation service provided at the facility.
 - Check here to confirm that at least one plan view notes the location of upland support including adequate parking, a marina office, and restrooms.
 - Check the applicable services provided:

| | |
|--|---|
| <input type="checkbox"/> boat repair/maintenance | <input type="checkbox"/> winter storage |
| <input type="checkbox"/> gas/fuel hook-up | <input type="checkbox"/> electric hook-up |
| <input type="checkbox"/> fishing amenities | <input type="checkbox"/> boating and/or equipment sales |
6. If local/municipal review has or will require a Coastal Site Plan Review for activities at this site, please explain the associated upland work. **A Coastal Site Plan Review is required for this project.**
7. If modifications are proposed to a pre-1995 flood and erosion control structure (FECS), please confirm:
- | N/A | Confirm |
|--------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> FECS modifications will not support an increase in upland fill |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> Seawall height increase is less than 12.0" and justified in Part IV, question 3. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> If FECS consists of riprap or revetment, no more than 10% volume of new stone is proposed |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> No more than 12"-18" of new waterward encroachment for bulkhead replacement/repair with appropriate justification for the encroachment in Item 3, above. New encroachment should be measured from the outermost bulkhead whaler or piling. |
8. Check here if the proposed work is related to a pre-1939, pre-1987 (installed above MHW), and/or pre-1995 structure, and provide photographs, including dates, to document the date of installation as Attachment 11 following this form.

Part V: Engineering Support Documentation and Certification

Certain types of projects require documentation of engineering design. If you answer yes to one of the questions below, you must submit a completed *Engineering Report Cover Sheet* (DEEP-LWRD-APP-001R) as Attachment 18 along with the relevant engineering report(s).

1. Does the proposed activity include engineered structures such as bridges, culverts, stormwater management systems, detention basins, and/or flood & erosion control structures?
 Yes No

2. Is the proposed activity located in a FEMA-designated Riverine or Coastal Floodplain?
 Yes No

If yes, provide documentation in the Engineering Report which demonstrates that the project is in compliance with FEMA's National Flood Insurance Program requirements and the local flood ordinance for the municipality.

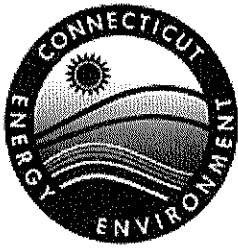
NOTE – Only the following activities in the Coastal Floodplain require engineering: buildings, flood and erosion control structures; public access facilities; and, tide regulating structures. See Engineering Report Cover Sheet for further guidance.

3. Is the proposed activity located in a FEMA-designated Floodway Yes No

If yes, the Engineering Report must include a statement signed by a registered professional engineer that there is no-rise. This documentation must be supported by technical data that is derived from a standard step-backwater computer model utilizing source data from the Flood Insurance Rate Map (FIRM) or Flood Boundary and Floodway Map (FBFM).

If a No-rise Certification form is available through the municipality, please include it in the Engineering Report. For further information on No-Rise Certification, see No-Rise Certification for Floodways | FEMA.gov

The *Engineering Report Cover Sheet* shall be signed and sealed by a Professional Engineer licensed in the State of Connecticut. Supporting documentation as identified in the checklist may consist of engineering studies and other documentation, as appropriate, in order to describe the hydrologic and hydraulic effects of the proposed actions.



LWRD License Application Engineering Report Cover Sheet

This Cover Sheet is a checklist of requirements that need to be completed and submitted with the engineering report. Please complete this checklist by identifying where each requirement listed is addressed in the engineering report (report title and page numbers). If an item is not applicable, place "NA" in the box. The engineer report must fully describe the design of the proposed facilities or other actions and the hydraulic and hydrologic effects thereof. This Cover Sheet is required to be signed and sealed by a professional engineer licensed in the State of Connecticut.

Stormwater Management

| Engineering Report section title and page number | Requirement Description |
|--|--|
| Not a stormwater Management Project. | Description of the design storm frequency intensity, volume and duration |
| Not a stormwater Management Project. | Watershed maps, existing and proposed |
| Not a stormwater Management Project. | Computations for Tc |
| Not a stormwater Management Project. | Imperviousness calculations |
| Not a stormwater Management Project. | NRCS runoff curve numbers, volumetric runoff coefficients |
| Not a stormwater Management Project. | Computations used to determine peak runoff rates, and velocities for each watershed area (24-hour storm): <ul style="list-style-type: none"> • Stream Channel Protection: 1-year, 2-year frequency ("over-control" of 2-year storm) • Conveyance Protection: 10-year frequency • Peak Runoff Attenuation: 2-year, 10-year, 25 year, and 100-year frequency • Emergency Outlet Sizing: safely pass the 100-year frequency or larger storm |
| Not a stormwater Management Project. | Hydrograph routing calculations |
| Not a stormwater Management Project. | Description, schematics, and calculations for drainage and stormwater management systems |
| Not a stormwater Management Project. | Infiltration rates, geotechnical information, test pit data, perc test data, conductivity testing data |
| Not a stormwater Management Project. | Documentation of sources |
| Not a stormwater Management Project. | Electronic files in native format for any computer modelling generated for analysis. |

Stormwater Management

| Engineering Report section title and page number | Requirement Description |
|--|--|
| Not a stormwater Management Project. | Detention basin analysis including timing and duration of expected outflow, stream stability analysis and hydrograph summation |
| Not a stormwater Management Project. | Erosion & sedimentation calculations for any engineered measures |
| Not a stormwater Management Project. | Calculations for any engineered water quality treatment measures |

Floodway/Floodplain Assessment

| Engineering Report section title and page number | Requirement Description |
|--|--|
| Not a floodway/floodplain assessment project. | Description of existing and proposed conditions upstream and downstream of the proposed activity |
| Not a floodway/floodplain assessment project. | For any bridge or culvert placement or replacement with a drainage area of 100 acres or more, plan sheets showing the existing and proposed inundation area for the 2, 10, 25, 50, and 100 year discharges, carried to convergence |
| Not a floodway/floodplain assessment project. | Flood Contingency Plan |
| Not a floodway/floodplain assessment project. | A description and analysis of the floodplain modifications required to restore any flood conveyance and flood storage capacity |
| Not a floodway/floodplain assessment project. | Demonstration that backwater from the proposed activity will not impact an existing dam, dike, detention, or similar structure |
| Not a floodway/floodplain assessment project. | Backup data and complete hydraulic analysis for proposed modifications to the floodplain including location plan and plot for sections, profile sheet, summary sheet |
| Not a floodway/floodplain assessment project. | Description, schematics, and calculations for bridges and culverts |

Structures within a Coastal Flood Hazard Area

| Engineering Report section title and page number | Requirement Description |
|---|--|
| This project does not extend into the water. | Longshore sediment transport impact report |
| See attached report. | Wind, wave, load analysis for significant public access structures (Only for Flood Management Certification) |
| This is a modified flood and erosion control structure. | Wind, wave, load analysis for flood and erosion control structures (e.g. seawalls, bulkheads, revetments, berms, jetties, etc.) |
| This is not a tide regulating/influencing structure. | Hydrologic / Hydraulic impact report for tide regulating / influencing structures (e.g. culverts, tidegates, flood berms / levees, etc.) |

Professional Certification

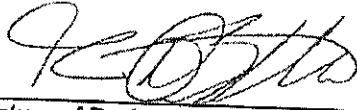
For any engineering report submitted as part of the LWRD License application, the following certification must be signed and sealed by a professional engineer licensed to practice in Connecticut and submitted with the Engineering Report Cover Sheet.

"I certify that in my professional judgement, each requirement listed in the Engineering Report Cover Sheet has been addressed in the engineering report submitted as part of the LWRD permit application and that the information is true, accurate and complete to the best of my knowledge and belief.

This certification is based on my review of the engineering report.

I understand that a false statement made in the submitted information may, pursuant to Section 22a-6 of the General Statutes, be punishable as a criminal offense under Section 53a-157b of the General Statutes, and may also be punishable under Section 22a-438 of the General Statutes."

This certification is made with respect to the application by St. Edmunds Retreat on Enders Island.



Signature of Professional Engineer

12/14/2023

Date

Tim DeBartolomeo

Name of Professional Engineer (print or type)

17011

P.E. Number (if applicable)

Affix P.E. Stamp Here
(if applicable)



Introduction:

This project is located in a flood prone area, located along the Stonington shoreline of Fishers Island Sound at Mystic Harbor. Attached is a copy of the FEMA Flood Insurance Rate Map which shows the various statistical flood elevations for this area. This site is exposed to extreme wave and climate influences.

Longshore sediment transport impact:

The longshore sediment transport system is limited but in prevailing conditions, shore normal in the vicinity of the site. The site has typical coastal storm exposure to severe winds and currents. The site is exposed to daily tidal fluctuations and any storm surges associated with tropical depression's and coastal storms. The climate conditions which would generate the most significant adverse impact on sediment transport would be coastal storms with a strong southerly wind component which is an uncommon exposure but in fact observed dramatically both in late 2022 and 2023 which destroyed the dock facilities from the southeast in storms and southwest for prevailing conditions. In such exposures, wind induced waves travel north across the sound and can create scouring or depositional impacts on the shoreline features. In each case the waves breaking along the shore and reflecting in the process can agitate bottom settlements and draw them along shore creating accretions of sand or eroded areas. Since the storms are uncommon, and moving these erosion areas may appear in different areas and different extents in different storms or climatic circumstances. The site conditions have remained relatively unchanged in the past 25 years except for seawall deterioration.

If there were to be any adverse impact on longshore sediment transport in this area, traces of those impacts would be visible in the existing bottom contouring of the site. A review of the hydrographic survey data would certainly reveal those characteristics and bottom contouring tendencies. It can be seen, however, that there are no irregularities or abnormalities associated with the bottom contouring close to the seawall at the site from visual observation. Sand has accumulated in the northwest recess leading to the marsh and on the north side of the island east of the viaduct causeway.

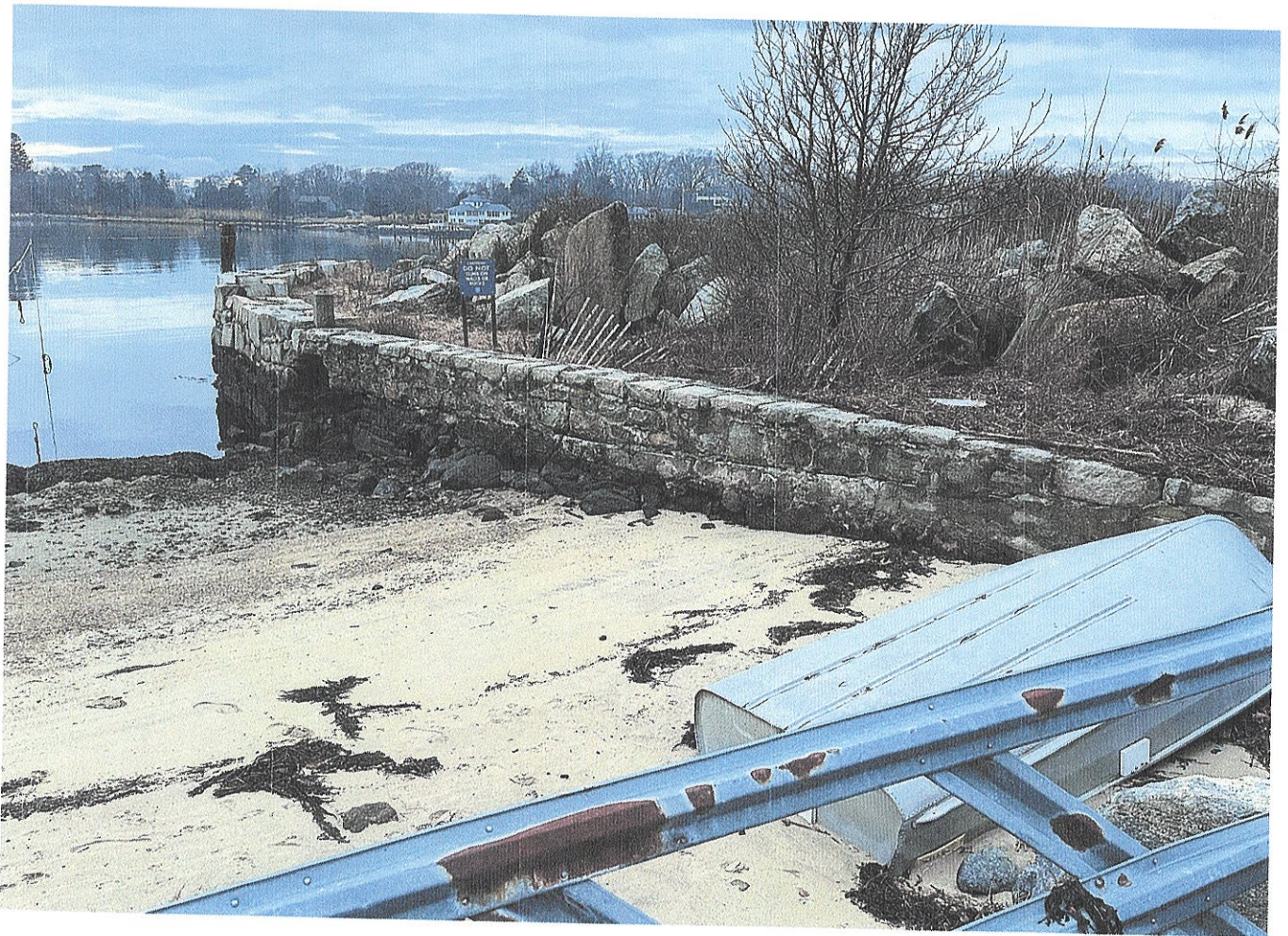
There is no flow rate or velocity data to characterize tidal flows and current characteristics at this site. Casual observation of tidal wetland flows indicates velocities of less than one foot per second in most, if not all but breaking wave conditions and in such extreme conditions, sediments will be eroded and transported around the tip of the island in accordance with the wind direction and reflected/refracted wave patterns. The sediments are fairly stable, in a steady state in terms of most conditions and prevailing and uncommon weather, and winds will not tend to disrupt observed conditions. All work proposed is at or within the existing footprint of the island's long established perimeter and nothing this project will change that. This project will have no adverse effect on wave dynamics which might influence adjacent shoreline properties. There is almost no sand in the shallow subtidal waters around the island except for northerly quarter of the island.

In any case, no new construction in open water is proposed and the seawall and boat basin work will only be restoration of longstanding facilities with no new encroachment.

This project will not adversely affect water flow and circulation or any water quality characteristics.

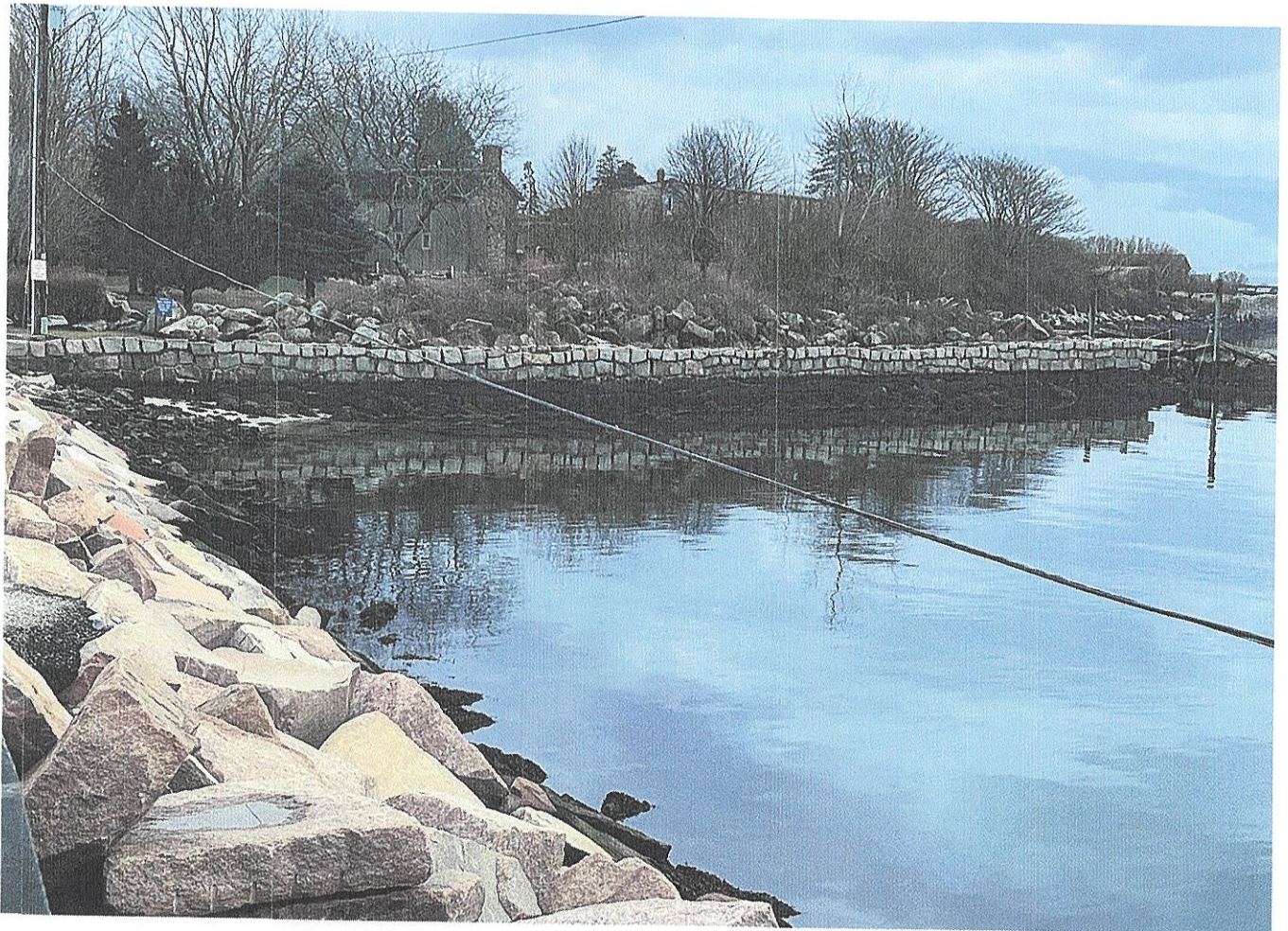
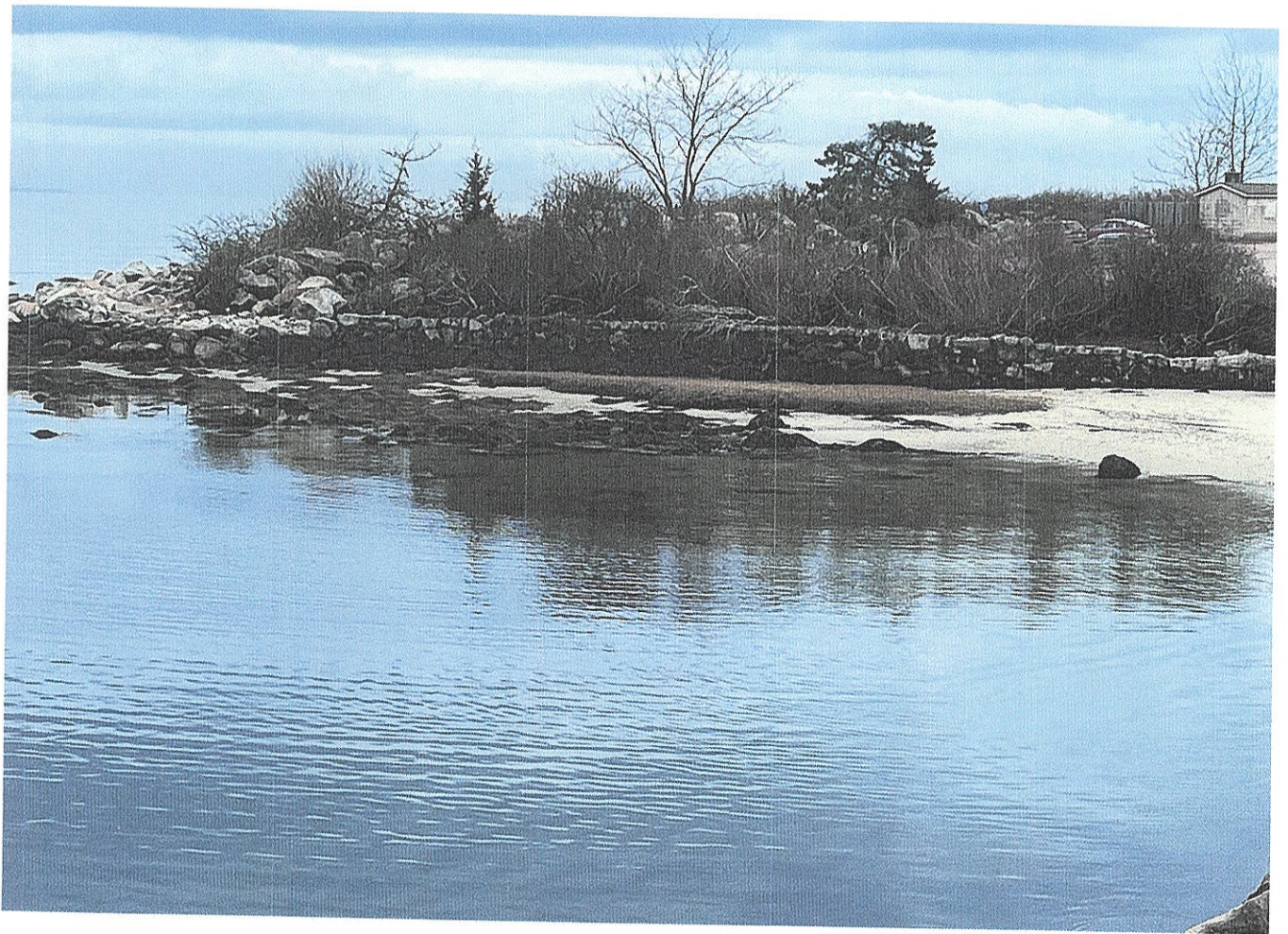


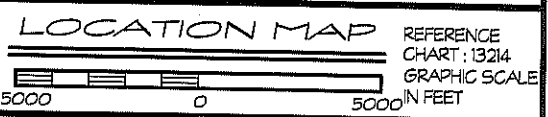
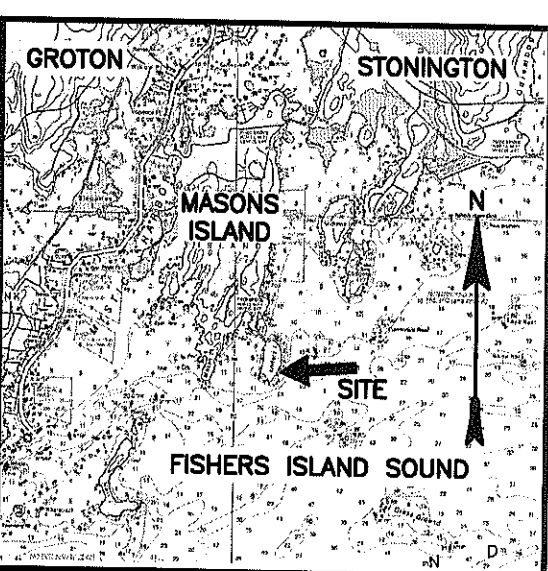




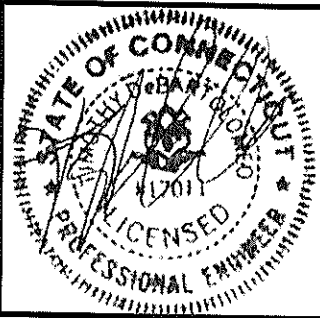
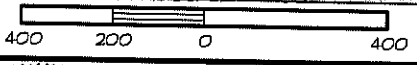
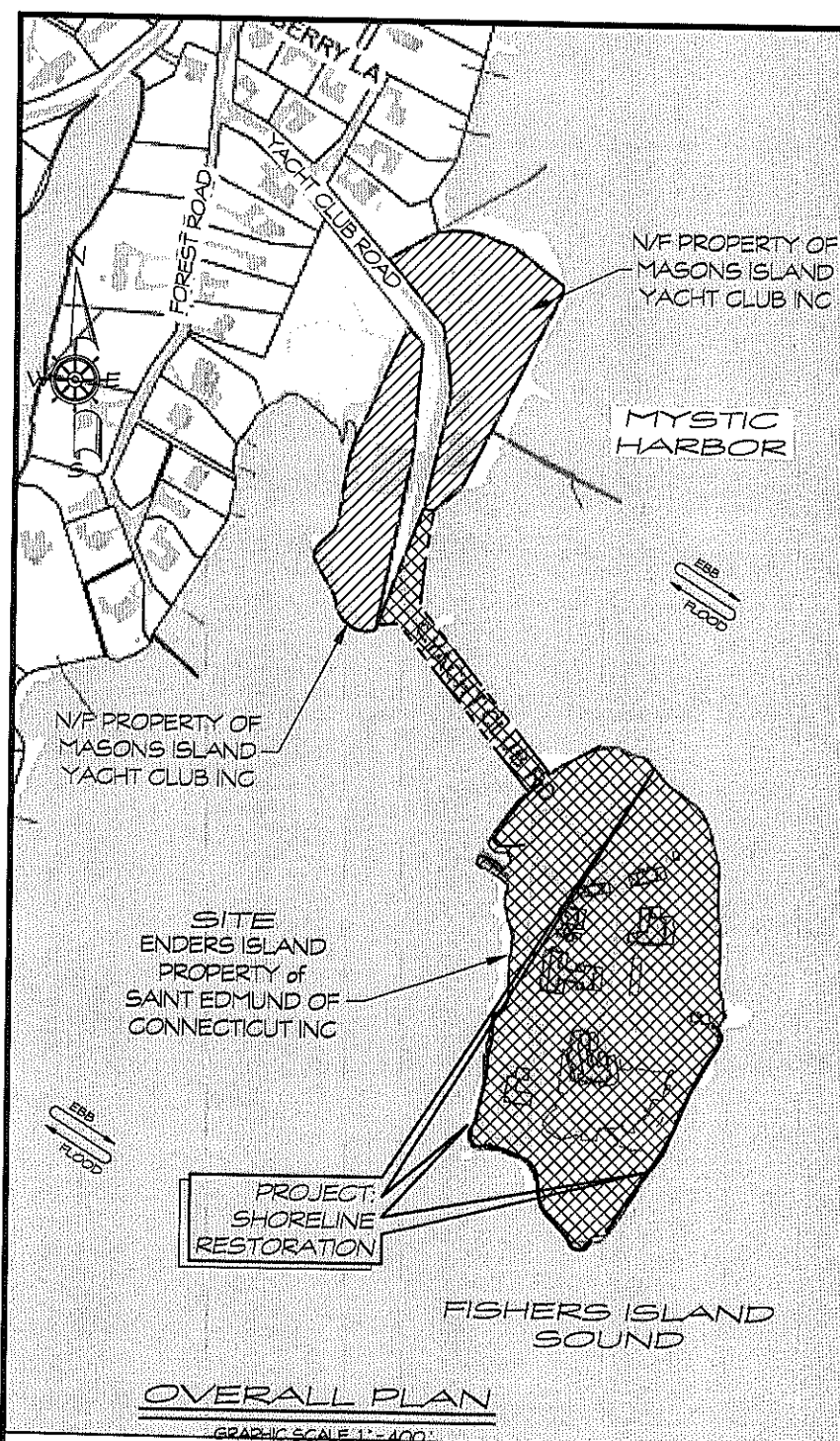








- NOTES:
1. ELEVATION DATUM IS NAVD 1988.
 2. TIDE DATA IS TAKEN FROM 2023 NOAA TIDE TABLES REFERENCE : NEW LONDON/MYSTIC RIVER. CJL IS TAKEN FROM THE COASTAL JURISDICTIONAL LINE FACT SHEET : STONINGTON
 3. PROJECT DESCRIPTION: SEE ATTACHED SHEET 2.
 4. PROJECT PURPOSE: THIS PROJECT IS TO RESTORE VITAL WATERFRONT INFRASTRUCTURE TO PROTECT AND PRESERVE EXISTING PROPERTY AND ENVIRONMENTAL RESOURCES.
 5. THESE APPLICATION DRAWINGS REPRESENT A COMPILATION OF SURVEYS FOR ENVIRONMENTAL PERMIT PURPOSES. THEY ARE NOT CONSTRUCTION CONTRACT DOCUMENTS. A TOWN BUILDING PERMIT MAY BE REQUIRED.
 6. ADJOINING PROPERTY OWNERS:
NORTHEAST & NORTHWEST:
MASONS ISLAND YACHT CLUB INC
PO BOX 465
MYSTIC, CT 06355



PROJECT: SHORELINE RESTORATION

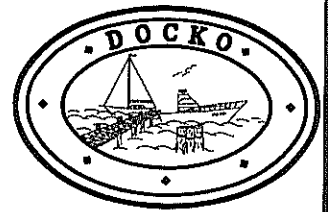
LOCATION: ENDERS ISLAND - TOWN of STONINGTON
NEW LONDON COUNTY, CONNECTICUT

WATERWAY: FISHERS ISLAND SOUND

DATE: OCTOBER 11, 2023
ST EDMUND OF CONNECTICUT INC

AGENT: SHEET 1 OF 16

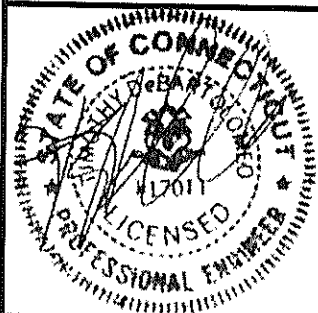
DOCKO
Sound Engineering Associates LLC
Mystic, CT 06355
860 572 8939
EMAIL: office@docko.com



DWG 23-09-3292

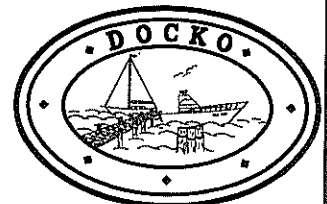
3. PROJECT DESCRIPTION:

- REMOVE THE TOP 5±FT OF AN 800±LF OF STONE AND CONCRETE SEAWALL, 600±CY OVER 600±SF FOR REUSE ON SITE LANDWARD OF THE C.J.L AND HTL. NEW TOP ELEVATION 10FT NAVD. SUPPLEMENT EXISTING SEAWALL TOE ARMOR STONE 500±CY OVER 10,000±SF USING EXISTING ONSITE STONE.
- RECONSTRUCT AN EXISTING 14±FT WIDE X 90±LF STONE WHARF WITH A CONCRETE CAP 400±CY OVER 1300±SF, INCLUDING A METAL SECURITY GATE AND INSET STONE STEPS TO THE LOWER PIER LANDING
- REPAIR AND RECONSTRUCT AS NECESSARY 230±LF OF MORTARED STONE SEAWALL WEST OF THE VIADUCT ENTRANCE VIADUCT ENTRANCE 520±CY OVER 500±SF, AND 120±LF EAST OF THE VIADUCT ENTRANCE 165±CY OVER 1000±SF
- REPLACE AN EXISTING DOCK FACILITY, 48±LF OF 7-FT WIDE PILE RESTRAINED WOOD FLOATING DOCK AND RECONSTRUCT AN EXISTING 4-FT WIDE X 37±LF PILE SUPPORTED WOOD PILE AND TIMBER PIER TO 34±LF INSTALL A NEW 4-FT BY 24±LF HINGED RAMP
- MAINTAIN EXISTING STONE VIADUCT ACCESS WAY WITH 450±CY OF ARMOR STONE OVER 20,000±SF, INCLUDING NEW PAVING APPROXIMATELY 460±LF X 12-FT WIDE (VARIABLE) WITH GUARD RAILS AND NEW WATER AND ELECTRICAL SERVICE TO THE ISLAND AND REPLACE OR OVERLAY THE EXISTING BRIDGE DECK TO ACCOMMODATE HEAVY CONSTRUCTION EQUIPMENT REQUIRED FOR THIS PROJECT.

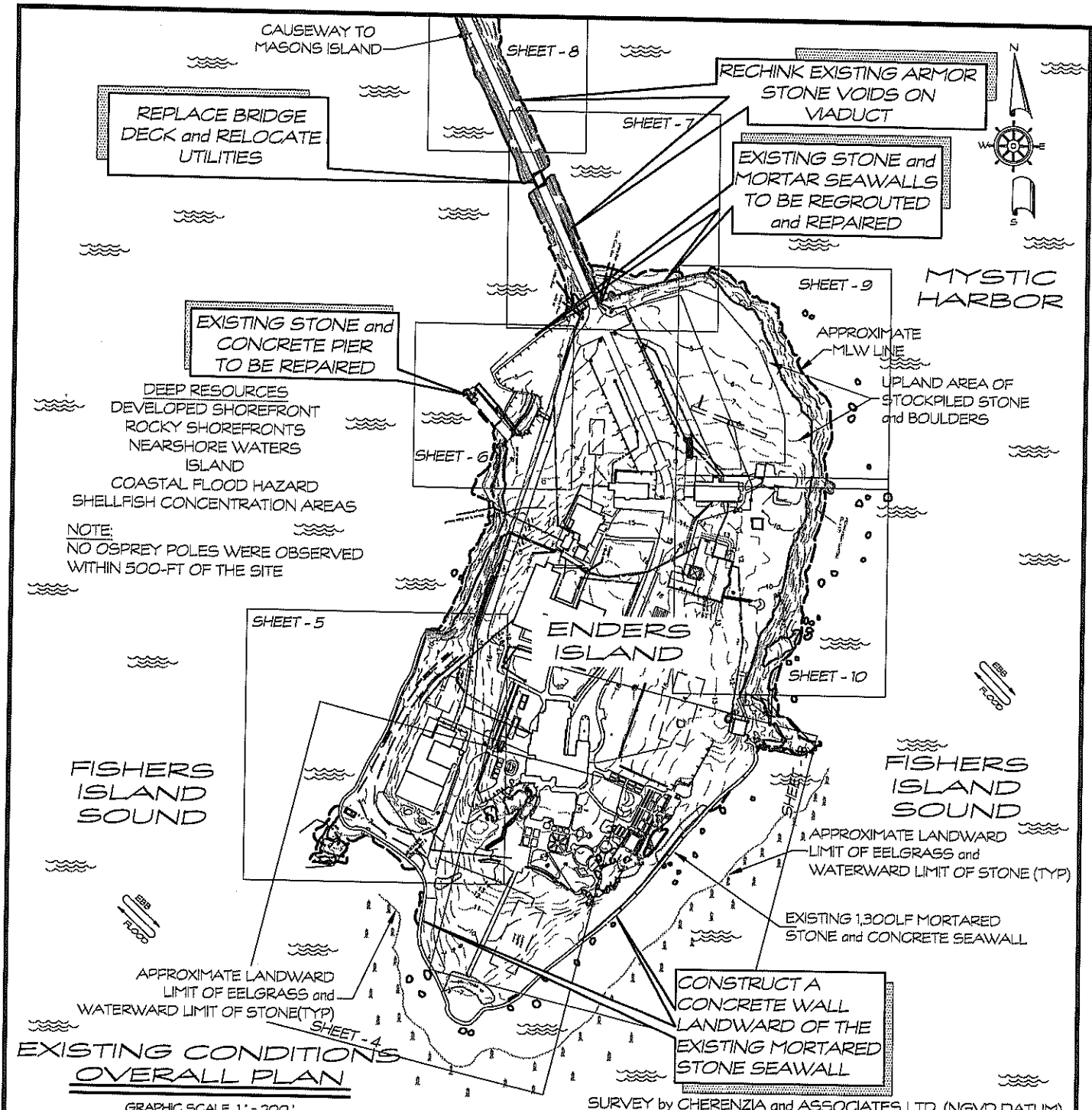


REVISED 01-03-2024 DEEP
PROJECT DESCRIPTION
REVISED 01-30-2024 DEEP
PROJECT DESCRIPTION

PROJECT: SHORELINE RESTORATION
LOCATION: ENDERS ISLAND - TOWN of STONINGTON
NEW LONDON COUNTY, CONNECTICUT
WATERWAY: FISHERS ISLAND SOUND
DATE: OCTOBER 11, 2023
ST EDMUND OF
CONNECTICUT INC
SHEET 2 OF 16
AGENT:
DOCKO
Sound Engineering Associates LLC
Mystic, CT 06355
860 572 8939
EMAIL: office@docko.com



DWG 23-09-3292

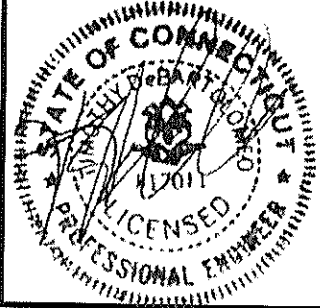


EXISTING CONDITIONS
OVERALL PLAN

GRAPHIC SCALE 1" = 200'

200 100 0 200

SURVEY by CHERENZIA and ASSOCIATES LTD. (NGVD DATUM)



REVISED 01-30-24 DEEP
SCOPE OF WORK CALLOUTS

PROJECT: SHORELINE RESTORATION

LOCATION: ENDERS ISLAND, TOWN OF STONINGTON
NEW LONDON COUNTY, CONNECTICUT

WATERWAY: FISHERS ISLAND SOUND

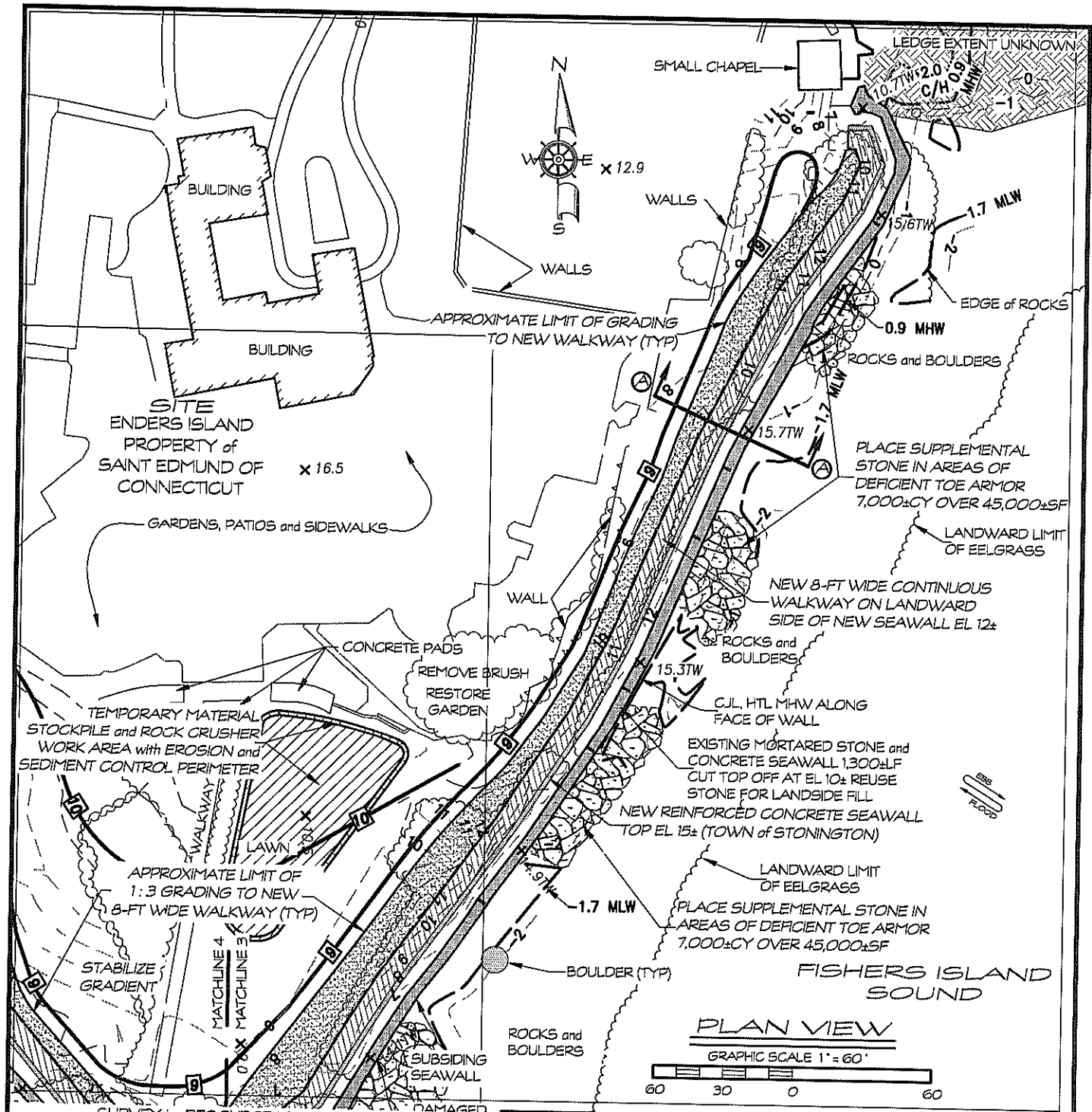
DATE: OCTOBER 11, 2023

APPLICANT: ST EDMUND OF
OF CONNECTICUT INC

AGENT: SHEET 3 of 16

DOCKO
Sound Engineering Associates LLC
Mystic, CT 06355
860 572 8939
EMAIL: office@docko.com

DWG 23-09-3292

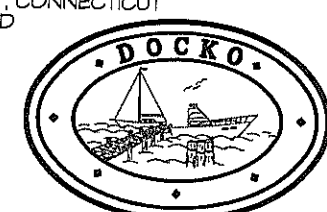
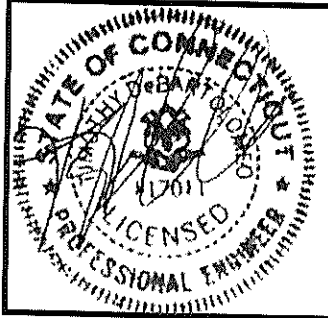


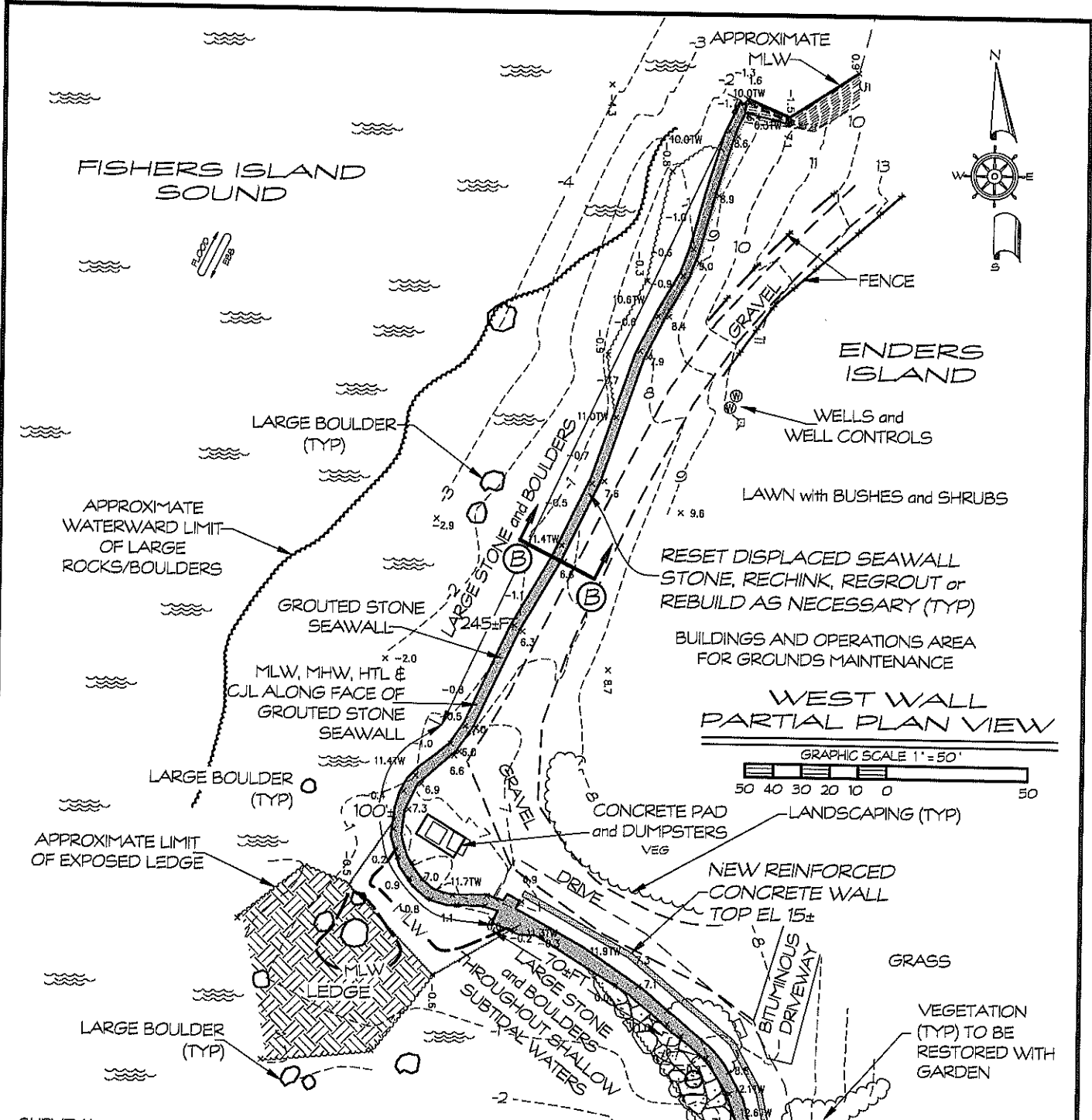
SURVEY by RESOURCE MANAGEMENT & MAPPING
 ELEVATIONS ARE BASED ON NAVD 1988

REVISED 1-4-24 DEEP
 SECTION
 REVISED 01-30-24 DEEP
 WORK SHADING

PROJECT: SHORELINE RESTORATION
LOCATION: ENDERS ISLAND - TOWN of STONINGTON
 NEW LONDON COUNTY, CONNECTICUT
WATERWAY: FISHERS ISLAND SOUND
DATE: OCTOBER 11, 2023
APPLICANT: ST EDMUND OF CONNECTICUT INC
 SHEET 4 of 16
AGENT: DOCKO
 Sound Engineering Associates LLC
 Mystic, CT 06355
 860 572 8939
 EMAIL: office@docko.com

DWG 23-09-3292

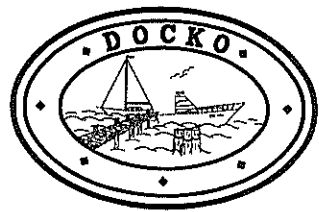




SURVEY by
RESOURCE MANAGEMENT & MAPPING (MLW DATUM)

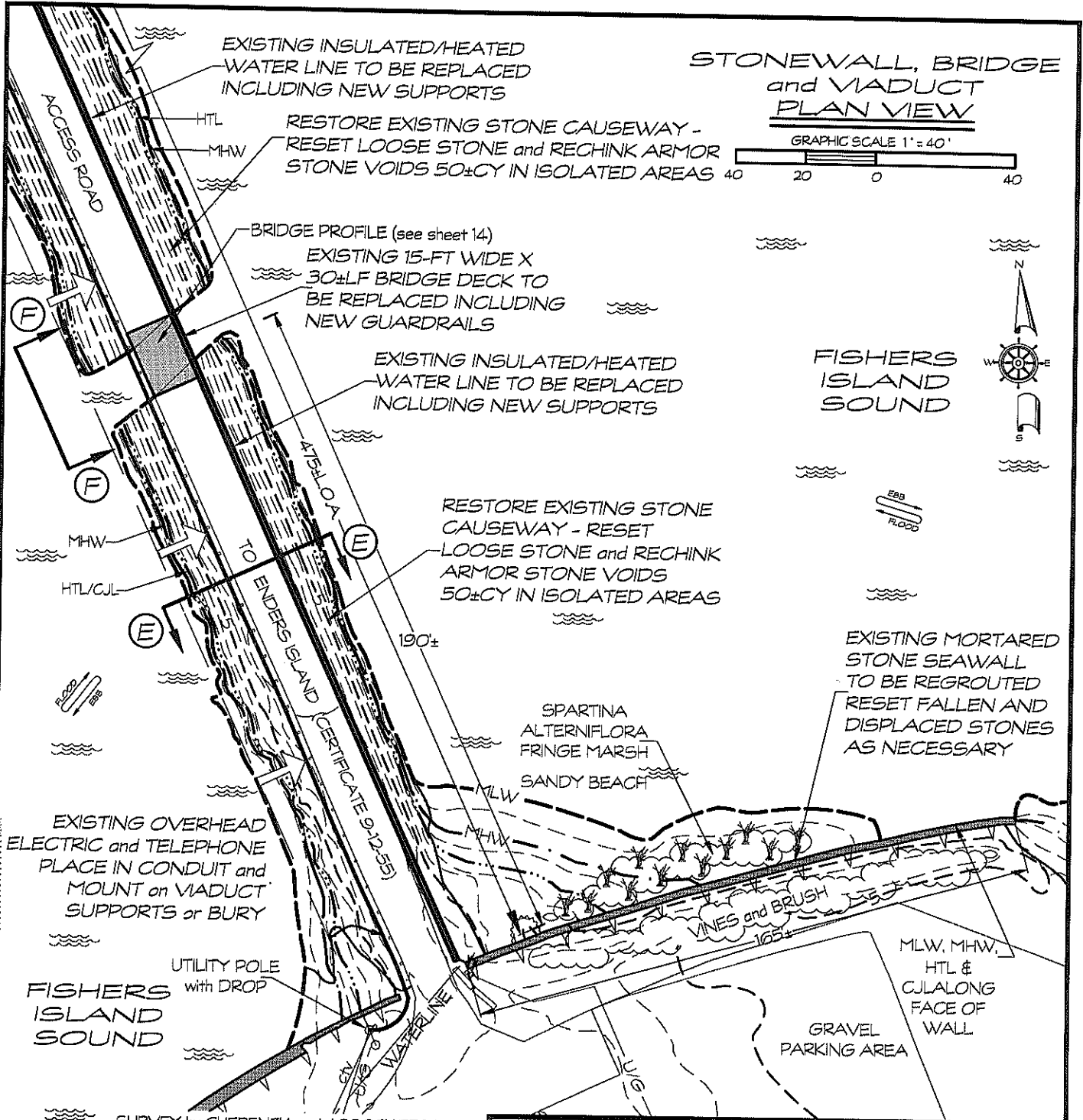
REVISED 1-4-24 DEEP
SECTION

PROJECT: SHORELINE RESTORATION
 LOCATION: ENDERS ISLAND, TOWN OF STONINGTON
 NEW LONDON COUNTY, CONNECTICUT
 WATERWAY: FISHERS ISLAND SOUND
 DATE: OCTOBER 11, 2023
 APPLICANT: ST. EDMUNDS of CONNECTICUT INC
 AGENT: SHEET 6 of 16
DOCKO
 Sound Engineering Associates LLC
 Mystic, CT 06355
 860 572 8939
 EMAIL: office@docko.com

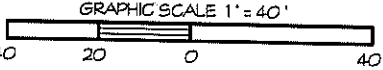


DWG 23-09-23



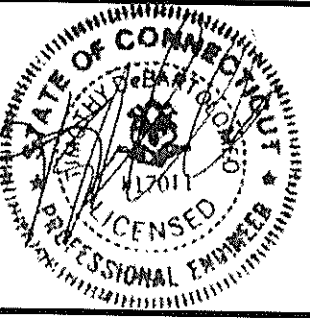


**STONEWALL, BRIDGE and VIADUCT
PLAN VIEW**

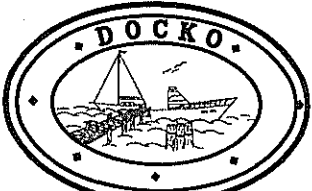


SURVEY by CHERENZIA and ASSOCIATES LTD.
ELEVATIONS ARE BASED ON NGVD 1929

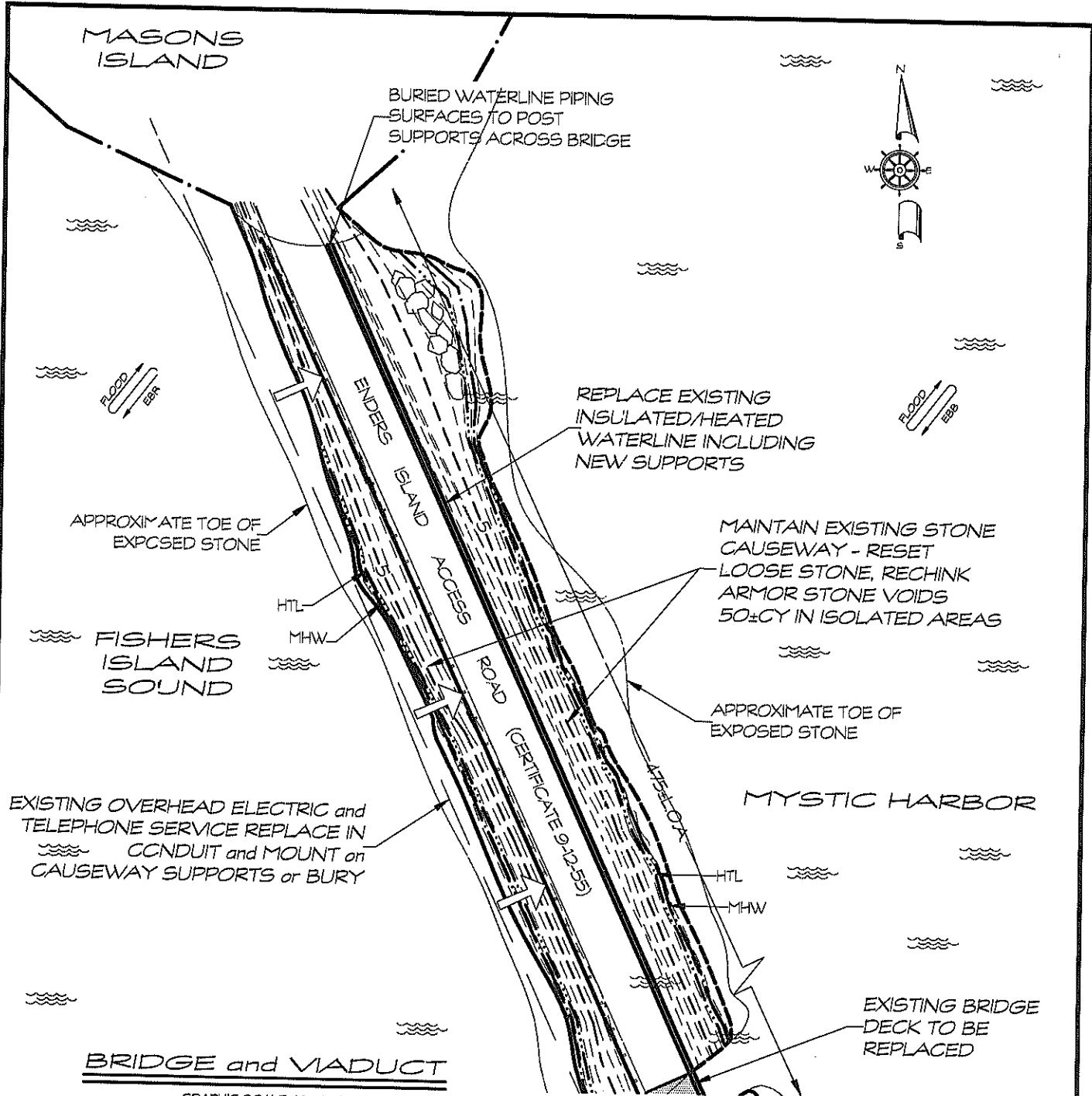
| | |
|---|---|
| PROJECT: | SHORELINE RESTORATION |
| LOCATION: | ENDERS ISLAND, TOWN OF STONINGTON NEW LONDON COUNTY, CONNECTICUT |
| WATERWAY: | FISHERS ISLAND SOUND |
| DATE: | OCTOBER 11, 2023 |
| APPLICANT: | ST. EDMUND OF CONNECTICUT, INC |
| AGENT: | SHEET 8 OF 16 |
| DOCKO Sound Engineering Associates LLC Mystic, CT 06355 860 572 8939 EMAIL: office@docko.com | |



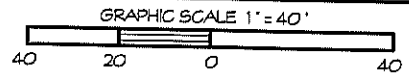
REVISED 1-4-24 DEEP SECTIONS
REVISED 1-30-24 DEEP WORK SCOPE



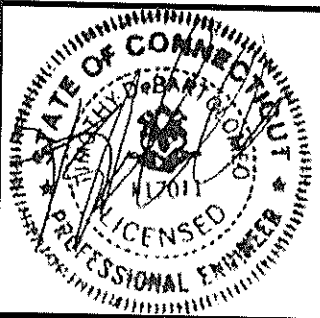
DWG 23-09-3292



BRIDGE and VIADUCT

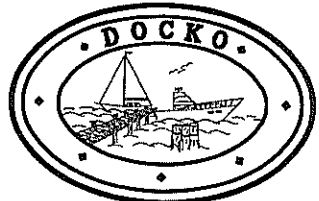


SURVEY by CHERENZIA and ASSOCIATES LTD. (NGVD DATUM)

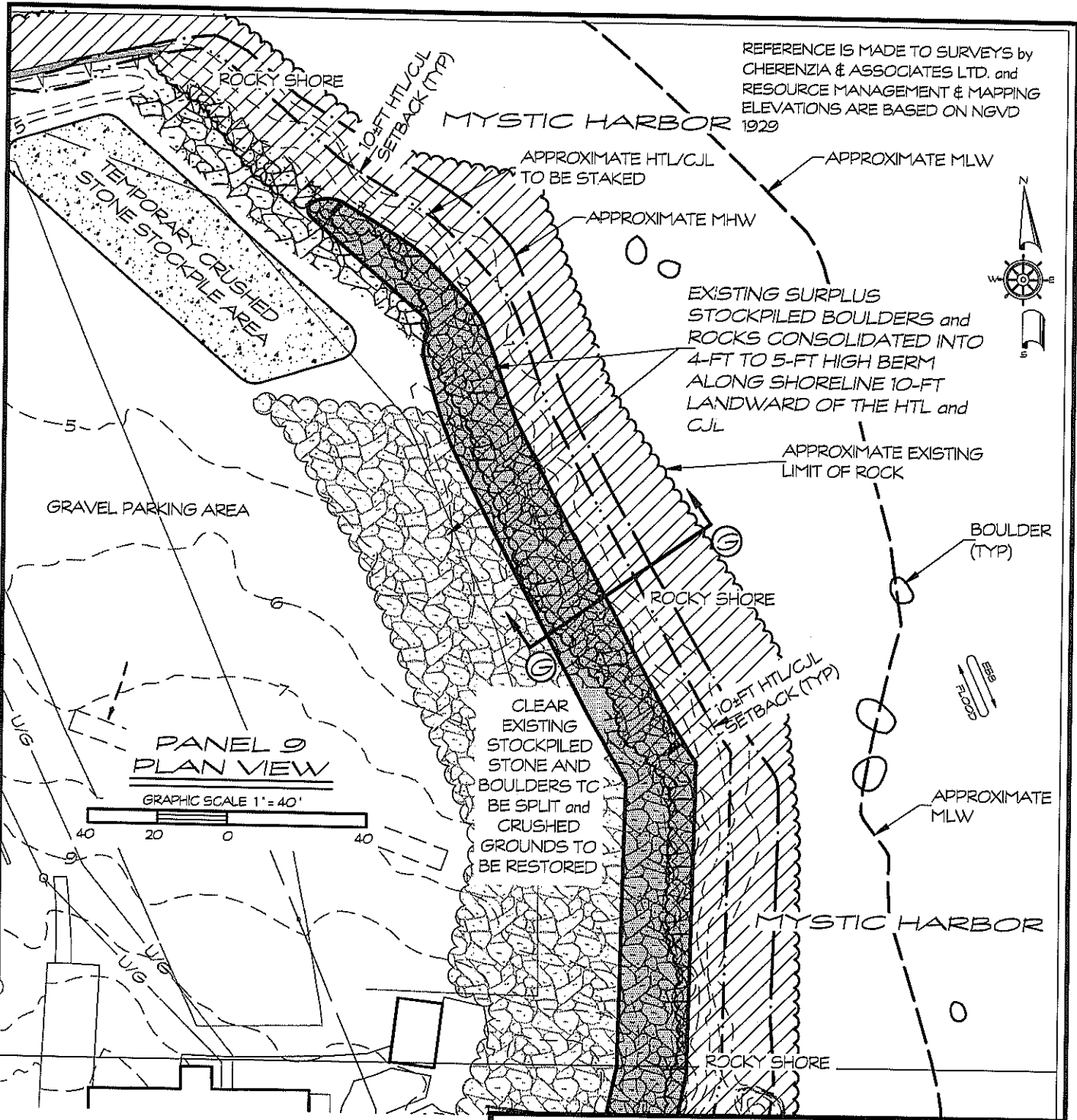


REVISED 1-30-24 DEEP
TOE OF STONE

PROJECT: SHORELINE RESTORATION
 LOCATION: ENDERS ISLAND, TOWN OF STONINGTON
 NEW LONDON COUNTY, CONNECTICUT
 WATERWAY: FISHERS ISLAND SOUND
 DATE: OCTOBER 11, 2023
 APPLICANT: ST. EDMUND OF CONNECTICUT INC
 AGENT: SHEET 9 OF 16
DOCKO
 Sound Engineering Associates LLC
 Mystic, CT 06355
 860 572 8939
 EMAIL: office@docko.com



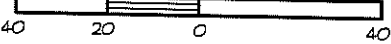
DWG 23-09-3292



REFERENCE IS MADE TO SURVEYS by
 CHERENZIA & ASSOCIATES LTD. and
 RESOURCE MANAGEMENT & MAPPING
 ELEVATIONS ARE BASED ON NGVD
 1929

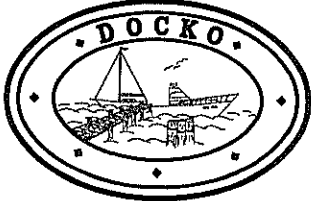
**PANEL 9
 PLAN VIEW**

GRAPHIC SCALE 1" = 40'

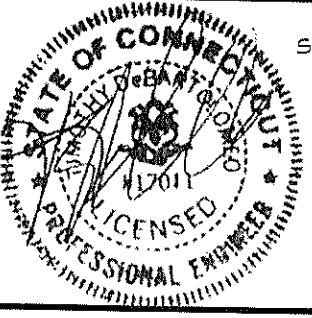


PROJECT: SHORELINE RESTORATION
LOCATION: ENDERS ISLAND, TOWN OF STONINGTON
 NEW LONDON COUNTY, CONNECTICUT
WATERWAY: FISHERS ISLAND SOUND
DATE: OCTOBER 11, 2023
APPLICANT: ST. EDMUND OF
 CONNECTICUT INC
AGENT: SHEET 10 OF 16

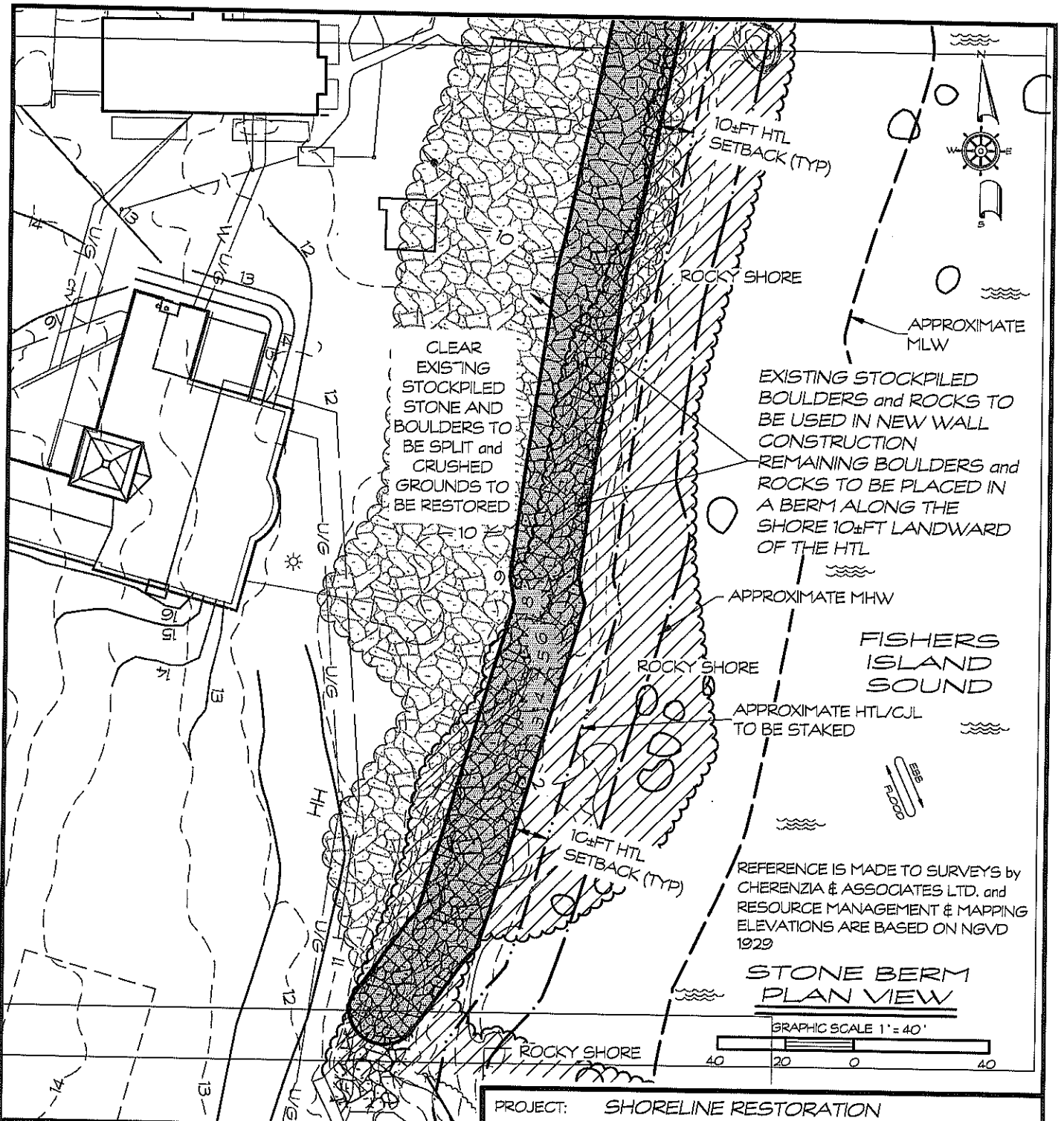
DOCKO
 Sound Engineering Associates LLC
 Mystic, CT 06355
 860 572 8939
 EMAIL: office@docko.com



DWG 239-09-3292



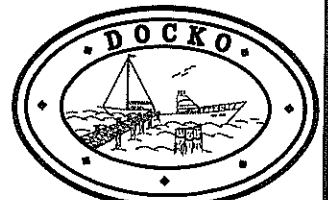
REVISED 1-4-24 DEEP
 SECTION & STOCKPILE CALLOUT



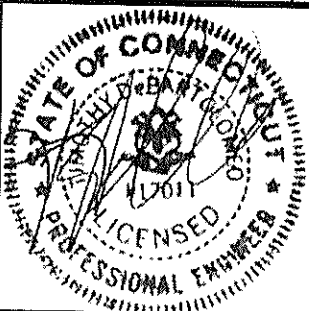
REVISED 1-4-24 DEEP STOCKPILE CALLOUT

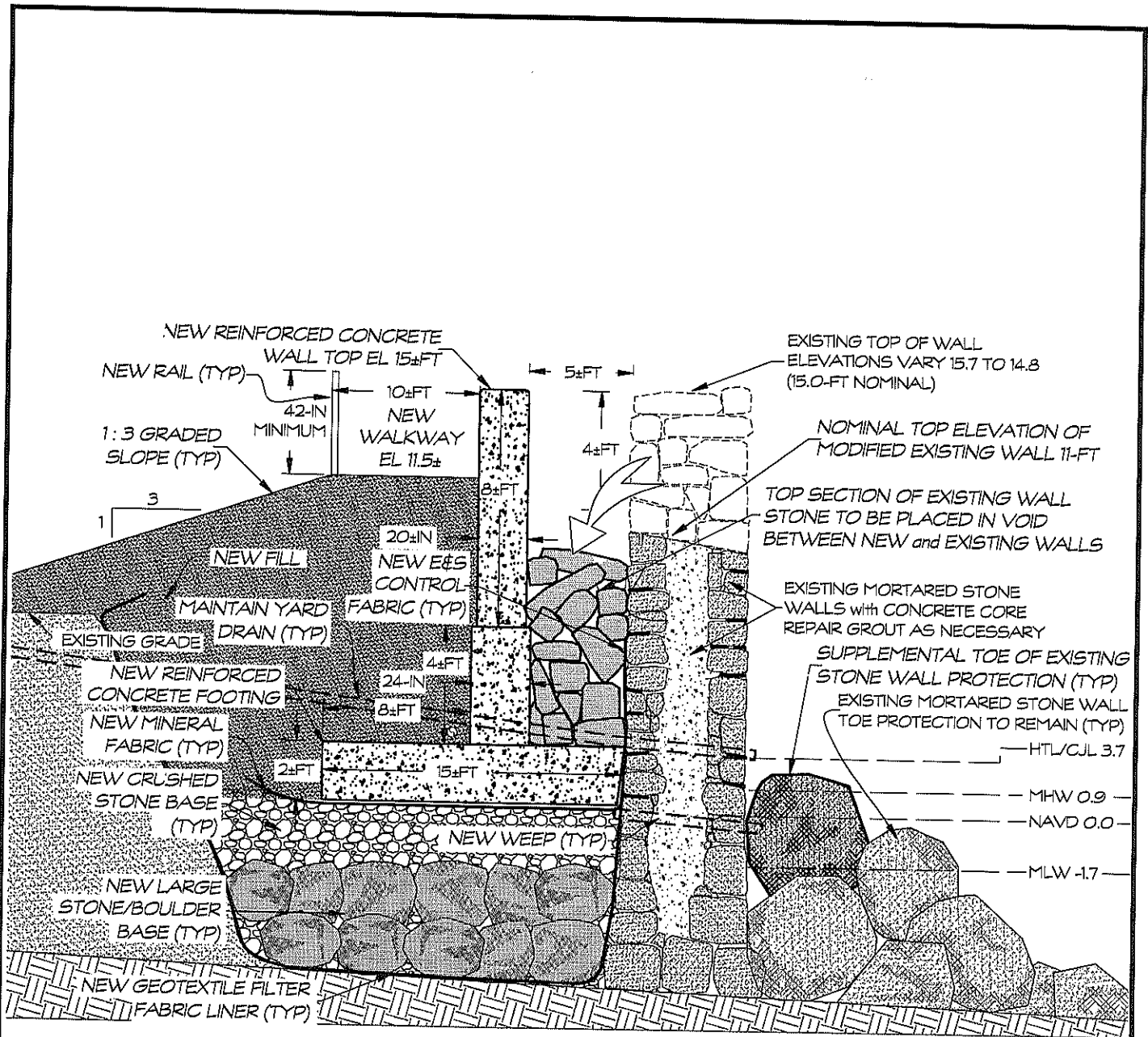
PROJECT: SHORELINE RESTORATION
 LOCATION: ENDERS ISLAND, TOWN OF STONINGTON
 NEW LONDON COUNTY, CONNECTICUT
 WATERWAY: FISHERS ISLAND SOUND
 DATE: OCTOBER 11, 2023
 APPLICANT: ST. EDMUND OF CONNECTICUT INC
 AGENT: SHEET 11 OF '6

DOCKO
 Sound Engineering Associates LLC
 Mystic, CT 06355
 860 572 8939
 EMAIL: office@docko.com

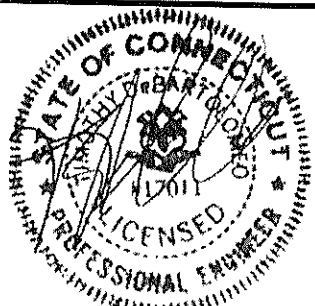
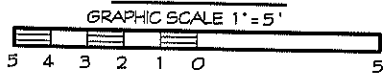


DWG 239-09-3292



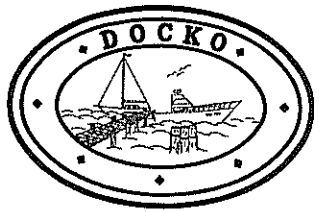


SECTION A-A
DETAIL

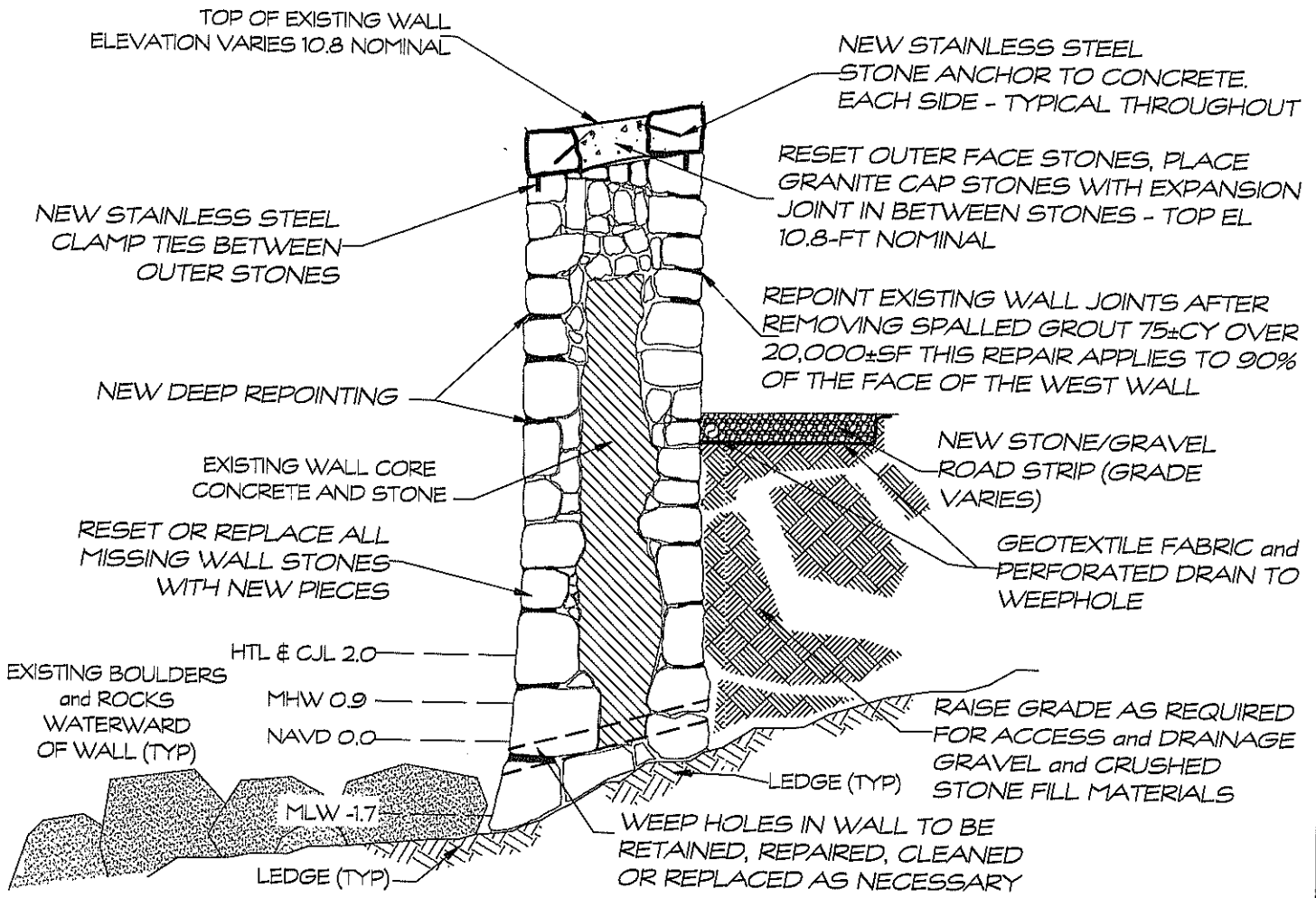


REVISED 1-4-24 DEEP
TOP OF EXISTING
WALL ELEVATIONS
REVISED 1-30-24 DEEP
WALKWAY
GRADE/ELEVATION

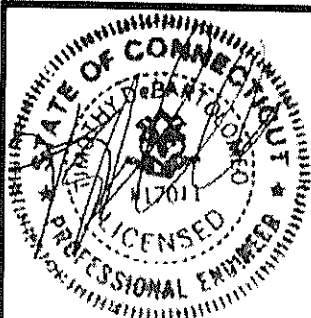
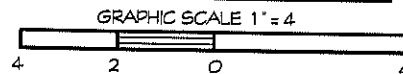
PROJECT: SHORELINE RESTORATION
 LOCATION: ENDERS ISLAND - TOWN OF STONINGTON
 NEW LONDON COUNTY, CONNECTICUT
 WATERWAY: FISHERS ISLAND SOUND
 DATE: OCTOBER 11, 2023
 APPLICANT: ST EDMUND OF CONNECTICUT INC
 AGENT: SHEET 12 OF 16
DOCKO
 Sound Engineering Associates LLC
 Mystic, CT 06355
 860 572 8939
 EMAIL: office@docko.com



DWG 23-09-3292



**SECTION B-B WALL
REPAIR DETAIL**



REVISED 1-30-24 DEEP
SCOPE OF WORK EDITS

PROJECT: SHORELINE RESTORATION
 LOCATION: ENDERS ISLAND, TOWN OF STONINGTON
 NEW LONDON COUNTY, CONNECTICUT
 WATERWAY: FISHERS ISLAND SOUND
 DATE: OCTOBER 11, 2023
 APPLICANT: ST. EDMUND OF

AGENT: SHEET 13 OF 16

DOCKO
 Sound Engineering Associates LLC
 Mystic, CT 06355
 860 572 8939
 EMAIL: office@docko.com



DWG 239-09-3292

REPLACE EXISTING TIE-OFF PILES (NOT SHOWN)

EXISTING FLOAT RESTRAINT PILE REPLACE

RESTORE LOWER LANDING DECK EL 4.7± RESET LOOSE and DISPLACED STONE, REGROUT OR REBUILD AS NECESSARY

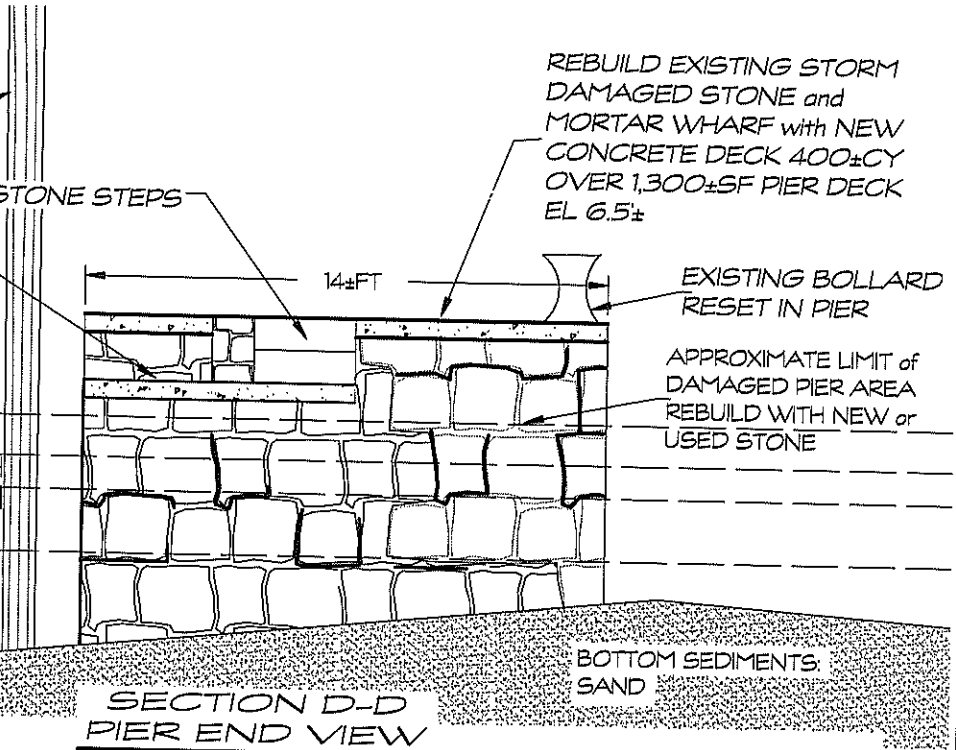
HTL/CJL 3.7

MHW 2.6

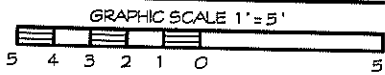
NAVD 1.7

MLW 0.0

EXISTING 7-FT WIDE X 48±LF FLOAT TO BE REPLACED



**SECTION D-D
PIER END VIEW**



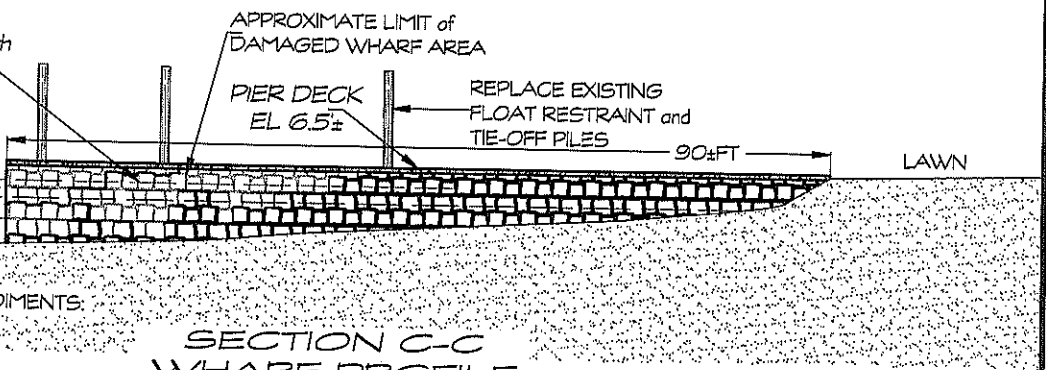
REBUILD EXISTING STONE and CONCRETE WHARF 400±CY OVER 1,300±SF with NEW CONCRETE FACE 50±CY OVER 200±SF and NEW CONCRETE DECK 50±CY OVER 1,500±SF

HTL 3.5±

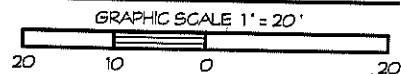
TYE 4.2±

MHW 2.3±

MLW 0.0



**SECTION C-C
WHARF PROFILE**



NOTE: MLW DATUM

REVISED 01-03-24 DEEP FLOAT DIMS

PROJECT: SHORELINE RESTORATION

LOCATION: ENDERS ISLAND, TOWN OF STONINGTON
NEW LONDON COUNTY, CONNECTICUT

WATERWAY: FISHERS ISLAND SOUND

DATE: OCTOBER 11, 2023

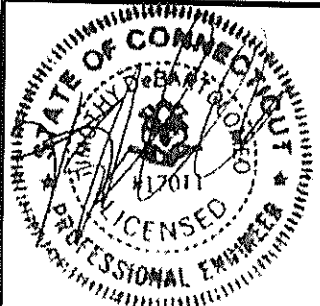
APPLICANT: ST. EDMUND OF CONNECTICUT INC

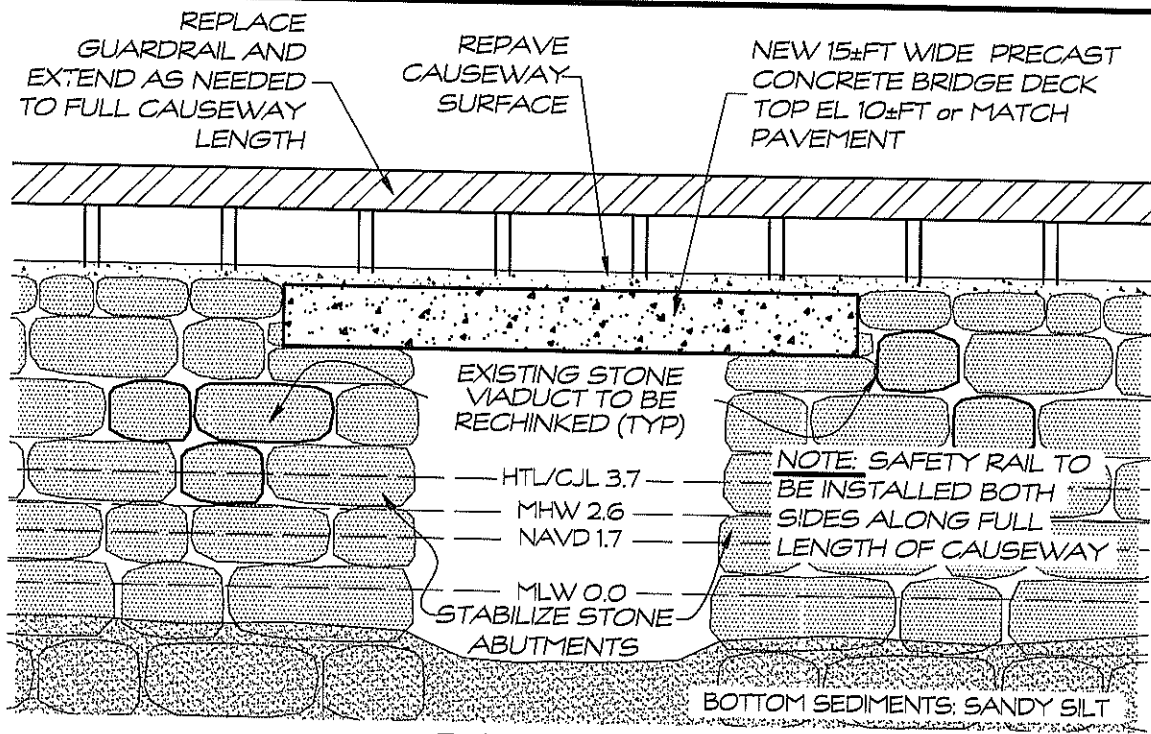
AGENT: SHEET 14 OF 16

DOCKO
Sound Engineering Associates LLC
Mystic, CT 06355
860 572 8939
EMAIL: office@docko.com



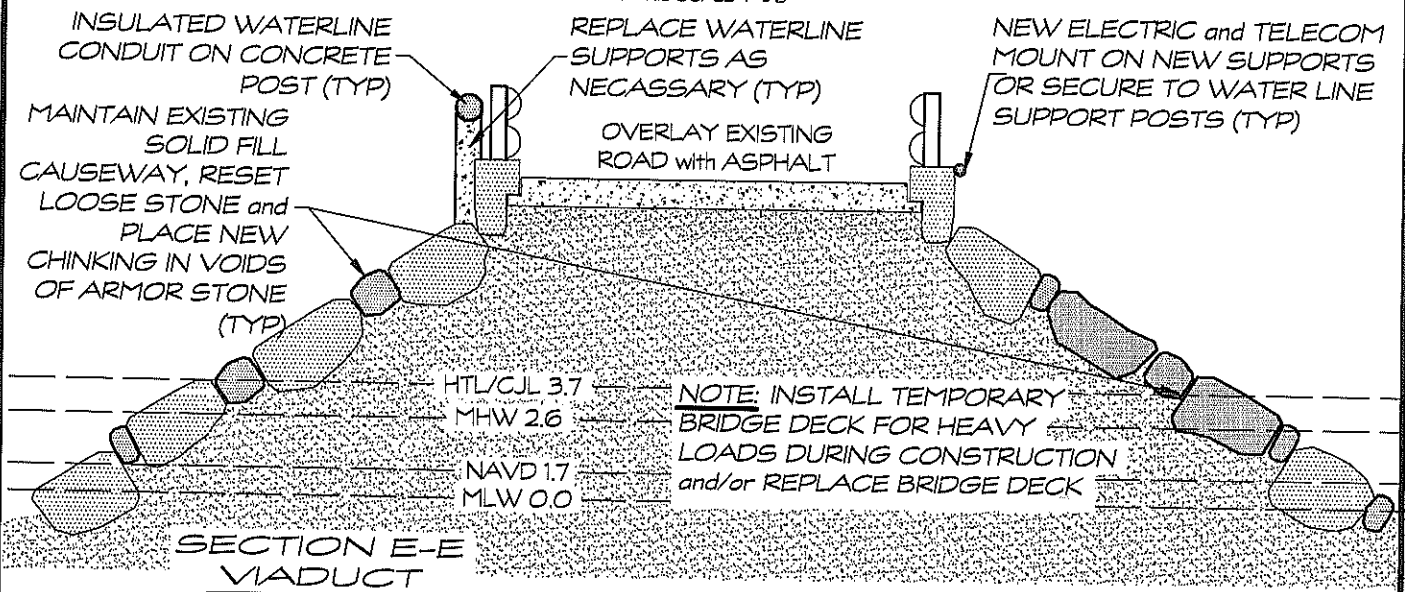
DWG 239-09-3292





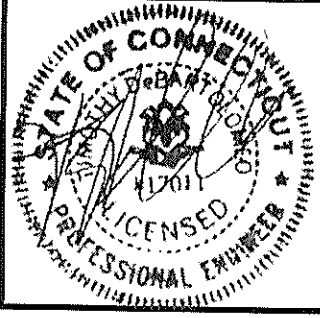
**SECTION F-F
VIADUCT BRIDGE**

GRAPHIC SCALE 1" = 6'

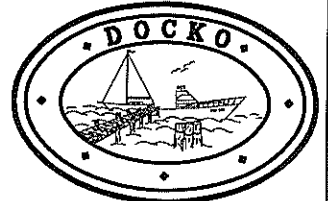


**SECTION E-E
VIADUCT**

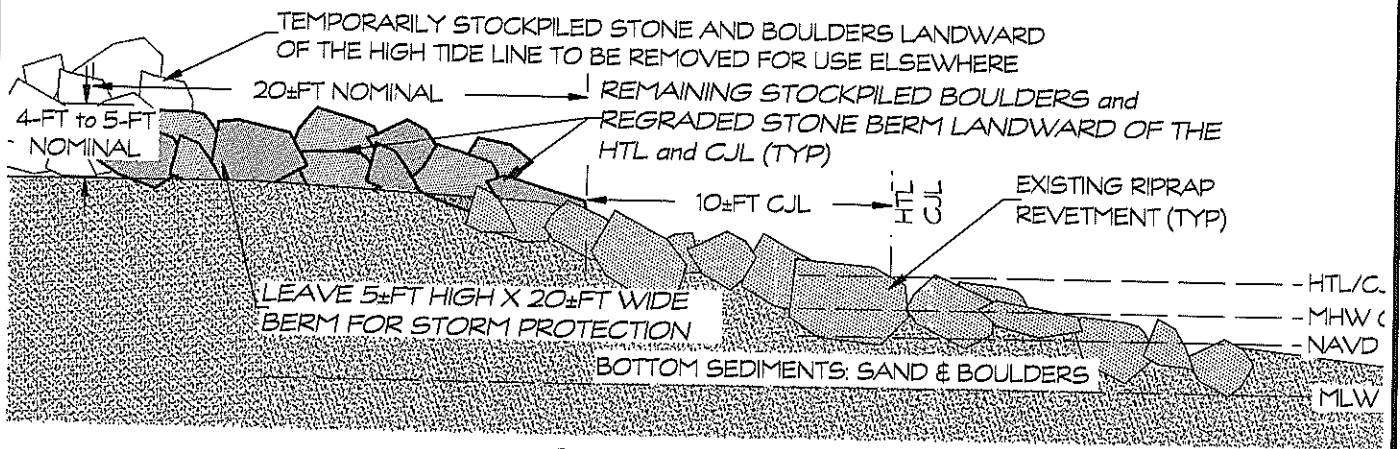
GRAPHIC SCALE 1" = 6'



PROJECT: SHORELINE RESTORATION
 LOCATION: ENDERS ISLAND, TOWN OF STONINGTON
 NEW LONDON COUNTY, CONNECTICUT
 WATERWAY: FISHERS ISLAND SOUND
 DATE: OCTOBER 11, 2023
 APPLICANT: ST. EDMUND OF CONNECTICUT INC
 AGENT: SHEET 15 OF 16
DOCKO
 Sound Engineering Associates LLC
 Mystic, CT 06355
 860 572 8939
 EMAIL: office@docko.com



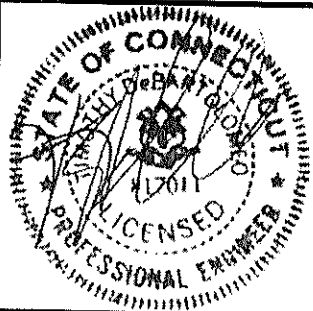
DWG 239-09-3292



**SECTION G-G
RIPRAP REVETMENT
DETAIL**



BASED ON SURVEY by:
CHERENZIA & ASSOCIATES LTD (NGVD DATUM)



REVISED 1-30-24 DEEP
STOCKPILED STONE
CALLOUT

PROJECT: SHORELINE RESTORATION
 LOCATION: ENDERS ISLAND, TOWN OF STONINGTON
 NEW LONDON COUNTY, CONNECTICUT
 WATERWAY: FISHERS ISLAND SOUND
 DATE: OCTOBER 11, 2023
 APPLICANT: ST. EDMUND OF
 CONNECTICUT INC
 AGENT: SHEET 16 OF 16

DOCKO
 Sound Engineering Associates LLC
 Mystic, CT 06355
 860 572 8939
 EMAIL: office@docko.com



DWG 239-09-3292



Town of Stonington | Department of Planning
Planning and Zoning Commission Meeting
February 6, 2024
PZ2334CAM Norwest Marine (K. Nielson)

Coastal Area Management application for the restoration of existing marine support facilities. Properties are located at 1 River Road and 7 River Road, Pawcatuck; M/B/L: 5-6-20 & 5-6-21. Properties are located in the RC-120 Zone and MC-80 Zone.

Report Prepared By: Clifton J. Iler, AICP – Town Planner

Application Status

This application requires Coastal Area Management (CAM) review pursuant to [Section 22a-109\(g\)](#) – which states that CAM applications are subject to the same timeframe requirements as Subsections (a) and (b) of Section 8-7d for the purpose of determining the time limitations for a zoning commission to reach a final decision. The Commission can elect to conduct a public hearing if desired, although [C.G.S. Section 8-7d\(b\)](#) places a 65-day limit on the timeframe to review and act on a Site Plan or CAM application whether or not a public hearing is held.

- Official Date of Receipt for this application was 12/19/23.
- Tonight's meeting is **Day 49** of 65 total days to decide on the application.
- A decision, without extension, must be made by 2/22/24.

The applicant may consent to one or more extensions provided the total period of any such extension or extensions shall not exceed 65 days.

Purpose

This application is for the restoration of existing marine support facilities at 1 River Road and 7 River Road. The application set includes a detailed description of the project overview.

The proposed activity at 1 River Road includes:

- Oversheet 105 LF of existing bulkhead with 105 LF of new wood pile and limber bulkhead
- Replace 20+/-CY of gravel backfill lost to erosion over 200+/-SF and replace existing floating docks with a new 8x20 FT ramp landing float, a new 8x45 LF main float two 4x20LF fingers and a 5x20 LF finger with a hinged ramp to shore and 450 SF deck landing with ramps to grade of which 200+/- SF is waterward of the CT Coastal Jurisdiction line.

The proposed activity at 7 River Road includes:

- Remove and replace 437+/-LF of wood floating dock with 445+/-LF of wood floating docks with wood float restraint piles and new utilities
- Construct a 100 SF wood pile supported access platform and two hinged ramps.
- Remove two pile supported straddle hoist lift piers and replace them with new 65 LF straddle lift piers, one pile mounted, and one bulkhead mounted

- Oversheet an existing 340+/-LF wood pile and timber bulkhead and 145+/-LF of concrete/stone wall, with new 487+/-LF steel sheet pile bulkhead including returns at each end all at or within 18 inches face to face of the existing wood bulkhead face and with a new cap and pedestrian rail.
- Install new ladders and new utilities at and waterward of the HTL and CJL
- Cut out of the yard facilities a 150+/-LF concrete boat launch ramp lined with steel sheet pile walls, all at and landward of the high tide line and coastal jurisdiction line
- Reconstruct 240+/-LF of damaged, dry-stacked rubble wall with large cut stone or interlocking concrete blocks in the same line 350+/-CY over 1,000+/-sf, all at and landward of the high tide line and Coastal Jurisdiction line plus 20+/-LF of temporary ramp sheet piling for dewatering, waterward of the HTL and CJL, remove 1000+/-CY of gravel to be spread over the yard or removed from the site.

Zoning and Context

This application includes two parcels in different zoning districts. The parcel at 1 River Road (RC-120) is a legally nonconforming lot with no proposed building or landscaping changes.

RC-120 Zone Bulk and Use Requirements (1 River Road)

| | <u>Required</u> | <u>Provided</u> | | <u>Required</u> | <u>Provided</u> |
|------------------|-----------------|-----------------|-------------------|-----------------|---------------------|
| Lot Size | 120,000 SF | 4,384 SF | Building Height | 25' | 15' |
| Frontage | 300' | ±109' | Floor Area Ratio | 0.04 | ±0.11 |
| Setbacks (F/S/R) | 75'/75'/100' | 2'/2'/0' | Parking | N/A | N/A |
| Res. Buffer | N/A | N/A | Non-Infring. Area | 100' | Exempt ¹ |

The parcel at 7 River Road (MC-80) conforms to the bulk and use requirements of the Zoning Regulations for the MC-80 Zone.

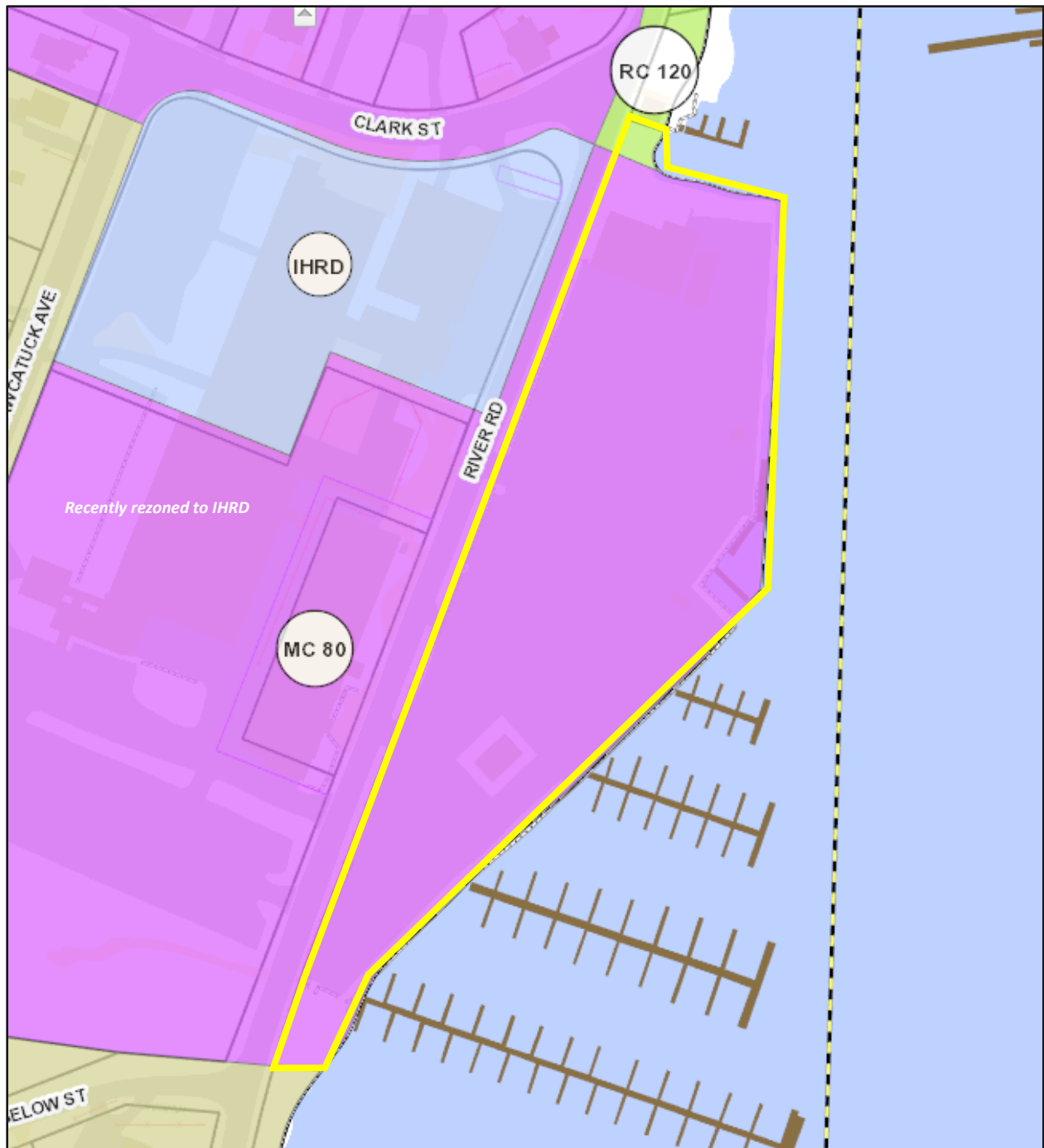
MC-80 Zone Bulk and Use Requirements (7 River Road)

| | <u>Required</u> | <u>Provided</u> | | <u>Required</u> | <u>Provided</u> |
|------------------|---------------------|-----------------|-------------------|-----------------|-----------------|
| Lot Size | 80,000 SF | ±165,000 SF | Building Height | 20' | 20' |
| Frontage | 150' | ±753' | Floor Area Ratio | 0.25 | 0.005 |
| Setbacks (F/S/R) | 50'/25'/50' | 2'/2'/0' | Parking | N/A | N/A |
| Res. Buffer | Varies ² | N/A | Non-Infring. Area | N/A | N/A |

¹ See Section 7.3.1 of the Zoning Regulations.

² See Section 8.7.1 of the Zoning Regulations.

ZONING MAP



North: IHRD/MC-80/RC-120 Zones
[Use: Residential]

South: RA-15 Zone [Use: Residential]

East: Pawcatuck River [Town of Westerly]

West: IHRD/MC-80 Zones
[Use: Water-Dependent Uses]

Site Access and Traffic

The site is accessed from River Road. There are no expected traffic impacts with this development.

Environmental Elements

This property falls within the Coastal Area Management Overlay District (CAMOD) and is within 100 FT of designated coastal resources and therefore subject to CAM review. The site abuts the Pawcatuck River to the east and falls within the Flood Hazard Overlay District (FHOD) (Zone AE). This application received a Certificate of Permission (COP) from CT DEEP and is included with the Response Summary.

There are not any regulated freshwater inland wetlands within the parcel boundaries. There are no known tidal wetlands within 100 FT of the parcel.

Utilities

The site is currently served by public water and sewer.

Waivers Requested

No waivers are requested with this application.

Response Summary

The application was routed to the following agencies/agents of the Town. Responses are shown below:

BUILDING OFFICIAL – No comment.

HARBOR MANAGEMENT (PAWCATUCK) – Awaiting comment.

TOWN ENGINEER – Comments below. [Dated: 1/4/24]

I have reviewed the above referenced application and plan entitled "*Marine Modifications Pawcatuck River July 19th, 2023, Property of NWM Property Group LLC., 7 River Road – Pawcatuck, CT.*" by DOCKO – Keith Neilson, P.E., and offer the following comments:

1. The future site plan should reference the appropriate Survey: Type, Boundary: Determination to include class of accuracy and CT Survey Statute as performed by the CT. Licensed Surveyor of record. Additionally, provide note that any property corners damaged and/or removed to be reset by a CT. Licensed Land Surveyor.
2. Site plan to incorporate appropriate E&S (BMP's) to mitigate stormwater run-off from excavated (river) material. In accordance with the application narrative, provide a dewatering detail to facilitate a continuous dewatering operation complete with plunge pool lined with geotextile filter fabric to contain the fines and reduce turbidity. Add an anti-tracking pad as may be required. All BMPs should be located on the plan, (complete with detail) to include a maintenance table prescribing the scheduled guidance for repair, maintenance or replacement. BMPs recommended in design should conform with the 2002 Connecticut. Soil & Erosion Control Manual.
3. Include the TOS stormwater drainage system, specifically the outfall located in the general vicinity of the "stonewall construction" area. Any improvements within the Town of Stonington R.O.W.

shall require an excavation permit via the Department of Public Works in advance of proposed activities.

4. Map Annotation Sheet 1 – 3: Provide label for the Street, Address on buildings, remove errant “arrows” and “section” delineators, also move the “FEMA ZONE Floodway AE EL 11 FEET” to within the floodway area. Clearly delineate the limits of the FEMA ZONES. Additionally, Sheet 3, verify the “scale bar” reference.
5. Detail Section “C-C’ for the stone wall repair indicates a fill elevation of 8 feet, therefore update grading plan (contours) to depict the limit and/or extent of fill\grading.

In review of the aforementioned application and plan, I recommend action be taken by the commission with the stipulation that the comments be accomplished to the satisfaction\approval of the Town Engineer prior to construction activity commencing.

FLOODPLAIN MANAGER (SLR INTERNATIONAL) – See attached memorandum.

WATER POLLUTION CONTROL AUTHORITY (WPCA) – The WPCA has no comment regarding the above referenced P&Z application as this project has no effect on the sanitary sewerage system. [Dated: 1/2/24]

ZONING ENFORCEMENT OFFICER – The “garage” at 1 River Rd., has been a subject of complaints in the past due to illegal conversion to living quarters. Merging the use of #1 River Rd with the marina seems like highest and best use of the property. [Dated: 1/4/24]

FIRE DISTRICT MARSHAL (PAWCATUCK) – The Pawcatuck Fire District has no comments on the above application. We have reviewed the project with the owners on site. [Dated: 12/29/23]

CT DEEP LAND & WATER RESOURCES DIVISION, REGULATORY – EAST REGION– See attached memorandum.

TOWN OF WESTERLY – Westerly Planning/Zoning has no concerns with proposed redevelopment. [Dated: 1/9/24]

Town Planner Comments

The Town Planner offers the following comments on the application:

1. The bulk requirements for the RC-120 Zone are incorrectly labeled on Sheet 1.
2. As noted by the Zoning Enforcement Officer, the property at 1 River Road (RC-120 Zone) is a legally nonconforming lot that has been subject to numerous complaints and violations over the use of the “garage” structure as a residence. As of the date of this report, there are no open violations on the property and the illegal use within the “garage” has been abandoned. This application proposes no change to the structure and will remain a legal nonconformity if approved.

There are no additional questions or concerns with the proposed application.

Recommended Stipulations

Should the Commission decide to approve this application, the Department of Planning recommends the following stipulations of approval:

1. The applicant shall address the outstanding comments to the satisfaction of the Town Engineer and Town Planner.

2. Final plans shall be reviewed to the satisfaction of the Town Engineer.
3. Prior to the issuance of a Zoning Permit, the final plans shall be signed by the Commission and recorded in the Town's Land Evidence Records.
4. Modifications to the site development plans, if necessitated by CTDEEP or USACE, shall be reviewed and approved by Town staff and the Commission, as necessary.

Commission Action Required

The Commission is required to make a determination on the following items:

- A decision on the Coastal Area Management (CAM) application

Section 9.2.8 – The Commission may approve, deny, or modify with conditions any project within the CAM boundary. In addition, the Commission may require additional erosion and sediment control measures, measures to mitigate any adverse impacts, pedestrian access easements, visual access easements, and conservation easements, and may require a design review in accordance with Section 17.1 of these regulations if the project is proposed for an area which has been designated as a viewshed or resource area in the Plan of Conservation and Development.

Memorandum



To: Clifton Iler, Candace Palmer
From: Noah Slovin, AICP, CFM
Date: January 5, 2024
Subject: PZ2334 Norwest Marine at 1 and 7 River Road in Pawcatuck

Materials submitted on December 8, 2023 by DOCKO for Norwest Marine were reviewed in January 2024 at the request of the Town of Stonington.

Overview

The application is to remove, replace, and otherwise restore existing boating support facilities at the Norwest Marine marina. Specific project components are:

- Remove and replace wood floating docks with wood float restraint piles and new utilities
- Construct a wood pile-supported access platform with two hinged ramps
- Replace two pile supported straddle hoist lift piers with two new lift piers: one pile-mounted and one bulkhead-mounted. Oversheet an existing wood pile and timber bulkhead and concrete/stone wall with a new steel sheet pile bulkhead, including returns at each end, with a new cap and pedestrian rail
- Install new ladders and utilities
- Cut a new concrete boat launch ramp lined with steel sheet pile walls
- Reconstruct a damaged, dry-stacked rubble wall with large cut stone or interlocking concrete blocks
- Replace gravel backfill lost to erosion
- Replace some floating docks with a new floating ramps and docks, as well as a deck landing

The project area is located entirely within FEMA Special Flood Hazard Areas (SFHA; areas with a 1% annual-chance of flooding, regulated by FEMA and local floodplain management regulations). Much of the work will take place within the Pawcatuck River Floodway with a Base Flood Elevation (BFE) of 11 feet, NAVD88. Other work will take place inland, within an AE zone with a BFE of 11 feet, NAVD88. Stonington regulations note that a Floodway "is an extremely hazardous area due to the velocity of projectiles and has erosion potential" (Section 7.7.8.2.4).

As a marina, Norwest Marine is considered a "functionally dependent use."

Findings

As work is being performed within the Floodway, the project must conform with Stonington Zoning Regulations Section 7.7.8.2.4, which states that, within a Floodway, the Town must:



Prohibit encroachments, including fill, new construction, substantial improvements, and other development unless certification (with supporting technical data) by a Connecticut registered professional engineer is provided demonstrating through hydrologic and hydraulic analysis performed in accordance with standard engineering practice that encroachments shall not result in any increase in flood levels during occurrence of the base flood discharge.

The materials provided for review did not contain enough information for me to verify that no increase in flood levels will be caused.

The floating docks proposed may fall within the category of "Seasonal Marina Structures." According to Zoning Regulations Section 7.18.5, "Seasonal Marina Structures shall not generally be subject to the Flood Hazard Regulations of Section 7.7, provided however, they meet the intent of Section 7.7.8.1..." The proposer should clarify whether these are seasonal or not. If they are permanent structures, the proposer will need to consider them when certifying that their presence will not result in any increase in flood levels.

Note: Section 7.7.9.1.2 allows floodplain management regulation variances to be issued to Functionally Dependent Uses such as marinas; however, this does not apply to Functionally Dependent Uses within a Floodway if any increase in flood levels during the base flood discharge would result (Section 7.7.9.2).

Additionally, all proposed construction must be certified as having appropriate anchoring, and all utilities must be elevated above the BFE.

Recommendations

Insufficient materials have been provided to determine whether the proposed project aligns with FEMA and local floodplain regulations. While the descriptive information provided indicates that the project likely will be permissible, specific details required include:

1. Certification and supporting data showing that the proposed project will not result in any increase in flood levels during the base flood discharge.
2. Clarification as to whether the proposed project includes "Seasonal Marine Structures."
3. Verification that new utilities will be elevated above the BFE

Specific project components that may include fill and could alter flood levels include:

- Construction of a new bulkhead-mounted lift pier
- Oversheeting an existing bulkhead and wall with a new steel sheet pile bulkhead
- Cutting a new concrete boat launch
- Reconstruction of a damaged wall
- Replacing gravel backfill
- Constructing a deck landing



Because the proposed project is within a Floodway, all work must conform to the Floodway regulations even if the project is not a Substantial Improvement.

Conclusions

Based on a review of the application provided, additional information and clarifications are needed before the proposed project can be permitted from a floodplain management perspective.

Please contact me with any questions.

Noah Slovin AICP, CFM
Senior Resilience Planner

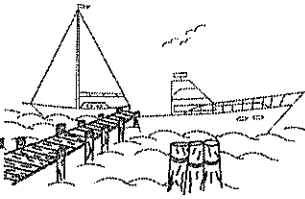
O [617-865-2544](tel:617-865-2544)

E nslovin@slrconsulting.com

SLR International Corporation
10 High Street, Suite 605, Boston MA United States 02110

The above permit application review was conducted in good faith using available information and the consultant's best interpretation of local, state, and federal floodplain management codes and guidelines.





DOCKO A SOUND ENGINEERING ASSOCIATES COMPANY

PO Box 421, MYSTIC, CT 06355 (860) 572-8939 EMAIL: office@docko.com

February 2, 2024

Christopher Greenlaw, PE
Town Engineer
Town of Stonington
52 Elm St.
Stonington CT 06378

Re: Norwest Marine

Dear Mr. Greenlaw,

Following up on our conversation today we have responded to we offer this response to the SLR memorandum dated January 5, 2024 for the Norwest marina, Pawcatuck project in Pawcatuck.

The first comment references the floodway and the necessity of addressing any flood impacts in the Pawcatuck River by the project. We have reviewed the background Flood study for the Pawcatuck River and provide, herewith, a couple of exhibits to help to clarify and defend our position that that the proposed development will not adversely affect flooding characteristics in the river or create new flood impacts on adjacent properties. These exhibits are attached for your reference and should be considered as supporting data for our determination.

First of all, the extent of encroachment of this project into the river is approximately 18 inches of new bulkheading in an area where the water depth is as little as 5 feet in existing conditions. This means that the area of encroachment is approximately 7 1/2 ft.² at a point where the river width is approximately 280 feet and cross-sectional area is estimated to be approximately 1400 ft.² This encroachment is approximately 1/2 of one percent of the river's cross sectional area. In addition, we researched the flood information study that goes into creating the Flood Information Rate Map (FIRM) and attach them for your reference. Both of these documents show that there is a flat flood profile at this section of the river. When comparing this to the flood profiles published by NOAA for coastal waters, they are consistent and indicate that the flooding characteristics are driven by coastal tides in the river at this site, not upland watershed influences. The flow way north and south of this site is more constructed then this site which is why the flood level data and curves are flat across in front of this site. Also, the watershed flooding into the river is not very large. This is more accurately considered a tidal river with documented brackish water flora. Therefore, this site does not exhibit characteristics of a floodway. This aspect of the project has also been previously reviewed during the DEP permitting process and they found no objection to the encroachment.

The project does include seasonal marine structures and uses. Clearly the boats utilizing this site will be stored upland in the winter and will have no impact on flooding characteristics during that public storage duration. There will be little to no impediment to flowing waters offered by the floating docks or restraint piles.

No new electrical utilities are planned, but we will add a note to the drawings that any new utilities will be elevated above the BFE, Base Flood Elevation. We have added additional notes and callouts to specifically identify the flood zone depiction lines on the site plan as they are shown on FEMA's FIRM.

I trust that you will find this supplemental discussion, the attached exhibit, and the modifications to the site plan for Northwest Marine responsive to the concerns offered by SLR. If you would like to discuss any of this in greater detail please let me know and I will make myself available to suit your convenience.

Very Truly Yours,
Docko

A handwritten signature in blue ink that reads "Keith Neilson". The signature is fluid and cursive, with a long horizontal stroke at the end.

Keith Neilson, P.E.

KBN:cl

Attachments

CC: Ms. Candy Palmer, Zoning Official

Mr. Clifton Iler, Town Planner

Mr. James Marsh, Owner

File: NORWEST MARINE

National Flood Hazard Layer FIRMette

71°50'39"W 41°21'57"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone A, V, A99
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- NO SCREEN Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone I

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

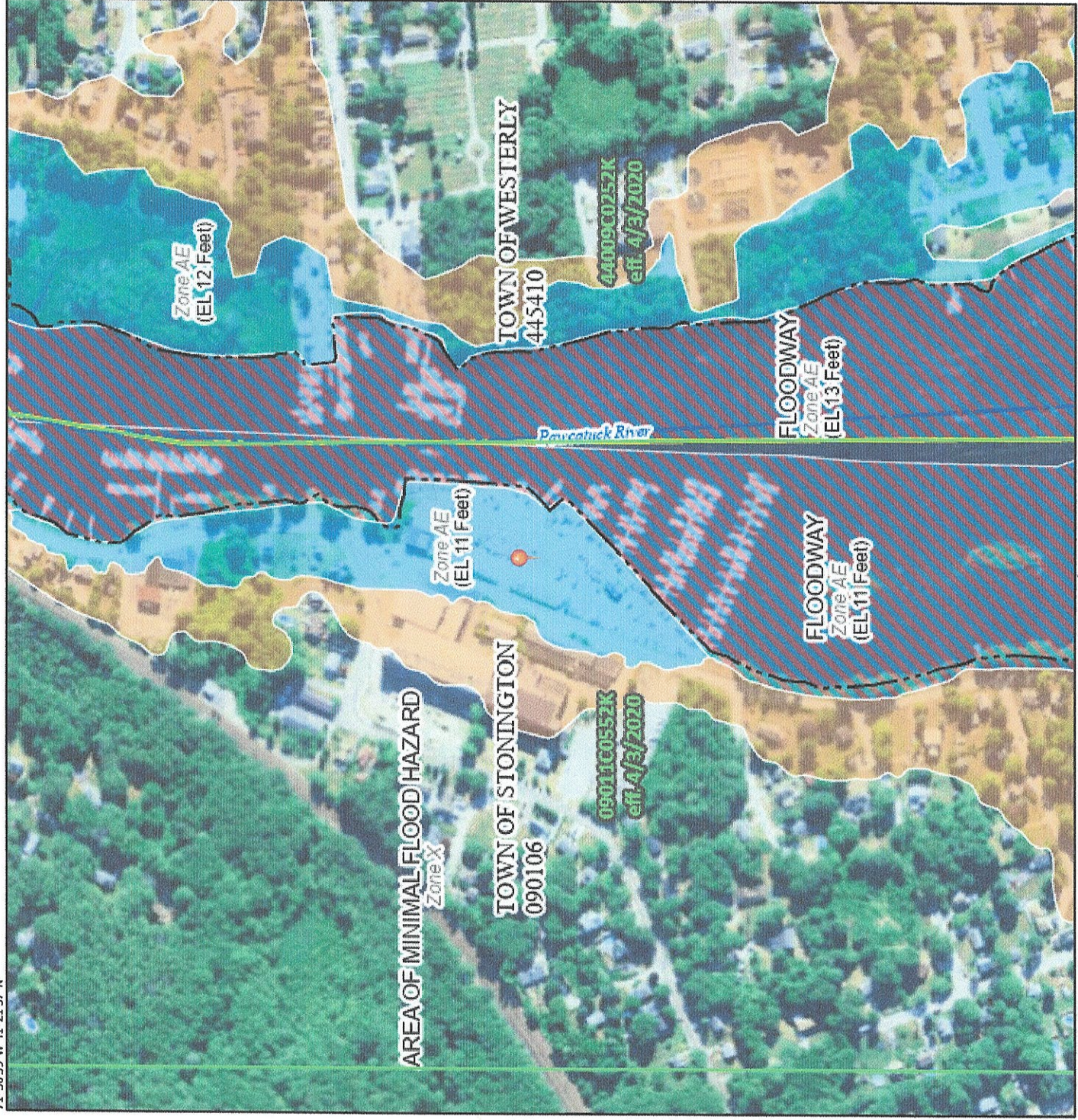


The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 1/31/2024 at 3:10 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



| LOCATION | | FLOODWAY | | | | 1% ANNUAL CHANCE FLOOD WATER SURFACE ELEVATION (FEET NAVD88) | | | |
|---------------|-----------------------|------------------------|-------------------------|--------------------------|------------|--|---------------|----------|--|
| CROSS SECTION | DISTANCE ¹ | WIDTH (FEET) | SECTION AREA (SQ. FEET) | MEAN VELOCITY (FEET/SEC) | REGULATORY | WITHOUT FLOODWAY | WITH FLOODWAY | INCREASE | |
| A | 134 | 939 / 416 ² | 5,456 | 1.4 | 9.9 | 1.5 ³ | 1.5 | 0.0 | |
| B | 5,221 | 359 / 206 ² | 2,564 | 2.9 | 9.9 | 2.3 ³ | 2.3 | 0.0 | |
| C | 6,585 | 161 / 119 ² | 1,833 | 4.1 | 9.9 | 2.7 ³ | 2.7 | 0.0 | |
| D | 8,211 | 118 / 99 ² | 1,149 | 6.5 | 9.9 | 3.5 ³ | 3.5 | 0.0 | |
| E | 8,952 | 133 / 81 ² | 1,392 | 5.4 | 9.9 | 4.4 ³ | 4.4 | 0.0 | |
| F | 9,370 | 103 / 38 ² | 1,221 | 6.1 | 9.9 | 5.4 ³ | 5.4 | 0.0 | |
| G | 9,872 | 109 / 69 ² | 919 | 8.1 | 9.9 | 5.8 ³ | 5.8 | 0.0 | |
| H | 10,322 | 214 / 111 ² | 1,512 | 4.9 | 9.9 | 7.8 ³ | 7.8 | 0.0 | |
| I | 10,682 | 347 / 219 ² | 2,296 | 3.3 | 9.9 | 8.3 ³ | 8.3 | 0.0 | |
| J | 11,437 | 212 / 131 ² | 1,329 | 5.6 | 9.9 | 8.9 ³ | 8.9 | 0.0 | |
| K | 12,191 | 149 / 91 ² | 1,060 | 7.1 | 10.7 | 10.7 | 10.8 | 0.1 | |
| L | 12,331 | 135 / 85 ² | 1,282 | 5.8 | 12.4 | 12.4 | 12.4 | 0.0 | |
| M | 12,911 | 223 / 188 ² | 1,883 | 4.0 | 13.3 | 13.3 | 13.3 | 0.0 | |
| N | 13,779 | 219 / 147 ² | 2,046 | 3.7 | 14.0 | 14.0 | 14.0 | 0.0 | |
| O | 14,390 | 281 / 99 ² | 2,494 | 3.0 | 14.3 | 14.3 | 14.3 | 0.0 | |
| P | 15,483 | 170 / 91 ² | 1,603 | 4.7 | 14.8 | 14.8 | 14.8 | 0.0 | |
| Q | 16,020 | 175 / 97 ² | 1,619 | 4.6 | 15.0 | 15.0 | 15.2 | 0.2 | |
| R | 16,241 | 175 / 103 ² | 1,683 | 4.4 | 15.1 | 15.1 | 15.5 | 0.4 | |
| S | 16,639 | 175 / 109 ² | 1,758 | 4.3 | 16.8 | 16.8 | 16.9 | 0.1 | |
| T | 17,045 | 230 / 110 ² | 1,593 | 4.7 | 16.9 | 16.9 | 17.1 | 0.2 | |
| U | 17,460 | 266 / 84 ² | 2,558 | 2.9 | 17.2 | 17.2 | 17.9 | 0.7 | |
| V | 18,148 | 240 / 141 ² | 2,070 | 3.6 | 17.8 | 17.8 | 18.4 | 0.6 | |
| W | 18,424 | 200 / 90 ² | 1,747 | 4.3 | 18.0 | 18.0 | 18.6 | 0.6 | |
| X | 19,183 | 200 / 136 ² | 1,639 | 4.6 | 18.6 | 18.6 | 19.4 | 0.8 | |

¹Feet above Gayitt Point

²Total floodway width / width within New London County

³Elevation computed without consideration of backwater effects from Little Narragansett Bay

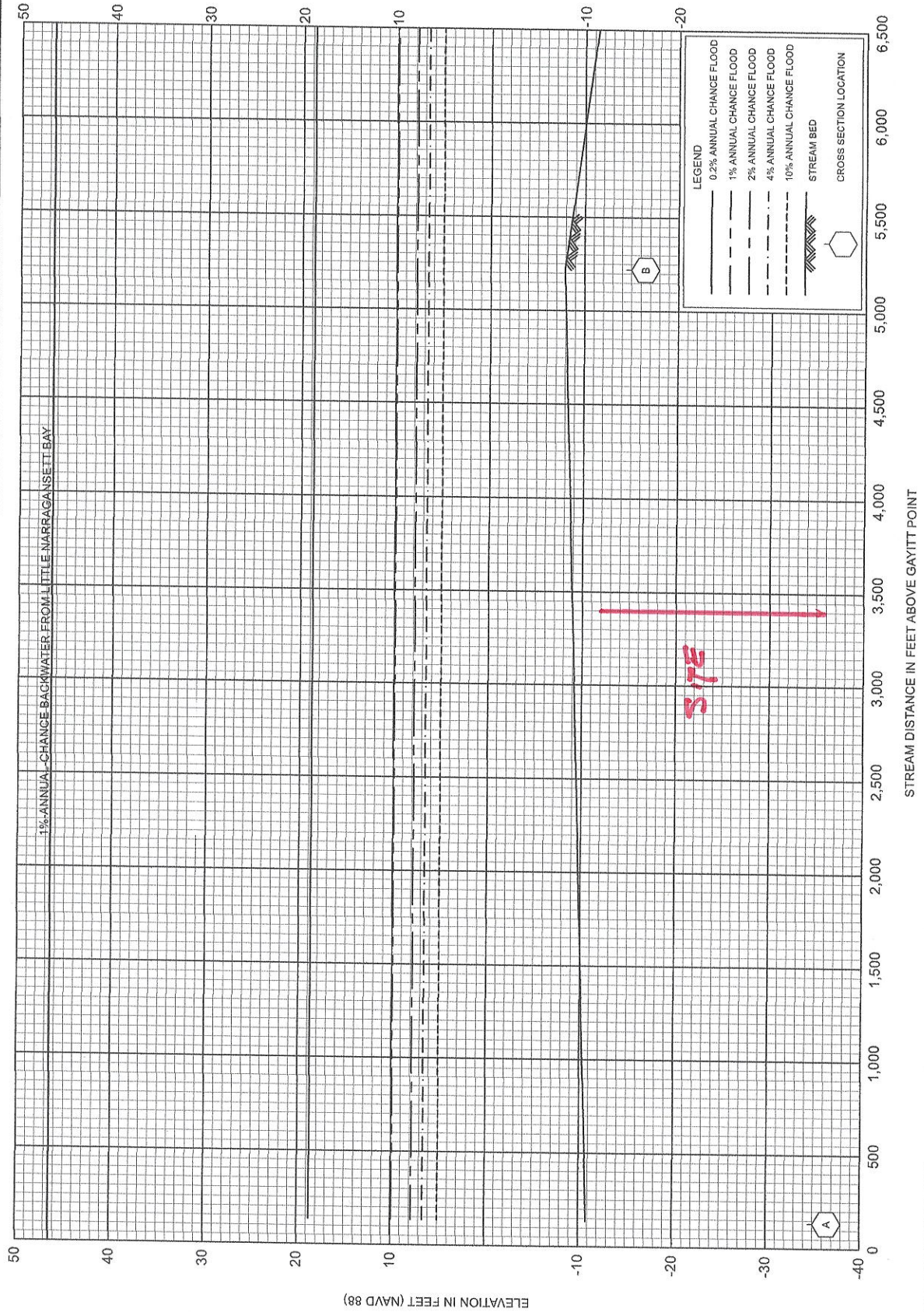
FEDERAL EMERGENCY MANAGEMENT AGENCY

NEW LONDON COUNTY, CONNECTICUT
(ALL JURISDICTIONS)

FLOODWAY DATA

FLOODING SOURCE: PAWCATUCK RIVER

TABLE 23



ELEVATION IN FEET (NAVD 88)

STREAM DISTANCE IN FEET ABOVE GAYITT POINT

1%-ANNUAL-CHANCE BACKWATER FROM TITLE NARRAGANSETT BAY



Norwest Marine Inc.
C/o James Marsh
7 River Road, Pawcatuck

SUBJECT: 202304998-COP
7 River Road, Stonington (Pawcatuck)

Dear Mr. Marsh:

Please find attached a copy of your subject license and relevant enclosures which are being issued pursuant to your application of September 12, 2023. Your attention is directed to the conditions of the license. All work must conform to that which is specifically authorized.

Any work in regulated areas of the State which has not been authorized by a valid license is a violation of state law and subject to enforcement action by the Department of Energy & Environmental Protection and the Office of the Attorney General.

Your initiation of authorized activities will be relied upon as your agreement to comply with the terms and conditions of the license.

If you have not already done so, you should contact your local Planning and Zoning Office and the U. S. Army Corps of Engineers to determine local and federal permit requirements on your project, if any. Write the Corps' New England District, Regulatory Branch, 696 Virginia Road, Concord, MA 01742-2751; <http://www.nae.usace.army.mil/> or call 1-800-343-4789.

If you should have any questions or concerns, please contact Eimy Quispe, 860-424-4182, Eimy.Quispe@ct.gov.

Sincerely,

Eimy Quispe, Analyst
Land & Water Resources Division
Bureau of Water Protection & Land Reuse

Encl(s): License



Connecticut Department of Energy and Environmental Protection License*

Certificate of Permission

Licensee(s): Norwest Marine, Inc.
c/o James Marsh

Licensee Address(s): 7 River Road
Pawcatuck, CT 06378

License Number(s): 202304998-COP

Municipality: Stonington

Project Description: Retention of structures, oversheeting of existing bulkhead, maintenance of existing docks, and related activities for marine commercial use

Project Address/Location: 1 River Road & 7 River Road
Pawcatuck, CT

Waters: Pawcatuck River

Authorizing CT Statute(s) and/or Federal Law: CGS Section 22a-359 to 363g; CGS Section 22a-90 to 112

Applicable Regulations of CT State Agencies: 22a-426-1 to 9

Agency Contact: Land & Water Resources Division,
Bureau of Water Protection & Land Reuse, 860-424-3019

License Expiration: Five (5) years from the date of issuance of this license.

*Connecticut's Uniform Administrative Procedure Act defines License to include, "the whole or part of any agency permit, certificate, approval, registration, charter or similar form of permission required by law . . ."

Project Site Plan Set: *Marina Modifications, 12 sheets prepared by Timothy DeBartolomeo P.E., Docko Sound Engineering Associates, LLC, dated May 15, 2023 with sheets 2, 6, 8, and 10 out of 12 revised November 17, 2023; sheets 1, 9, and 12 out of 12 revised November 21, 2023; sheet 11 out of 12 revised December 4, 2023; and sheets 3, 4, 5, and 7 out of 12 revised December 7, 2023.*

License Enclosures: LWRD Compliance Certification Form; Land Record Filing; LWRD General Conditions; Site Plan Set; LWRD Work Commencement Form

Authorized Activities:

The Licensee is hereby authorized to conduct the following work as described in application # 202304998 and as depicted on any site plan sheets / sets cited herein:

1. 1 River Road:

- a. Retain the following pre-1995 existing structures for marine/commercial use as shown on site plan sheet 8 of 12:
 - i. approximately 85' long by 4' high timber bulkhead extending from the deck north along the shoreline,
 - ii. approximately 400 SF timber deck of which approximately 20' by 10' (200 SF) is located waterward of the coastal jurisdiction line (CJL),
 - iii. approximately 4' wide by 11' long timber ramp affixed to the deck and extending waterward to a landing float,
 - iv. two (2) floats connected end-to-end and installed perpendicular to the shoreline consisting of an approximately 6' wide by 20' long landing float and an approximately 4' wide by 45' long main float,
 - v. approximately 5' wide by 20' long landward finger float extending south from the landing float,
 - vi. approximately 4' wide by 21' long mid-finger float extending north from the main float,
 - vii. approximately 4' wide by 19' long waterward finger float extending north from the main float.

- b. Replace the structures described above in item 1.a. as follows:
 - i. over sheet 85 LF of an existing timber bulkhead with wood or steel and construct 44 LF of new sheet pile bulkhead consisting of returns on the northern and southern ends of the existing timber bulkhead with a new top elevation of +3.6' NAVD88 and no more than 18" waterward of the existing timber bulkhead face as shown on site plan sheets 10 and 11 of 12:
 1. install new bulkhead brace/fender piles and new continuous bulkhead wales,
 2. backfill 100 CY over 550 SF to a top elevation of +2.6' NAVD88 on the landward side of the new bulkhead,

- ii. construct a new approximately 450 SF timber deck of which approximately 200 SF is located waterward of the CJL as shown on site plan sheets 10 and 12 of 12:
 - 1. construct to grade two (2) 5' wide by 8' long ADA compliant ramps and two (2) landing decks approximately 5' wide by 6' long with rails,
 - iii. install new floats and float restraint piles as shown on site plan sheets 9, 10, and 12 of 12:
 - 1. install a new 3.5' wide by 20' long hinged ramp to a landing float,
 - 2. install a new 8' wide by 20' long landing float located perpendicular to the shoreline,
 - 3. install a new 8' wide by 45' long main float located perpendicular to the shoreline and connected end-to-end to the landing float,
 - 4. install a new 5' wide by 20' long landward finger float extending south from the landing float,
 - 5. install two (2) new 4' wide by 20' long finger floats extending north from the main float,
 - c. Split and relocate a boulder shown on sheet 12 of 12 to a location of similar approximate depth in the general project area.
2. 7 River Road:
- a. Retain the southernmost 195 LF of the existing concrete bulkhead with an approximate top of wall elevation of +5.8' NAVD88 as shown on site plan sheet 4 of 12,
 - b. Install approximately 480 LF of new steel sheet pile bulkhead:
 - i. over sheet an existing approximately 335 LF wood pile and timber bulkhead and returns along with support piles, wales, and wood cap to a top elevation of +5.7' NAVD88 no more than 18" waterward of the existing bulkhead and backfill approximately 110 CY of gravel/crushed stone as shown on site plan sheets 5, 6, and 7 of 12,
 - ii. over sheet an existing approximately 145 LF of concrete capped stone wall south and west of the lift well with a top elevation of +5.3' NAVD88 no more than 18" waterward of the existing wall face as shown on site plan sheets 3 and 6 of 12,
 - c. Modify or replace approximately 437 LF of wood floating docks with 440 LF of wood floating docks along the bulkhead with wood float restraint piles and new utilities as shown on site plan sheets 5 and 6 of 12:
 - i. an 8' wide by 305' long floating dock north of the pile supported access platform,
 - ii. an 8' wide by 80' long floating dock south of the pile supported access platform,
 - iii. an 8' wide by 55' long floating dock installed to meet the float alignment of the dock noted above in 2.c.ii,

- iv. a new 100 SF wood pile supported access platform with rails and two (2) 4' wide by 28' long access ramps to the floating docks noted above in 2.c.i. and 2.c.ii.,
- d. Remove and replace two (2) pile supported straddle hoist lift piers and modify associated floats as shown on site plan sheet 6 of 12:
 - i. install two (2) new approximately 60 LF straddle lift piers, one pile mounted, and one bulkhead mounted,
 - ii. reorient the existing 8' wide by 64' long lift well staging float,
 - iii. reconfigure a new 8' wide by 12' long lift well staging float to line up with the pile mounted lift well pier and improve historic channel offset,
 - iv. install a new 50 SF fillet labelled "E",
 - v. install a new 24' long hinged ramp from top of bulkhead to lift well staging float noted above in 2.d.ii.,
- e. Construct landward of the CJL and cut out of the yard facilities a 140 LF concrete boat launch ramp with crushed stone base and lined with new steel sheet pile walls with a top elevation of +5.7' NAVD88 as shown on site plan sheets 5 and 7 of 12:
 - i. install 20 LF of temporary steel sheet pile across the waterward end of the ramp at or waterward of CJL for dewatering,
 - ii. install a turbidity curtain extending from the water surface to the substrate around the dewatering discharge area,
 - iii. remove the turbidity curtain following completion of the project; and
- f. Reconstruct approximately 240 LF of damaged stone wall in-kind and in-place with large cut stone or interlocking concrete blocks at and landward of CJL as shown on site plan sheets 5 and 7 of 12:
 - i. minimally excavate landward of the existing stone wall foundation/CJL to assess and stabilize the foundation stones, and
 - ii. rebuild stone wall on top of existing foundation stones and backfill landward of the stone wall to road grade.

Failure to comply with the terms and conditions of this license shall subject the Licensee and / or the Licensee's contractor(s) to enforcement actions and penalties as provided by law.

This license is subject to the following Terms and Conditions:

1. **License Enclosure(s) and Conditions.** The Licensee shall comply with all applicable terms and conditions as may be stipulated within the License Enclosure(s) listed above.
2. **Fisheries Protection.** In order to protect diadromous fish, pile driving and sheeting installation is prohibited between April 1st and June 30th, inclusive, of any year, unless authorized in writing by the Commissioner.
3. **Wetland Delineation and Demarcation.** Prior to the commencement of construction of the stone wall authorized herein, the Licensee shall demarcate, by use of silt fence, hay bales, and/or construction fence, the limits of wetlands located at the site. Any work,

vehicular/pedestrian passage, equipment staging, or material storage shall be prohibited within these limits to prevent any wetland impacts. Any such demarcation material should be capable of withstanding daily tidal ebbs and flows and shall be maintained in optimal operating condition until project completion, at which time fencing and erosion controls shall be removed to an upland location.

4. **Stone Wall.** Displaced stone as shown on sheet 7 of 12 located waterward of the proposed stone wall and CJL shall be left in place and not moved or utilized for rebuilding the stone wall or other activities.
5. **Water Handling.** If final water handling varies from that shown on the plans approved herein, the Licensee shall submit, at least two weeks prior to the commencement of work and for the Commissioner's review and written approval, a final water handling plan.
6. **Turbidity Curtain.** Prior to the commencement of the construction of the boat launch ramp authorized herein, the Licensee shall install turbidity curtains extending from the water surface to the substrate around the dewatering discharge area. Such erosion and sediment control structures shall be maintained in optimal operating condition until project completion at which time the erosion and sediment controls shall be removed to an upland location.
7. **Barge Staging and Storage.** Any barge utilized in the execution of the work authorized herein shall occur only during periods of higher water to prevent the barge from resting on, or coming into contact with, the substrate at any time. Any such barge must move to deeper waters during periods of low water in the area of the proposed activities.
8. **Coordination with Coast Guard.** Coordination with the Coast Guard shall occur prior to commencement of the water-based work authorized herein.
9. **Equipment and Stockpile Location Restriction.** At no time shall equipment or material stockpiles be staged over or within wetlands or submerged aquatic vegetation areas. Equipment and stockpiles must be stored in upland areas above the Coastal Jurisdiction Line (CJL).
10. **Discharge of Concrete and Waste Material.** At no time shall the Licensee allow concrete or waste material to discharge onto or enter wetlands or the Pawcatuck River. All waste material generated by the performance of the work authorized herein shall be placed by the Licensee at an upland site approved for the placement of such waste material, as applicable.
11. **Waterward Encroachment for Bulkhead.** Waterward encroachment of new sheet pile bulkhead shall extend no further than 18" from the face of the existing bulkhead/wall.
12. **Bulkhead Caps.** Bulkhead caps authorized by this license shall not be used for the retention of fill or any other flood and erosion control purpose.

13. **Other Approvals.** Prior to the commencement of the work authorized herein the Licensee shall obtain all necessary local, state, and federal authorizations for the work authorized by this license.

Issued under the authority of the Commissioner of Energy and Environmental Protection on:

December 11, 2023

Date



Brian P. Thompson
Division Director
Land & Water Resources Division



Town of Stonington | Department of Planning
Planning and Zoning Commission Meeting
February 6, 2024
PZ2335BR BG Ventures, LLC (E. Goodman)

Bond Release/Reduction application for work performed under application PZ2125SUP & CAM. Property is located at 26 Old Stonington Road, Stonington; M/B/L: 153-2-3. This property is located in the GC-60 Zone.

Report Prepared By: Clifton J. Iler, AICP – Town Planner

Application Status

This application is for the full release of the \$9,110.00 Erosion and Sedimentation Control Bond under application **PZ2125SUP & CAM Mark J. Densmore Living Trust**. Connecticut General Statutes [Section 8-3g\(3\)](#) gives the Town 65 days to either authorize a reduction, release, or provide a written explanation as to the additional improvements that must be completed before the bond can be reduced or released.

- Official Date of Receipt for this application was 12/19/23.
- Tonight's meeting is **Day 49** of 65 total days to decide on the application.
- A decision must be made by 2/22/24.

State Statute does not authorize extensions of time for bond release requests.

Per C.G.S. [Section 8-3g\(3\)](#) the Commission shall either: (A) release or authorize the release of any such financial guarantee or portion thereof, provided the commission or its agent is reasonably satisfied that the site improvements for which such financial guarantee or portion thereof was posted have been completed; or (B) provide the person posting such financial guarantee with a written explanation as to the additional site improvements that must be completed before such financial guarantee or portion thereof may be released.

Response Summary

The application was routed to the following agencies/agents of the Town. Responses are shown below:

TOWN ENGINEER – Comments below [Dated: 1/25/24]:

Per your request, we have performed a site inspection with regard to the Erosion and Sediment Bond Release request (PZ2335BR) for 26 Old Stonington Road, Stonington, CT. The site construction is complete and soil stabilized, therefore offer the recommendation for full bond release.

ZONING ENFORCEMENT OFFICER – No comment.

Town Planner Comments

The Town Planner has no comment on the bond release.

Recommended Stipulations

There are no recommended stipulations for this application.

Commission Action Required

The Commission is required to make a determination on the following items:

- A decision on the Bond Reduction/Release application

Should the Commission deny this request the reason(s) must be stated in the denial and a response must be sent in writing per C.G.S. Section 8-3g(1).



Town of Stonington | Department of Planning
Planning and Zoning Commission Meeting
February 6, 2024
PZ2327ZC RCP Waterford II, LLC &
Readco Stonington III, LLC (J. Browning)

Zoning Map Amendment to Neighborhood Design District (NDD) application for the creation of 124 multi-family residential apartments, 10,000 square feet of commercial space, and 30,000 square feet of commercial recreation space. Properties are located at 85 Voluntown Road and 455 Liberty Street, Pawcatuck; M/B/L: 18-1-36; 18-1-33-A. Properties are located in the HI-60 Zone.

Report Prepared By: Clifton J. Iler, AICP – Town Planner

Application Status

This application is for a Zoning Map Amendment (ZC) and requires a public hearing in accordance with [C.G.S. Section 8-3\(c\)](#). The Commission has 65 days to open the public hearing and 35 days to conduct the public hearing once opened, as established in [C.G.S. Section 8-7d\(a\)](#). The applicant may request one or more extensions provided the total of any such extension or extensions shall not exceed 65 days.

- Official Date of Receipt for this application was 11/21/23.¹
- The public hearing was opened on December 19, 2023.
- The applicant requested an extension of **14 days** to continue the public hearing.
- The public hearing, without extension, must be closed **tonight**.
- A decision, without extension, must be made by 4/11/24.
- The applicant can request an extension to any period up to **51 days**.

Purpose

The applicant is applying for a Zoning Map Amendment (ZC) to convert the existing site located in the HI-60 Zone to the Neighborhood Design District (NDD). The purpose of this zone is to encourage the reclamation of underutilized commercial parcels and permit new construction, renovation and/or adaptive reuse at these sites; promote diversified housing opportunities, including, but not limited to, mixed-use development uses; and preserve and enhance the Town's historic character, sensitive environmental resources and these neighborhoods in the village cores. (ZR §7.21.2)

The proposed end use of the property is primarily residential with secondary commercial spaces identified.

Process

The Zoning Map Amendment (ZC) application is evaluated as a **zoning** proposal, and the Commission is required to evaluate the ZC in accordance with the Stonington Zoning Regulations. In reviewing this proposal, the Commission needs to evaluate a number of elements:

1. Plan of Conservation and Development (POCD) Compliance
2. Zoning Regulation §7.21.2 Compliance

¹ This application was submitted to the Town of Stonington prior to November 16, 2023. Therefore, this application will be reviewed under the 27th Edition of the Zoning Regulations.

POCD Compliance

In the Plan of Conservation and Development (POCD), the community established the following policies:

Policy 8.1.1 – Seek to attract a mix of residential, retail and service uses to address everyday village needs and tourists.

Policy 8.2.1 – Strive to attract a mix of businesses that support both the tourist and local needs within the villages.

Policy 8.3.2 – Encourage investment in commercial properties.

Policy 9.1.1 – Encourage diversification of housing stock.

Policy 9.2.1 – Within the village areas, promote new development, infill development and redevelopment which are in keeping with the overall character of the neighborhood.

Policy 9.2.3 – Encourage mixed use buildings, as appropriate, on major streets in village areas.

Policy 10.2.4 – Guide development to Exit 92 and Village of Pawcatuck.

Although the POCD is advisory in nature, the Commission is required to consult the document when reviewing zoning map and text amendment proposals.

Zoning Regulation §7.21.2 Compliance

§7.21.2 Statement of Purpose:

The NDD is intended to: encourage the reclamation of underutilized commercial parcels and permit new construction, renovation and/or adaptive re-use at these sites; promote diversified housing opportunities, including, but not limited to, mixed-use development uses; and preserve and enhance the Town's historic character, sensitive environmental resources and these neighborhoods in the village cores. This zone is intended to allow for the establishment, continuation and expansion of such uses and activities in ways that will maintain and enhance compatibility with surrounding neighborhoods. Factors to be considered by the Commission in approving the NDD include:

- A. The proposed uses and layout are in conformity with and in furtherance of the goals and objective contained in the POCD.*
- B. Harmony and compatibility with surrounding residential neighborhoods, land uses and the village cores, including adequate buffers that are consistent with the existing condition on the site, neighborhood and/or village core, promotion of pedestrian safety, provision for adequate parking, minimized impact of motor vehicles, and prevention of glare to adjacent properties from lighting onsite. To the extent practical, commercial traffic shall be directed to major thoroughfares and away from residential streets.*
- C. Furtherance of the goals, standards and policies of the Connecticut Coastal Area Management Act.*

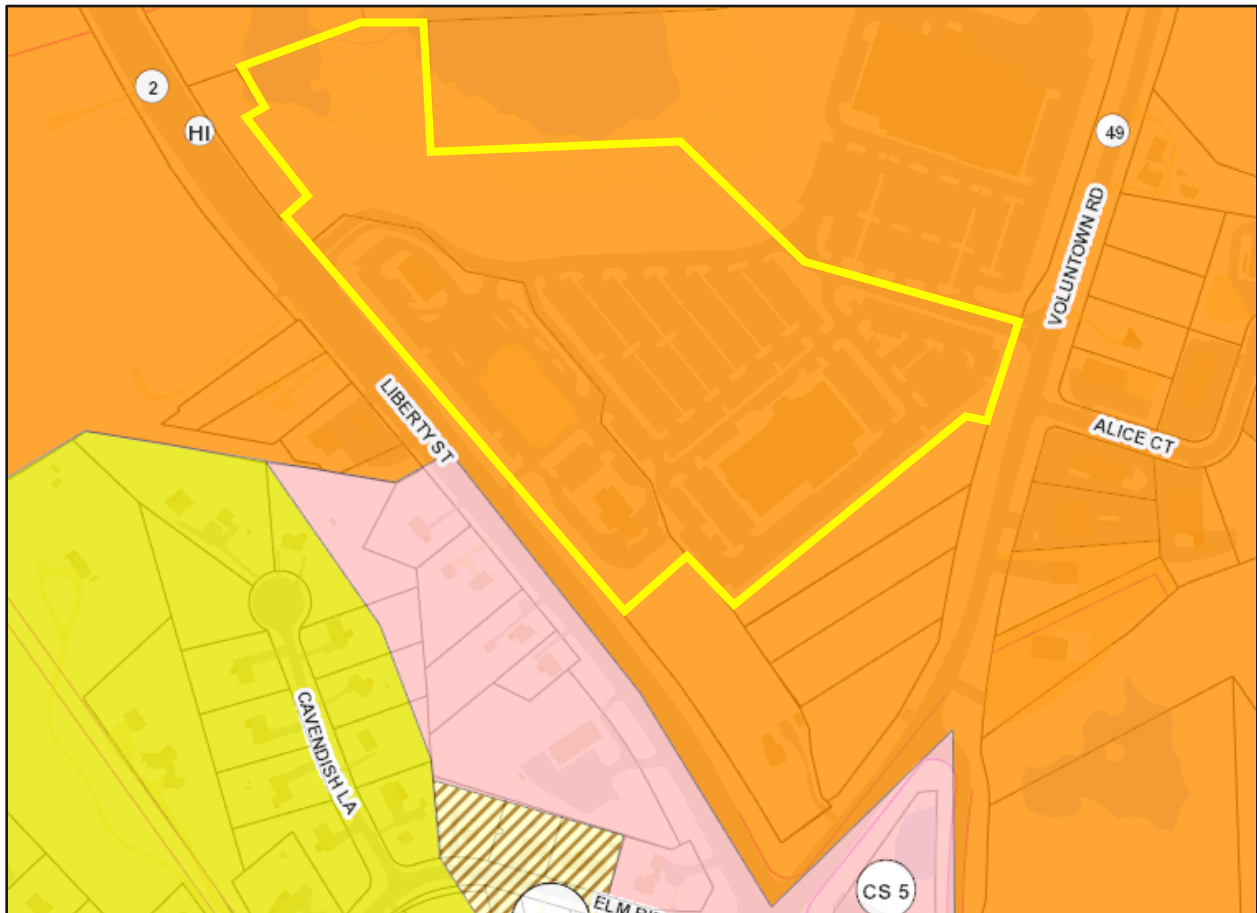
Zoning and Context

The site is located in the HI-60 Zone. As part of the Master Plan, the applicant is required to propose new bulk and use requirements for the proposed NDD Zone. Below reflects the current bulk and use requirements for the HI-60 Zone:

HI-60 Zone Bulk and Use Requirements²

| | <u>Required</u> | <u>Provided</u> | | <u>Required</u> | <u>Provided</u> |
|------------------|-----------------|-----------------|----------------------|-----------------|-----------------|
| Lot Size | 60,000 SF | N/A | Building Height | 25' | N/A |
| Frontage | 200' | N/A | Floor Area Ratio | N/A | N/A |
| Setbacks (F/S/R) | 25'/25'/25' | N/A | Parking ³ | N/A | N/A |
| Res. Buffer | 20' | N/A | Non-Infring. Area | N/A | N/A |

ZONING MAP



North: HI-60 Zone [Use: Commercial/Industrial]

East: HI-60 Zone [Use: Commercial/Industrial]

South: HI-60 Zone [Use: Residential]

West: CS-5 Zone [Use: Residential]

² See Section 7.21.6 of the Zoning Regulations for NDD Design Standards.

³ See Section 7.10.4 of the Zoning Regulations.

Site Access and Traffic

The site is accessed from Liberty Street (State Route 2) and Voluntown Road (State Route 49). The application proposes one new right-turn ingress-only in addition to existing access points along Liberty Street and Voluntown Road. A Traffic Impact Study was provided with the application set.

Environmental Elements

This application is not subject to review from the Inland Wetland and Watercourses Commission (IWWC) and is not within the Upland Review Area. The site is located within the Groundwater Protection Overlay District (GPOD) and will require a Groundwater Protection Permit (GPP) alongside Site Plan Application (SPA) approval.

Utilities

The site is serviced by water and sewer. Design details will be addressed through the SPA.

Waivers Requested

The following requirements and waivers are not applicable at the ZC application stage:

| Item | Provided | Waiver Requested |
|---|----------|------------------|
| Impact Statement | X | |
| Site Plan | X | |
| Architectural Elevation Drawings and Landscape Plan | X | |
| Water Impact Study | | N/A |
| Sanitary Sewer Impact Study | | N/A |
| Site Drainage Analysis | | N/A |
| Erosion Control Report | | N/A |
| Traffic Impact Study | X | |
| Archaeological Study | | N/A |
| Soils Report, Test Pit Data and Mapping | | N/A |
| Shadow Plan | | N/A |
| 3-D Model | | N/A |
| Flood Hazard Report | | N/A |
| School Impact Evaluation Report | X | |
| Application Fee | X | |
| Legal Description of Property/Site | X | |
| Phasing Requirements for Projects Over 24 Dwelling Units | X | |
| Written Waiver Request(s) at the Time of Application Submission | | N/A |

Response Summary

The application was routed to the following agencies/agents of the Town. Responses are shown below:

POLICE COMMISSION – No comments or concerns. [Dated: 12/14/23]

TOWN ENGINEER (CLA ENGINEERS, INC.) – Comments below [Dated: 11/22/23]:

We have reviewed the following materials submitted for the above referenced project and find that they satisfy the requirements of Section 8.8.2.2 and 8.8.2.3 of the Zoning Regulations.

1. Master Plan Site plans prepared by Bohler Engineering dated 11/6/23.

2. Master Plan Submission package prepared by Trio Properties, LLC and Readco Management dated 11/6/23.

Town Engineer's comments [Dated: 11/22/23]: The only T.E. comment is to remind them that a future site plan application will require a drainage report to include water quality calculations, bmp's, etc.

--

Additional comments based on the 1/17/24 submittal [Dated: 1/25/24]: "Per your request, CLA Engineers (Mr. Bob Deluca) has reviewed the updated documents as they relate to the above referenced project and has derived NO Additional comments."

FLOODPLAIN MANAGER (SLR INTERNATIONAL) – Comments below [Dated: 12/1/23]:

The application is for a zoning amendment to facilitate conversion of an existing property into a mixed-use redevelopment, with three new multifamily apartment buildings and one new mixed-use building to be constructed on site.

One of the parcels on which the proposed project will take place (MBL: 18-1-33A; 85 Voluntown Road) contains an area that falls within a 0.2% Annual Chance Flood Hazard Area associated with a small pond.

The Proposed Master Plan Documents (Section F of the application) show that the proposed work will take place completely outside of the 0.2% Annual Chance Flood Hazard Area. Further, Stonington and FEMA regulations do not regulate activities within this flood zone.

Based on a review of the documents provided, I find the proposed development to be acceptable with regard to local, state, and federal floodplain regulations.

--

Additional comments based on the 1/17/24 submittal [Dated: 1/25/24]: "No updated comments or concerns."

TOWN SANITARIAN (LEDGE LIGHT HEALTH DISTRICT) – Comments below [Dated: 11/29/23]:

1. The proposed pool will require approval by the Recreation Department of the Department of Public Health. Plans shall be submitted there for review.
2. The proposed pool shall also be approved and licensed by LLHD. Please contact Lupita Santos at LSantos@llhd.org to discuss licensing.
3. Since apartments will be served by public sewer and water, no LLHD review is required.
4. Any establishments that fall under foodservice, cosmetology, public pool or lodging (outside of apartments) are to be licensed by LLHD.

--

Additional comments based on the 1/17/24 submittal [Dated: 1/23/24]: "No updated comments or concerns on my end."

WATER POLLUTION CONTROL AUTHORITY – Comments below [Dated: 12/8/23]:

The WPCA has no objection to the above referenced application as submitted. There is sufficient capacity in the Pawcatuck collection system and treatment facility to accommodate the proposed flows for this project.

Please be advised of the Rules and Regulations of the Water Pollution Control Authority, specifically Article XII, Hookups.

12.03 No sewer construction work shall begin until detailed plans and specifications have been reviewed and approved by the Director of Water Pollution Control. This shall include a plan and profile sheet. (Scale 1" = 40' horizontal, 1" = 4' vertical)

12.04 Plans, specifications, and construction shall conform to the Town's Technical Standards for Sanitary Sewers.

12.05 Construction shall be carried out only in the presence of an authorized representative of the Water Pollution Control Authority.

12.06 Within 30 days following completion of construction, applicant shall furnish record drawings as prescribed.

12.09 Prior to being issued a sewer construction permit, the owner(s) shall pay the Authority a hook-up charge.

Since this project is a change in use, there is only a charge for additional units. See attached sheet for calculation and fee.

--

Additional comments based on the 1/17/24 submittal [Dated: 1/25/24]: "The WPCA has no additional comments based on the revised material submitted for the above referenced P&Z application."

ZONING ENFORCEMENT OFFICER – No comment at this time. [Dated 11/22/23]

Additional comments based on the 1/17/24 submittal [Dated: 1/23/24]: "No comment at this time."

FIRE DISTRICT MARSHAL (PAWCATUCK) – No comment at this time. [Dated: 11/21/23]

Additional comments based on the 1/17/24 submittal [Dated: 1/17/24]: "The Pawcatuck Fire District has no comments on the above-mentioned property (project)."

SOUTHEASTERN CONNECTICUT COUNCIL OF GOVERNMENTS – See attached memorandum.

Additional comments based on the 1/17/24 submittal [Dated: 1/23/24]: "No additional comments from SCCOG."

WATER COMPANY (WESTERLY WATER CO.) – Comments below [Dated: 12/5/23]:

There is no available water on Voluntown Road. The shopping center has a private water main within its development. This main is tapped on Liberty Street. There is available water on Liberty Street. If a developer is requesting future water service, I will need a set of detailed plans and the fire flow demand.

Town Planner Comments

The application proposes a Zoning Map Amendment (ZC) from the existing HI-60 Zone to the Neighborhood Design District (NDD). The process described earlier covers the elements of review the Commission must consider when making a decision on the proposed application. In addition to those elements required to establish the Zone, the applicant must then follow the following steps:

1. Establishment of District **(Current)**
2. Development of Master Plan **(Current)**
3. Development of Site Plan
4. Receive a Zoning Permit
5. Receive a Building Permit

The Architecture Design Review Board (ADRB) reviewed this application at its regular meeting on December 11, 2023, at which the ADRB approved this application with no stipulations.

The applicant provided stormwater maintenance reports and an addendum on affordable housing opportunities in response to comments from the Commission at its December 19, 2023 meeting. These documents, dated 1/17/24, are attached to this memorandum.

At the previous meeting on December 19, 2023, the Commission raised concerns about detailed design elements, including stormwater management structures. Town staff will remind the Commission this is a **zoning** proposal and such design details will be reviewed and discussed in greater depth in review of the Site Plan Application (SPA).

The Commission has the authority to exercise legislate discretion when reviewing applications for the NDD Zone (ZR §7.21.1.3). However, this discretion should align with the regulations governing the application review process. Any decisions that are illogical, arbitrary, or impose excessive requirements could be deemed an abuse of this discretion. Matters beyond the Commission's regulatory scope fall outside the legislate discretion granted to them.

There are no additional staff comments at this time.

Recommended Stipulations

No stipulations are recommended by Town staff at the ZC stage of this project.

Commission Action Required

The Commission is required to make a determination on the following items:

- A decision concerning consistency with the Plan of Conservation and Development (POCD)
- A decision concerning consistency with Zoning Regulation §7.21.2
- A decision concerning the Zoning Map Amendment (ZC) application

**Pawcatuck Farms
RCP Waterford II, LLC
Neighborhood Development District Zone Change
Narrative Report – **ADDENDUM re: Affordable Housing****

Housing affordability: The developer commits to applying for Build4CT affordable housing financing through the Connecticut Housing Finance Authority (“CHFA”). The Build4CT program (“Build4CT”) mandates that 20% of the total developed units meet the program’s affordable requirement. These affordable units are deed restricted for a minimum of 6 years or as long as the CHFA financing remains in place. It is anticipated that to meet this requirement, 25 of the community’s 124 apartment homes will be limited to a rent level that is affordable to a person earning 80% of the Area Median Income (“AMI”) as designated by Build4CT/CHFA. To apply for the Build4CT, the project must have site plan approvals. The developer submits a fully approved project’s application to Build4CT simultaneous to applying for a construction loan. The developer has reviewed the Project with Build4CT/CHFA staff and received a favorable indication that this project is likely to be approved for the program as currently designed.

January 12, 2024

Stonington Planning and Zoning Commission
152 Elm Street
Stonington, CT 06378

**Re: Proposed Mixed Use Development
85 Voluntown Rd
Stonington, CT
Proposed Stormwater Narrative**

As requested, an analysis of the existing stormwater infrastructure was performed for the existing underground stormwater systems that are proposed to remain in use for the Proposed Mixed Use Development located at 85 Voluntown Rd. The proposed redevelopment includes the addition of three multifamily apartment buildings, one mixed use building, the conversion of the existing movie theater to a mixed use building and the existing McDonald's to remain and operate as it does currently.

The Stormwater Design of this Proposed Development was intended to maintain the existing drainage patterns throughout the site and utilize most of the existing stormwater infrastructure that exists today. Five (5) out of the seven (7) existing underground systems will remain and two (2) underground infiltration systems are being proposed. The existing systems were analyzed based on the following documents:

- "Engineering Summary Report" prepared by Barakos Landino Design Group, dated 07/02/1997
- "Stormwater Management Plan" prepared by Barakos Landino Design Group, dated 09/03/1997
- "Proposed Master Plan Documents" prepared by Bohler, dated 11/06/2023
- "Boundary, Partial Topographic & Utility Survey" prepared by Control Point Associates, Inc. dated 08/25/2023, revised 10/30/2023

Based on the information above, the existing underground systems were modeled using HydroCAD version 10.20-2g and analyzed using the rational method with the latest rainfall data from the National Oceanic and Atmospheric Administration (NOAA). Running the model of the existing stormwater management / infiltration systems with the current rainfall intensities demonstrated that the existing systems, as designed and currently in use, can effectively manage the runoff anticipated in the redevelopment scenario.

The HydroCAD report has been attached as an appendix. As table 1.1 below indicates, the change in average rainfall data from 1997 to present is minor and was accommodated in the updated model.

Table 1.1: NOAA Rainfall Depths

| Frequency | 2-year | 10-year | 25-year | 100-year |
|----------------------------|--------|---------|---------|----------|
| 1997 Rainfall (inches) | 3.4 | 5.0 | 5.7 | 7.1 |
| Current Rainfall* (inches) | 3.43 | 5.08 | 6.11 | 7.11 |

*The rainfall depths were obtained from the National Oceanic and Atmospheric Administration (NOAA) Atlas 14, Volume 10, Precipitation Frequency Data Server (PFDS) released 2015, revised 2019.

Additionally, the proposed redevelopment has a decrease in impervious area compared to the current development on the site. In summary, the proposed redevelopment results in a decrease in impervious area and reduces the peak rates of stormwater runoff from the subject site when compared to pre-development conditions for the analyzed storm events. A formal drainage report for the redevelopment will be submitted with the Site Plan Application at a future date.

Table 1.2: Design Point Peak Runoff Rate Summary

| Peak Flow Discharge in cubic feet per second (cfs) | | | | | | | | | | | | | | | |
|--|--------|-------|-------|--------|-------|-------|---------|-------|-------|---------|-------|-------|----------|-------|-------|
| | 1-year | | | 2-year | | | 10-year | | | 25-year | | | 100-year | | |
| | Pre- | Post- | Delta | Pre- | Post- | Delta | Pre- | Post- | Delta | Pre- | Post- | Delta | Pre- | Post- | Delta |
| DP1 | 3.26 | 1.38 | -1.88 | 4.36 | 2.25 | -2.11 | 9.14 | 4.42 | -4.72 | 10.33 | 6.52 | -3.81 | 14.19 | 7.96 | -6.23 |
| DP2 | 0.80 | 0.63 | -0.17 | 0.96 | 0.76 | -0.20 | 2.43 | 1.83 | -0.60 | 5.61 | 5.00 | -0.61 | 16.51 | 13.54 | -2.97 |
| DP3 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |

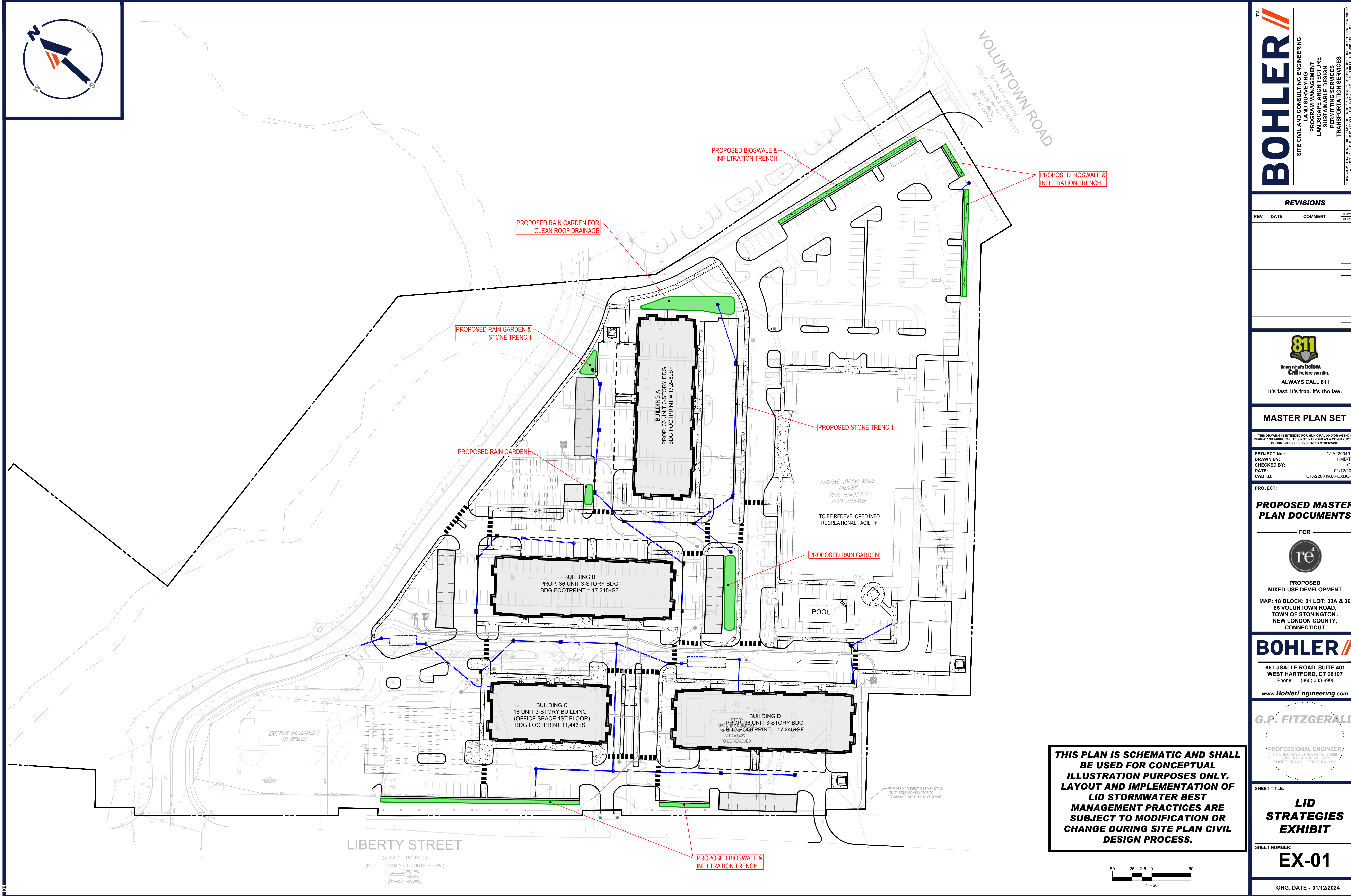
LID Strategies

The proposed stormwater design also allows for the implementation of Low Impact Development (LID) Site Planning and Design Strategies. The attached Exhibit EX-01 depicts conceptual LID strategies that may be located throughout the site including Best Management Practices (BMPs) like bioswales, stone trenches and rain gardens. Additional nonstructural BMPs include minimizing site disturbance and reducing impervious areas onsite. The details of the implementation of these BMPs will be presented as part of the future Site Plan Application and are subject to change based on final design layout and related engineering considerations.

Sincerely,



Geoffrey P. Fitzgerald, P.E., AICP
BOHLER



REVISIONS

| REV | DATE | COMMENT | DRAWN BY | CHECKED BY |
|-----|------|---------|----------|------------|
| | | | | |
| | | | | |
| | | | | |
| | | | | |



MASTER PLAN SET

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: CT220049.00
 DRAWN BY: KMB/TJN
 CHECKED BY: GPF
 DATE: 01/12/2024
 CAD ID: CTA220049.00-EXBC-0A

PROPOSED MASTER PLAN DOCUMENTS

FOR

 PROPOSED MIXED-USE DEVELOPMENT
 MAP: 18 BLOCK: 01 LOT: 33A & 36
 85 VOLUNTOWN ROAD,
 TOWN OF STONINGTON,
 NEW LONDON COUNTY,
 CONNECTICUT

BOHLER
 65 LaSALLE ROAD, SUITE 401
 WEST HARTFORD, CT 06107
 Phone: (860) 333-8900
 www.BohlerEngineering.com

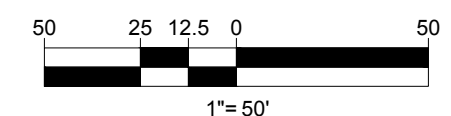
G.P. FITZGERALD
 PROFESSIONAL ENGINEER
 CONNECTICUT LICENSE No. 20558
 FLORIDA LICENSE No. 89938
 RHODE ISLAND LICENSE No. 6195

SHEET TITLE:
LID STRATEGIES EXHIBIT

SHEET NUMBER:
EX-01

ORG. DATE - 01/12/2024

THIS PLAN IS SCHEMATIC AND SHALL BE USED FOR CONCEPTUAL ILLUSTRATION PURPOSES ONLY. LAYOUT AND IMPLEMENTATION OF LID STORMWATER BEST MANAGEMENT PRACTICES ARE SUBJECT TO MODIFICATION OR CHANGE DURING SITE PLAN CIVIL DESIGN PROCESS.



P:\2022\CTA220049.00\CADD\DRAWINGS\EXHIBIT\EXHIBIT C\CTA220049.00-EXBC-0A-1-LAYOUT-EX-01.dwg

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 1/17/19

OUTFALL: clear of debris heavy vegetation

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: holding water

OBSERVATIONS: overall site looks clean

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 2/14/19

OUTFALL: clear of garbage heavy vegetation

VORTECHNICS (UNIT #1): holding water and little debris

VORTECHNICS (UNIT #2): same little debris and water

CATCH BASINS: holding a little water

OBSERVATIONS: overall site looks ok dumpster enclosure needs repair and to be cleaned

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 3/21/19

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: little debris

OBSERVATIONS: Dumpster enclosure is repaired debris in islands

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 4-18-19

OUTFALL: clear

VORTECHNICS (UNIT #1): holding debris / water

VORTECHNICS (UNIT #2): holding debris / water

CATCH BASINS: holding water little debris

OBSERVATIONS: overall site has garbage in islands

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR C Buf DATE OF INSPECTION 5/23/19

OUTFALL: Clear

VORTECHNICS (UNIT #1): Standing water 30"

VORTECHNICS (UNIT #2): standing water 28"

CATCH BASINS: little debris

OBSERVATIONS: site LOOKS Good

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR C Buf DATE OF INSPECTION 6-20-19

OUTFALL: little debris heavy vegetation

VORTECHNICS (UNIT #1): Holding debris

VORTECHNICS (UNIT #2): standing water

CATCH BASINS: clear

OBSERVATIONS: site clean

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR C Buf DATE OF INSPECTION 7-18-19

OUTFALL: heavy vegetation

VORTECHNICS (UNIT #1): Holding water

VORTECHNICS (UNIT #2): Holding water

CATCH BASINS: clear

OBSERVATIONS: small amount of Garbage in Islands

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR C Buf DATE OF INSPECTION 8/22/19

OUTFALL: clear

VORTECHNICS (UNIT #1): Holding a little garbage

VORTECHNICS (UNIT #2): Holding a little garbage

CATCH BASINS: Holding garbage & standing water

OBSERVATIONS: still garbage in Islands
manager notified to clean

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBuf DATE OF INSPECTION 9/19/19

OUTFALL: clear

VORTECHNICS (UNIT #1): standing water 33"

VORTECHNICS (UNIT #2): standing water 31"

CATCH BASINS: clear

OBSERVATIONS: site clear

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBuf DATE OF INSPECTION 10/17/19

OUTFALL: heavy vegetation

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: holding water and leaves

OBSERVATIONS: site clear

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBuf DATE OF INSPECTION 11/21/19

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: leaves & water

OBSERVATIONS: site clear

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBuf DATE OF INSPECTION 12/19/19

OUTFALL: clear

VORTECHNICS (UNIT #1): clear

VORTECHNICS (UNIT #2): clear

CATCH BASINS: clear

OBSERVATIONS: site clear

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBuf DATE OF INSPECTION 1/23/20

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: holding water

OBSERVATIONS: clear

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBuf DATE OF INSPECTION 2/20/20

OUTFALL: little debris

VORTECHNICS (UNIT #1): holding water 34"

VORTECHNICS (UNIT #2): holding water 27"

CATCH BASINS: holding water

OBSERVATIONS: Island Have debris

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBuf DATE OF INSPECTION 3-19-20

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water little debris

CATCH BASINS: clear

OBSERVATIONS: overall site looks good

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBuf DATE OF INSPECTION 4/23/20

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water little debris

CATCH BASINS: clear

OBSERVATIONS: site clear

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR C. Bui DATE OF INSPECTION 5/21/20

OUTFALL: clear

VORTECHNICS (UNIT #1): little debris

VORTECHNICS (UNIT #2): little debris

CATCH BASINS: clear

OBSERVATIONS: overall site clean

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR C. Bui DATE OF INSPECTION 6/18/20

OUTFALL: overgrowth

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: clear

OBSERVATIONS: clean site

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR C. Bui DATE OF INSPECTION 7/23/20

OUTFALL: clear

VORTECHNICS (UNIT #1): clear

VORTECHNICS (UNIT #2): clear

CATCH BASINS: clear

OBSERVATIONS: site clean

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR C. Bui DATE OF INSPECTION 8/13/20

OUTFALL: clean of debris

VORTECHNICS (UNIT #1): holding water and trash

VORTECHNICS (UNIT #2): holding some water and garbage

CATCH BASINS: clear

OBSERVATIONS: overall site in clear

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 9/10/20

OUTFALL: Clear

VORTECHNICS (UNIT #1): holding water minimal trash

VORTECHNICS (UNIT #2): holding water little trash

CATCH BASINS: are clear

OBSERVATIONS: overall site is clean
due to being closed to Covid

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 10/28/20

OUTFALL: loaded with leaves

VORTECHNICS (UNIT #1): holding 18" of water

VORTECHNICS (UNIT #2): holding 22" of water

CATCH BASINS: holding water

OBSERVATIONS: overall site is clean

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 11/15/20

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: holding water

OBSERVATIONS: clear

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 12/22/20

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: clear

OBSERVATIONS: site clear

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Storington, Connecticut

INSPECTOR CBurf DATE OF INSPECTION 1/14/21

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: holding water

OBSERVATIONS: site looks clean

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Storington, Connecticut

INSPECTOR CBurf DATE OF INSPECTION 2/18/21

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: clear

OBSERVATIONS: site looks good business closed

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Storington, Connecticut

INSPECTOR CBurf DATE OF INSPECTION 3/19/21

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: clear holding water

OBSERVATIONS: BUSINESS closed and clean

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Storington, Connecticut

INSPECTOR CBurf DATE OF INSPECTION 4/15/21

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: clear

OBSERVATIONS: overall site looks good

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 5/20/21

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water some debris

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: clear

OBSERVATIONS: site look good

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 6/17/21

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: holding water and some debris

OBSERVATIONS: over all site looks good

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR R ortiz DATE OF INSPECTION 7/15/21

OUTFALL: some heavy vegetation

VORTECHNICS (UNIT #1): some debris and water

VORTECHNICS (UNIT #2): some debris and water

CATCH BASINS: holding water

OBSERVATIONS: site looks good some debris in islands

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 8/18/21

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water little debris

CATCH BASINS: clear

OBSERVATIONS: dumpster area loaded with garbage but rest of site OK

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 9-22-21

OUTFALL: heavy vegetation

VORTECHNICS (UNIT #1): little debris, holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: holding water little debris in some

OBSERVATIONS: over all site look ok
But some excessive garbage
in dumpster area

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 10-21-21

OUTFALL: lots of vegetation and leaves

VORTECHNICS (UNIT #1): has standing water

VORTECHNICS (UNIT #2): has standing water

CATCH BASINS: holding little water

OBSERVATIONS: site ok

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 11-18-21

OUTFALL: clear

VORTECHNICS (UNIT #1): little debris

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: some leaves / debris

OBSERVATIONS: overall site ok

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 12-22-21

OUTFALL: leaves

VORTECHNICS (UNIT #1): little water / debris

VORTECHNICS (UNIT #2): same as unit 1

CATCH BASINS: little water

OBSERVATIONS: site good

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR OBW DATE OF INSPECTION 1/17/22

OUTFALL: Leaves & vegetation

VORTECHNICS (UNIT #1): holding water and debris

VORTECHNICS (UNIT #2): Same as unit #1

CATCH BASINS: holding water

OBSERVATIONS: little debris in island
and trash in dumpster enclos

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR OBW DATE OF INSPECTION 2/17/22

OUTFALL: full of leaves

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: holding water

OBSERVATIONS: garbage around dumpster

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR OBW DATE OF INSPECTION 3-17-22

OUTFALL: clear

VORTECHNICS (UNIT #1): holding 22" of water

VORTECHNICS (UNIT #2): holding water 23 1/2"

CATCH BASINS: clear

OBSERVATIONS: one all site clear
other that trash in island

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR OBW DATE OF INSPECTION 4-20-22

OUTFALL: vegetation

VORTECHNICS (UNIT #1): little debris

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: little debris

OBSERVATIONS: some trash in islands
and dumpster enclos

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBM DATE OF INSPECTION 5/19/22

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water 27"

VORTECHNICS (UNIT #2): holding water 25"

CATCH BASINS: little debris holding water

OBSERVATIONS: over all site looks OK

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBM DATE OF INSPECTION 6/16/22

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water / some debris

VORTECHNICS (UNIT #2): holding water / debris

CATCH BASINS: clear

OBSERVATIONS: over all site OK

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBM DATE OF INSPECTION 7/20/22

OUTFALL: clear heavy vegetation

VORTECHNICS (UNIT #1): some debris

VORTECHNICS (UNIT #2): some debris

CATCH BASINS: some debris

OBSERVATIONS: overall site not bad
but some debris in dumpster area

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBM DATE OF INSPECTION 8/17/22

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: holding water

OBSERVATIONS: over all site OK

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBM DATE OF INSPECTION 9/21/22

OUTFALL: heavy vegetation

VORTECHNICS (UNIT #1): holding 32" of water

VORTECHNICS (UNIT #2): holding 30" of water

CATCH BASINS: clear

OBSERVATIONS: site LOOKS Good

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBM DATE OF INSPECTION 10/18/22

OUTFALL: heavy vegetation

VORTECHNICS (UNIT #1): little debris

VORTECHNICS (UNIT #2): little debris

CATCH BASINS: some leaves but OK

OBSERVATIONS: overall site OK

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBM DATE OF INSPECTION 11/15/22

OUTFALL: leaves & vegetation

VORTECHNICS (UNIT #1): holding water some debris

VORTECHNICS (UNIT #2): same as unit 1

CATCH BASINS: leaves and water

OBSERVATIONS: site OK

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBM DATE OF INSPECTION 12-15-22

OUTFALL: clear of garbage

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: little debris

OBSERVATIONS: overall site clear

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 1-19-23

OUTFALL: clear of garbage

VORTECHNICS (UNIT #1): 31" of water with some debris

VORTECHNICS (UNIT #2): 34" of water with some debris

CATCH BASINS: holding water

OBSERVATIONS: site unoccupied and clean

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 2/14/23

OUTFALL: heavy vegetation and clear of garbage

VORTECHNICS (UNIT #1): some debris

VORTECHNICS (UNIT #2): some some debris

CATCH BASINS: holding water

OBSERVATIONS: overall site looks good

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 3/16/23

OUTFALL: heavy vegetation

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: clear

OBSERVATIONS: overall no activity site clean

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CBW DATE OF INSPECTION 4/20/27

OUTFALL: heavy vegetation debris

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: clear

OBSERVATIONS: site looks good

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CRB

DATE OF INSPECTION 5/17/23

OUTFALL: clear of garbage

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: clear

OBSERVATIONS: overall site clean

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CRB

DATE OF INSPECTION 6/14/23

OUTFALL: heavy vegetation

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: clear

OBSERVATIONS: over all sites is
clean due to no activity

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CRB

DATE OF INSPECTION 7-13-23

OUTFALL: heavy vegetation

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: clear

OBSERVATIONS: Site clean no tents

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CRB

DATE OF INSPECTION 8-10-23

OUTFALL: Little debris

VORTECHNICS (UNIT #1): 28" of water

VORTECHNICS (UNIT #2): 31" of water

CATCH BASINS: Clear holding water

OBSERVATIONS: over all site clean

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CSM DATE OF INSPECTION 9-12-23

OUTFALL: heavy vegetation

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: clear

OBSERVATIONS: o site clear

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CSM DATE OF INSPECTION 10-12-23

OUTFALL: clear but heavy vegetation

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: holding water some leaves

OBSERVATIONS: over all site looks good

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR CSM DATE OF INSPECTION 11/13/23

OUTFALL: heavy vegetation and leaves

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: look clear

OBSERVATIONS: site looks good

MONTHLY STORMWATER INSPECTION FORM

HOYTS CINEMAS FACILITY
Stonington, Connecticut

INSPECTOR C Burlingham DATE OF INSPECTION 12/27/23

OUTFALL: clear

VORTECHNICS (UNIT #1): holding water

VORTECHNICS (UNIT #2): holding water

CATCH BASINS: clear

OBSERVATIONS: site looks great