

# Meeting Summary Report

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JANUARY 16, 2024 | REGULAR MEETING

Town of Stonington  
Planning and Zoning Commission



# Town of Stonington Planning and Zoning Commission

AGENDA  
REGULAR MEETING  
TUESDAY, JANUARY 16, 2024 – 7:00 PM  
STONINGTON BOARD OF EDUCATION DISTRICT OFFICE  
40 FIELD STREET, PAWCATUCK, CT 06379

## COMMISSIONERS

**Charles Sheehan**  
Chairman

**Ryan Deasy**  
Vice Chairman

**Lynn Conway**  
Secretary

**Gary Belke**  
Member

**Andy Meek**  
Member

**Bennett Brissette**  
Alternate

**Ben Philbrick**  
Alternate

**MaryEllen Mateleska**  
Alternate

Agenda items are on file for public review at the Town of Stonington Department of Planning:

152 Elm Street  
Stonington, CT 06378  
P: 860.535.5095  
E: [dop@stonington-ct.gov](mailto:dop@stonington-ct.gov)

Stonington Board of Education District Office is wheelchair accessible. If you plan to attend this public meeting and you have a disability which requires special arrangements, please call 860.535.5095 at least 24 hours in advance of the meeting date. Reasonable accommodations will be made to assist your needs.

1. Call To Order – 7:00 PM
2. Appoint Alternates:
  - a. Ben Philbrick (Seated 9/5/23)
  - b. Bennett Brissette (Seated 10/3/23)
  - c. MaryEllen Mateleska (Seated 11/21/2023)
3. Minutes:
  - a. #1746 – January 2, 2024
4. Public Comment:
5. Correspondence:
6. Reports:
  - a. Staff
  - b. Commission
  - c. Zoning Enforcement and Violations
    1. Zoning Enforcement Officer Report – Dec. 2023
  - d. Administrative Review
    1. **C.G.S. 8-24 Review: Circus Lot** – Request for review and report for the potential purchase of 29 Noyes Avenue (M/B/L: 1-3-1) by the Town of Stonington pursuant to C.G.S. 8-24.
7. Old Business:
  - a. **PZ2333CAM St. Edmunds Retreat (K. Nielson)** – Coastal Area Management application for the repair and restoration of the existing shoreline structures and landward seawall at St. Edmunds Retreat on Enders Island. Property located at Enders Island, Mystic; M/B/L 178-1-1. Property is located in the RC120 Zone.
  - b. **PZ2334CAM Norwest Marine (K. Nielson)** – Coastal Area Management application for the restoration of existing marine support facilities. Properties are located at 1 River Road and 7 River Road, Pawcatuck; M/B/L: 5-6-20; 5-6-21. Properties are located in the RC-120 Zone and MC-80 Zone.



# Town of Stonington Planning and Zoning Commission

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**REGULAR MEETING**  
**TUESDAY, JANUARY 16, 2024 – 7:00 PM**  
**STONINGTON BOARD OF EDUCATION DISTRICT OFFICE**  
**40 FIELD STREET, PAWCATUCK, CT 06379**

## MEETING PROCEDURES

### PUBLIC COMMENTS

Public comments are an opportunity for public participation on items not on the evening's agenda.

### PUBLIC HEARINGS

Public hearings are an opportunity for public participation during the review of a development proposal.

Applicants will make an initial presentation. The public can then speak "in favor," "in opposition," or under "general comments." A signup sheet is located at the main entrance. Participants are not required to sign up, however, the list will be used to organize the order of interested speakers.

Any questions will be addressed as part of the applicant's rebuttal. Once a public hearing has been closed, neither the applicant nor the public can participate in the proceedings.

### NEW SUBMITTALS

No action will be taken on these items. New submittals require routing to other Town agencies and, in some instances, may be scheduled for a public hearing at a later date.

8. Public Hearing(s):
  - a. **PZ2322SPA & GPP Fair Housing of Connecticut, LLC (M. Ranelli)** – Site Plan Application and Groundwater Protection Permit applications for an Affordable Housing Project submitted pursuant to C.G.S. 8-30g. Proposal consists of 102 single-family housing units and associated site improvements. Properties located at 207, 215, and an unaddressed parcel on Liberty Street, Pawcatuck; M/B/L: 16-4-12; 16-4
9. Future Public Hearing(s):
  - a. **PZ2327ZC RCP Waterford II, LLC & Readco Stonington III, LLC (J. Browning)** – Zoning Map Amendment application for a Neighborhood Design District (NDD) Zone. Proposal consists of 124 multi-family residential apartments, 10,000 square feet of commercial space, and 30,000 square feet of commercial recreation space. Properties are located at 85 Voluntown Road and 455 Liberty Street, Pawcatuck; M/B/L: 18-1-36; 18-1-33-A. Properties are located in the HI-60 Zone.  
*Public Hearing continued to February 6, 2024.*
  - b. **PZ2329ZC Maple Lawn Farm, LLC (Paul & Sharyne Cerullo)** – Zoning Map Amendment application for an Agricultural Heritage District (AHD) Zone. Proposal consists of a Master Plan to create a campus for food, education, and events. Properties are located at 343 Wheeler Road and another unaddressed parcel on Wheeler Road, Stonington; M/B/L: 94-1-4; 86-1-4. Properties are located in the RR-80 Zone and GBR-130 Zone.  
*Public Hearing continued to February 6, 2024.*
10. New Submittal(s):
  - a. **PZ2335BR BG Ventures, LLC (E. Goodman)** – Bond Release/Reduction application for work performed under application PZ2125SUP & CAM. Property is located at 26 Old Stonington Road, Stonington; M/B/L: 153-2-3. This property is located in the GC-60 Zone.
11. Adjournment

Planning & Zoning Commission  
Special Meeting  
January 2<sup>nd</sup>, 2024  
Draft Minutes

The 1746th meeting of the Town of Stonington's Planning and Zoning Commission was held at the Stonington Board of Education Office, 40 Field Street, January 2, 2024. The meeting was called to order at 7:00 PM by Chairman Charles Sheehan. Also present for the meeting were MaryEllen Mateleska, Ryan Deasy, Gary Belke, Bennett Brissette, and Town Planner Clifton Iler. Andy Meek, Ben Philbrick, and Lynn Conway were not present.

Seated for the meeting were Charles Sheehan, Ryan Deasy, Gary Belke, and Alternates Bennett Brissette and MaryEllen Mateleska.

**Minutes:**

Mr. Deasy made a motion to approve the minutes of December 19, 2023, seconded by Mr. Belke, all were in favor, 5-0.

Mr. Deasy made a motion to approve the minutes of December 20, 2023, seconded by Mr. Belke, vote was taken 3-0-2. Abstain from MaryEllen and Ryan Deasy.

**Public Comment:**

Jim Moody, 77 Old North Rd, was not in favor or against the Mason's Island CAM applications on this agenda, however he would like the Commission to know that Old North Road does flood, storm drains do not treat this area, and houses in addition to this would make the issue worse. The lot is not currently empty, there are boats and other items being stored there. (*Commissioner Sheehan explained that this Public Comment section is often reserved for comments outside of a particular night's agenda, however an email from Mr. Moody was not included in tonight's report, thus he was allowed a brief comment*).

**Correspondence: None**

**Reports: None**

**Old Business:**

**PZ2331CAM Masons Island Company, Inc. (S. Moran)** – Coastal Area Management application to accompany future Zoning Permit application for the construction of new residential structures. Property is located at Old North Road, Mystic; M/B/L: 175-2-3. This property is located in the RM-15 Zone

Seamus Moran, H+H Engineering, displayed the conceptual lot development idea. The lot is available for a free split (Commissioner Sheehan clarified that one split of a non-subdivided lot is 'free'; a 'subdivision' must consist of three lots, or two splits). Per Mr. Moran, the conceptual plan shows both properties as duplexes as this is the most intensive use allowed, however the developer could shift to single family units if desired. The existing dock will remain on "lot 1". Both proposed duplexes have 2 three-bedroom units;

6 bedrooms on each lot. Lot 1 was approved by Ledge Light. Mr. Moran discussed comments from the Town Engineer as well as DEEP.

Atty John Chase discussed the submitted report from SLR and comments from DEEP.

The Commission questioned what would trigger this application to come before them again. Per Mr. Iler, this conceptual plan is the highest and most intensive use of the site thus a substantial change would be required.

Mr. Moran discussed the grading of these lots for the Commission upon request. Per Mr. Moran, the buildings do not have to be built on piers; this specific plan consists of foundation walls with flood vents; however, no utilities will be in this cellar area. Mr. Moran agreed that lesser events than a 100-year storm may still produce some flooding here.

No staff comments.

Mr. Deasy made a motion to approve the application with existing stipulations, seconded by Mr. Belke, all were in favor, 5-0.

**PZ2332CAM Masons Island Company, Inc. (S. Moran)** – Coastal Area Management application to accompany future Zoning Permit application for the construction of new residential structures. Property is located at Old North Road, Mystic; M/B/L: 175-2-3. This property is located in the RM-15 Zone.

Mr. Deasy made a motion to approve the application with existing stipulations, seconded by Mr. Belke, all were in favor, 5-0.

#### **Public Hearing(s): Began at 7:36 PM**

**PZ2328SUP Phoenix Pawcatuck, LLC (Northeast Sign Co.)** – Special Use Permit application for Special Wall Signs pursuant to ZR §14.7.1 to permit a building mounted sign totaling 37.5 SF. Property is located at 100 Mechanic Street, Pawcatuck; M/B/L: 4-7-16. Property is located in the Heritage Mill Zone.

Beth Tabriz, Interior Designer at Northeast Sign Co, discussed the necessity to build a larger size than what is allowed; it will be acrylic and without illumination. Ms. Tabriz displayed a rendering of how the sign will appear on the building. The commission confirmed that there will be no lighting and Ms. Tabriz further discussed the necessity for a special use permit.

Mr. Iler discussed brief staff comments, none of which were against this application.

Mr. Deasy made a motion to close the public hearing at 7:47 PM, seconded by Mr. Belke, all were in favor, 5-0.

Mr. Deasy made a motion to approve the waivers, seconded by Mr. Belke, all were in favor, 5-0.

Mr. Deasy made a motion to approve the special use permit with existing stipulations, second by Mr. Belke, all were in favor, 5-0.

**PZ2329ZC Maple Lawn Farm, LLC (Paul & Sharyne Cerullo)** – Zoning Map Amendment application for an Agricultural Heritage District (AHD) Zone. Proposal consists of a Master Plan to create a campus for food, education, and events. Properties are located at 343 Wheeler Road and another unaddressed parcel on Wheeler Road, Stonington; M/B/L: 94-1-4; 86-1-4. Properties are located in the RR-80 Zone and GBR-130 Zone.

Paul Cerullo, 343 Wheeler Rd, displayed a slide show and explained the historic, current, and potential future activities of this property. Mr. Cerullo discussed the agricultural activities that have taken place on this lot as well as current uses such as raising ducks, chickens, small crops, etc. Per Mr. Cerullo, drainage has always been something that they have tried to address, the pond helps in reducing flooding on Wheeler Rd, a high yield well has been installed to reduce stress on residential wells, and there was further discussion regarding the homestead renovation. Mr. Cerullo would like to create a self sufficient property that can financially support itself and hold recreational events that include art, culinary education, weddings, etc. Per Mr. Cerullo, the agricultural funds that have been raised have all gone toward scholarships in addition to fundraiser events held with the TAPS organization.

Mr. Cerullo confirmed for the commission that there have no no complaints about traffic, noise, or anything else during the TAPS events. The Commission discussed stormwater management with Mr. Cerullo and the desire for there to be more extensive plans in writing on how this will be managed.

Bob Mercer, MBV Architects, confirmed that he is not qualified to produce a stormwater management plan. Only a few days prior to the meeting they received a detailed list regarding information that should be included in their plans. They are working on producing conceptual plans for stormwater management and a traffic study.

Jessica Cerullo, 16 Cutler St, discussed the farm land loss in Connecticut. Per Ms. Cerullo, it is important to gather meaningfully and garner community relationships. She discussed the artistic and recreational activities that honor the nature and historic elements of this property.

The Commission agreed that a master plan should have conceptual ideas regarding stormwater management and a traffic study.

Mr. Iler discussed comments from the town commissions and town staff. The determination of intent is up to the Commission this evening. Mr. Iler discussed the rules of zone amendments within Stonington's regulations. Mr. Iler discussed the timeline of this application and what will be expected from this Commission.

Public Comment:

Bill Lyman, 579 Taugwonk Road, had concern regarding large events where boundaries may not be clearly defined, the amplification of music, and the frequency and timing of events. According to Mr. Lyman, 'fundraising events' is a vague term and should be defined more explicitly in a master plan.

Stuart Cole, Chairman of Conservation Committee, discussed the intent of the AHD. All activities shown by the applicant can be done without this zoning amendment. Mr. Cole read from comments that were already submitted on the record. The AHD does not prevent this land from being subdivided with multiple homes in the future; there is little control over future uses of this land. Mr. Cole is concerned with the looseness of regulations for this zone.

Stanton Simm, 20 Sommers La, reiterated that none of these activities require the AHD zone change. This would not prevent a commercial entity from purchasing the property in the future. Permitted 'performances' should be better defined. Mr. Simm discussed similar properties in Stonington which currently use easements to preserve land and are not within an AHD zone.

Joyce Fingerut, 537 Taugwonk Rd, has experienced noise issues from Stonington Vineyards as there is no real enforcement, broken promises, etc. Ms. Fingerut would like the commission to consider time limits, decibel restrictions, and overall enforcement of these rules.

Ben Tamsky, 5 Edgemont St, spoke as a citizen, reinforced that guidelines should be in place for amplified music; it can be a long process to enforce sound, number of events / people, etc.

Laurie Cerullo, 267 Taugwonk Rd, daughter of Paul and Sharyne Cerullo, confirmed her and her sister's intention to maintain their parent's vision for future generations.

Carrie Moore, 186 Dawley Dr, expressed appreciation for the Cerullo's intentions. Ms. Moore is concerned as a mother and neighbor regarding noise, traffic, drunk driving, and potentially setting a precedent for 'spot zoning'. Ms. Moore discussed that intention does not prevent certain actions of others. They have heard noise from parties in the past. The Moores bought their property due to the surrounding land preservation.

John Pereira, 182 Dawley Dr, expressed concern regarding large events as there have been events in the past that have disrupted their horses.

Vicki McCord, 400-Wheeler Rd, wanted to inform the Commission that she has never heard loud noises or parties as others have stated. Ms. McCord is in favor of this application.

Anna Hankin, 30 Dawley Dr, expressed that up to this point they have not experienced any issues with loud noise; however, she is concerned about this increasing in the future.

Rebuttal:

Mr. Cerullo explained that they simply responded to a Town letter regarding the AHD zone and it seemed to be a good idea considering the options that were available to them to preserve this land. Mr. Cerullo

confirmed that he is happy to adhere to any necessary rules regarding lights, sound, etc. Mrs. Cerullo explained that the farm used to be around 600 acres but pieces have been sold; they would like to prevent that from continuing. The extra parking was an attempt to improve the application, not to indicate a desire for larger events. Per Mr. Cerullo, the location of a tent for events would be behind the house and not visible from the street. Parking would also be behind the house. There is a 96-acre lot that serves as a 'horse shoe buffer' around their lot.

Mr. Iler discussed 'floating zone' precedent and why this is not an example of 'spot zoning'. It was confirmed that decibel regulation cannot be set by this Board, however they could eliminate it all together; setting a limit would be a Police issue. Mr. Iler listed a number of items on the town's radar, mostly conceptual items.

Mr. Deasy made a motion to table the public hearing until Feb 6th, seconded by Mr. Belke, all in favor, 5-0. The public hearing was tabled at 9:33 PM.

Mr. Deasy made a motion to adjourn the meeting, seconded by Mr. Belke, all in favor, 5-0. The meeting was adjourned at 9:34 PM.





# Zoning Enforcement Officers' Report

## Stonington Department of Planning

**December 2023**

### ZONING PERMIT SUMMARY

APPLICATION STATUS	December 2023	YEAR TO DATE
Received	18	304
Approved	15	297
Pending	3	4
Denied	1	2
Withdrawn	0	1

### PENDING PERMITS

PERMIT ADDRESS	OWNER	RECEIVED	REQUEST	WAITING
29 W. Broad St.	Jim Lathrop	8/17/2023	2 (1-bedroom apts)	SUP required
Enders Island	St. Edmunds	12/8/2023	Construction of interior seawall repairs	PZC Approval
1 & 7 River Rd.	Norwest Marine	12/8/2023	Marina yard and dock repairs	PZC Approval
7 Yellow Fin	EG Homes	12/21/2023	SFR	E/S Compliance

## CERTIFICATES OF ZONING COMPLIANCE

	December 2023	YEAR TO DATE
SFR CZC	5	35
Total CZCs issued	20	155

## COMPLAINT SUMMARY

	December 2023	YEAR TO DATE
Received	4	66
Notice of Complaint	0	0
NOVs Issued	0	23
Citations Issued	0	0
Cease and Desist	0	4
Resolved	4	42

## COMPLAINTS RECEIVED

\*(D = Distressed Property)

COMPLAINT ID	RECEIVED	ADDRESS	COMPLAINT
23-001	1/3/2023	34 Roseleah Dr.	Construction without permits. 1/3/2023 NOV issued. 3/30/2023 Met with Attorney Mark Zemarka, he will be starting to work on a compliance avenue for his clients
23-012	2/21/2023	13 Cleveland St	Junk all of yard. Old freezer. 2/23/2023 Inspected site. Total mess, NOV to be issued. 3/8/2023 NOV issued. 3/15/2023 Spoke with Rhandi Avery aka Riske, She will be getting dumpster and should have the site in compliance by the end of April.

			<p><i>She aske about a garage she took down, The garage shows on the 2019 flyover. She was told if she submitted an application to rebuild the garage, we would honor it.</i></p> <p><i>4/11/2023 Site currently being cleaned up. More needed. See photos</i></p>
23-017	3/28/2023	29 Mechanic St.	<p>Building is deteriorated, yard is full of refuse, landscape is not maintained, unregistered cars, etc</p>
23-024	4/19/2023	42 Riverside Dr.	<p>(5) Connex Boxes, Debris &amp; Junk Interior and Exterior</p> <p>4/20/2023 Issued NOV</p> <p>5/5/2023 Yvette called office. Boxes are full of parents belongings. She is getting a dumpster and will start emptying them out. She believes by June 4, 2023.</p> <p>6/4/2023 Requested extension to end of month</p> <p>8/11/2023 C/D</p> <p>8/29/2023 Yvette called the office, they will have the majority of the work done on Labor Day weekend. "team of People" due to help. Has one dumpster on site but was too small.</p> <p>9/6/2023 Yvette called to tell us that she has emptied 1 ½ bin and hopes to have three done by the end of the week.</p>
23-040	7/18/2023	32 Broadway Ave.	<p>Not building to plan, creating third floor on structure.</p> <p>7/25/2023 Forwarded set of signed plans to Atty. Mark Branse.</p> <p>Third floor constructed without permits. Atty Branse plans on going to PZ for approval</p>
23-041	7/18/2023	9 Williams Ave	<p>Paving without site plan approval</p> <p>7/19/2023 Area appears to be extended from pre-existing paved area converted to gravel. Gravel placed within the last year.</p> <p>9/12/2023 additional pavement appears to be creating water issues downgradient.</p> <p>9/12/2023 NOV issued.</p>
23-046	8/7/2023	OMFD	<p>Training Trailer Structures w/ No Permits.</p> <p>8/7/2023 "The Old Mystic Fire District is taking a step back and looking at all options for the training trailers. I will stay in touch with you as we progress forward. Thank you for your understanding."</p>
23-048	9/8/2023	33 Pellegrino Rd.	<p>"Two cars apparently abandoned. One is on the front lawn; a jeep wrangler is in the driveway. They've been there for years. The concern is that fluids will leak and gravitate towards wells.</p> <p>9/11/2023 Three cars on site not registered.</p> <p>9/18/2023 NOV issued.</p> <p>10/6/2023 Christina Lopez called office. Explained jeep (dead battery), BMW (overheating) and last car was 2016 which was been abandoned on property. She was given 3 weeks to start addressing disposable of at least two cars or registering them. Check back November 1, 2023</p>

23-049	9/11/2023	977 Pequot Trail	<p>"Outhouses and several campers living on the property. Dogs, feral cats, ducks, and a rooster on the property. Child living on property with no running water"  9/12/2023 Multiple unregistered motor vehicles, household debris, ducks &amp; rooster.  9/12/2023 NOV issued.  11/13/2023 CD issued</p>
23-054	10/23/2023	OMFD Old Mystic	<p>"Last night 10-19-23 from approx. 7:30pm to 10pm the mobile training facilities were being used by firefighters training. From what I understood they were not from the Old Mystic Dept but described themselves "from the area". One of the firetrucks had Pawcatuck on the side. Also, they mentioned, when asked, that the training was approved by the Chief (Ken R.) to do so. I'm wondering what is going on here, it was my understanding that they were not to be used under any circumstance and that they were to be moved once another site had been found? I should also mention they were planning to do this well in advance since when I was picking up my kids from the bus stop at 3:30pm on the same day there were two or three trucks moving items in and out of the units during that time."</p> <p><i>Candace, as you are aware the OMFSD has retained my firm to look at the issue of its use of the trailers.. I believe they have a legal pre-existing non-conforming use for the trailers. I will be putting together my analysis and backup which I will send to you once completed. As for the recent training that was only for rescue purposes and no material was burned during this training. We will also provide to you an outline of steps we would be willing to take in order to address concerns raised by the neighbors at the prior hearing despite the fact that as a legal pre-existing use the OMFD would not be required to make any changes. Feel free to reach out with any questions. Regards Paul.</i></p> <p>11/15/2023 Waiting for report.</p>
23-055	10/25/2023	Yellow Fin / EG Homes	<p>Failed E/S  10/30/2023 NOV issued</p>
23-059	11/13/2023	29 Griswold St	<ol style="list-style-type: none"> <li>1. "Filth, piles of trash we have seen rats &amp; racoon run into trash in their yard. Seagull there often too. Fire Hazard – gas cans in yard. Interferes with use and enjoyment in the neighborhood. They never mow their lawn, everything is overgrown, dead trees and trash. We maintain our yard and home, do not get to enjoy our yard due to the sight &amp; dangerous, unsafe house behind us."</li> <li>2. Not only is it an eyesore the drug dealing is bringing all sorts of scary characters and creating an unsafe environment for neighbors. Pile of trash in yard ends up in street and our yards when windy.</li> </ol>

			<i>11/20/2023 Inspected site / NOV issued</i>
23-060D	11/15/2023	3 Vars Ave.	Grounds are overgrown, building appears to be abandoned and inhabitable, porta potty outside. Eyesore for the community. <i>11/20/2023 Does not trigger enforcement action</i>
23-062	11/20/2023	63 Main St.	Backhoes, trucks, lawn equipment parked in the front of the property on the corner.
23-063	12/5/2023	39 Field St.	Debris in yard, structure in yard with no building permits, rusty wood stove, dead rat found next to property. <i>Site does not rise to any blight enforcement. The greenhouse has been constructed without permits, Carl Cullen [grandson of the owner] will be in the office to file for a zoning permit within the next two weeks.</i>
23-064	12/14/2023	39 Whitehall Ave	16.75 foot by 14' electric dance floor had been installed in the dining room area, stage being built, tables and chairs being moved
23-065	12/28/2023	Enders Island	Expansion of existing parking lot <i>Previous complaints on the parking lot [south area of lot] were in regards to what had been perceived as a parking lot but is a laydown area for a future application. It has been roped off to eliminate any parking. Current complaint is regarding an expansion of the existing parking lot located to the northwest of the lot</i>
23-066	12/27/2023	198 Mistuxet Ave.	Water runoff coming down into other properties, specifically 140 Hewitt Road causing flooding inside and outside the SFR. <i>Inspected site. Lot partially cleared but not stumped for future development of SFR. Excessive amount of rain in the last 6 weeks. Any additional clearing will be addressed with the SFR application. Complainants house is located in a floodzone.</i>



Town of Stonington | Department of Planning  
Planning and Zoning Commission Meeting  
January 16, 2024  
Summary of Administrative Review Items<sup>1</sup>

*Per Section 15.3.2 of the Zoning Regulations, Administrative Review proposals are required to receive Commission approval. Section 15.3.3 of the Zoning Regulations gives the Commission guidance on reviewing modifications to approved plans.*

**Report Prepared By:** Clifton J. Iler, AICP – Town Planner

## Applications

1. **C.G.S. 8-24 Review: Circus Lot** – Request for review and report for the potential purchase of 29 Noyes Avenue (M/B/L: 1-3-1) by the Town of Stonington pursuant to C.G.S. 8-24.

The Town of Stonington is considering the purchase of 5.6 acres of land in Stonington located at 29 Noyes Avenue (M/B/L: 1-3-1), commonly referred to as the “Circus Lot.” This parcel is located along the Pawcatuck River and has been the subject of discussion as a location for a new public park, pending funding and approval. Currently, this property is owned by the Town of Westerly but is available for purchase by the Town of Stonington for \$35,000.

The Board of Selectmen voted unanimously to refer the potential acquisition of this land to the Commission for their review and report at their January 10, 2024 meeting. Please find the memorandum from the First Selectman’s Office attached.

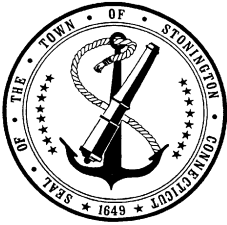
Per C.G.S. 8-24, a proposal made by a municipal agency to acquire land for the use as a park or other public recreation facility is subject to review by the permitting agency (Planning and Zoning Commission). The Commission is required to make a finding of consistency with the Plan of Conservation and Development.

The Department of Planning has no questions or concerns with the potential acquisition of the Circus Lot.

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<sup>1</sup> Summary reports are intended to be summaries of application information and issues by staff for the Commission. This report is not considered part of an applicant’s submittal, nor can it be considered an approval or denial of an application.





# TOWN OF STONINGTON

SELECTMAN'S OFFICE  
DANIELLE CHESEBROUGH  
FIRST SELECTMAN

152 Elm Street • Stonington, Connecticut 06378  
(860) 535-5050 • Fax (860) 535-1046  
[dchesebrough@stonington-ct.gov](mailto:dchesebrough@stonington-ct.gov)

January 10, 2024

Mr. Charles Sheehan, Chair  
Planning & Zoning Commission  
152 Elm Street  
Stonington, CT 06378

Dear Mr. Sheehan,

The Board of Selectmen at a special meeting held on January 10, 2024 voted unanimously to approve referring the potential purchase of certain real property known as the "Circus Lot" located at 29 Noyes Ave, Pawcatuck to the Planning and Zoning Commission for a report on said potential purchase.

Therefore, pursuant to Connecticut General Statute Sec 8-24, the Board of Selectmen refers this to your commission for a report. After receipt of your report, the Board of Selectmen will move the item of the potential purchase to a special town meeting tentatively scheduled for Monday, February 26, 2024.

Please find information on the property enclosed.

Warm regards,

Danielle Chesebrough

cc: C. Iler





## **TOWN OF STONINGTON**

152 Elm Street • Stonington, Connecticut 06378 • (860) 535-5050

January 11, 2024

Re: Circuit Lot Acquisition

Dear Planning and Zoning Commission,

The "Circus Lot" is the locally referenced name for a 5.6 parcel of land that sits along the federally designated Wild and Scenic Pawcatuck River in Stonington located at 29 Noyes Ave in Pawcatuck. It is currently a problematic property; however, with hard work and financial investment, it could become a wonderful asset.

This parcel of land is currently owned by the Town of Westerly, but located within the Town of Stonington. Per a reverted clause in the deed, Stonington has the right to purchase it back for \$35,000 so long as Westerly Water is no longer using the exclusively for water production purposes.

Creating a public park has been an ongoing discussion in the community for over a decade. In the past two years, Stonington has invested in making progress toward this goal. The Town has done a topography and wetlands survey, Phase I and Partial Phase II environmental testing, created a concept plan, and further engaged the community. In regards to the environmental testing, other than the groundwater – which is associated with off-site properties, no significant environmental issues were found for the site (soil) itself. Generally, levels detected were below applicable regulatory criteria and would not limit site development.

All these steps have yielded positive results and plans are underway to take the final legal steps to purchase the land. The Town has also passed its annual budget, which includes \$125,000 to allow for work to purchase and begin work toward creating this new local asset.

The objective is to turn this property into a community asset that allows for outdoor recreation for people of all ages and ability. It will offer much needed public access to the water, along with walking trails, a sports field, and playground area.

The Town plans to utilize LID/Green Stormwater Strategies as the site has the ability to utilize different stormwater treatment approaches, and could be used as a demonstration project for the public.

The project will serve as an example of how a municipality can utilize and improve a degraded property, within a flood zone to create a useful, public amenity without displacing any of the flood storage capacity of the site. The vegetation on the site is now dominated by invasive species. A goal is to remove the invasive species, restore the riparian zone along the river, and the upland woodland & riverine grassland habitats, which will enhance the environmental quality and offer educational opportunities for CT residents and visitors.

Rehabilitating this parcel could also help enhance the economic development along the Route 2 corridor, which currently has two vacant lots abutting this parcel, as well as Stonington's village of Pawcatuck, which is a 0.2-mile walk. This parcel is also located in a 'Environmental Justice Community' and 39.33% of people who live in this area of our community are low/moderate income.

There should be no adverse impacts on water quality, wildlife, or quality of life in surrounding communities. The plan should enhance the environment in and around the park and river, as well as the quality of life for the community.

We are looking to send this to a Town Meeting for Stonington residents to vote on the opportunity to purchase this property back from Westerly, and further work can then commence on creating a new public asset along the Pawcatuck River.

Sincerely,

A handwritten signature in blue ink, appearing to read "Danielle Chesebrough".

Danielle Chesebrough, Stonington First Selectman



Attachment B: GIS View





Town of Stonington | Department of Planning  
Planning and Zoning Commission Meeting  
January 16, 2024  
PZ2333CAM St. Edmunds Retreat (K. Nielson)

*Coastal Area Management application for the repair and restoration of the existing shoreline structures and landward seawall at St. Edmunds Retreat on Enders Island. Property located at Enders Island, Mystic; M/B/L 178-1-1. Property is located in the RC120 Zone.*

**Report Prepared By:** Clifton J. Iler, AICP – Town Planner

## Application Status

This application requires Coastal Area Management (CAM) review pursuant to [Section 22a-109\(g\)](#) – which states that CAM applications are subject to the same timeframe requirements as Subsections (a) and (b) of Section 8-7d for the purpose of determining the time limitations for a zoning commission to reach a final decision. The Commission can elect to conduct a public hearing if desired, although [C.G.S. Section 8-7d\(b\)](#) places a 65-day limit on the timeframe to review and act on a Site Plan or CAM application whether or not a public hearing is held.

- Official Date of Receipt for this application was 12/19/23.
- Tonight's meeting is **Day 28** of 65 total days to decide on the application.
- A decision, without extension, must be made by 2/22/24.

The applicant may consent to one or more extensions provided the total period of any such extension or extensions shall not exceed 65 days.

## Purpose

This application is for the repair, restoration and modification of existing shoreline structures including the causeway viaduct, bridge, utilities, shoreline seawalls, revetments, and boat access facilities at St. Edmunds Retreat on Enders Island. This project will utilize recycled, reclaimed materials from onsite for all aspects of the walk except for the new concrete for the wharf and seawall. The new seawall will be built upon a pervious foundation of rock and crushed stone to allow for the free drainage of subsurface, percolated rainfall out into coastal waters. There will be no new impervious structure or pavement.

The application set includes a detailed description of the project overview.

## Zoning and Context

This parcel is in compliance with the Town of Stonington Zoning Regulations as a pre-existing, legal nonconforming use. Below are the bulk and use requirements of the Zoning Regulations for the RC-120 Zone.

### RC-120 Zone Bulk and Use Requirements

	<i>Required</i>	<i>Provided</i>		<i>Required</i>	<i>Provided</i>
Lot Size	120,000 SF	±435,000 SF	Building Height	25'	50.5' <sup>1</sup>
Frontage	300'	±3,000'	Floor Area Ratio	0.04	0.083 <sup>2</sup>
Setbacks (F/S/R)	75'/75'/100'	Varies <sup>3</sup>	Parking	N/A	N/A <sup>4</sup>
Res. Buffer	N/A	N/A	Non-Infring. Area	100'	Varies <sup>5</sup>

### ZONING MAP



<sup>1</sup> COV01-12 issued on May 8, 2001.

<sup>2</sup> COV01-12 issued on May 8, 2001.

<sup>3</sup> Pre-existing legal nonconformity established prior to 1979.

<sup>4</sup> Application does not establish use. See Section 13 of the Zoning Regulations.

<sup>5</sup> Pre-existing legal nonconformity established prior to 1979.

## Site Access and Traffic

The site is accessed from Yacht Club Road. There are no expected traffic impacts with this development.

## Environmental Elements

This site falls within the Coastal Area Management Overlay District (CAMOD) and is within 100 FT of designated coastal resources and therefore subject to CAM review. This application is subject to review by CT DEEP and currently in the process of obtaining a Certificate of Permission (COP) for the project. Correspondence from CT DEEP is captured in the Response Summary.

The site also is located entirely within the Flood Hazard Overlay District (FHOD) and FEMA Special Flood Hazard Areas (SFHA), therefore regulated by FEMA and local floodplain management regulations. The existing seawall and revetment structures are located right along the boundary line between a VE (Velocity) Flood Zone with a Base Flood Elevation (BFE) of 14 feet NAVD88 and an AE Zone with a BFE of 13 feet. Inland of the coastal structures, for most of the site, the flood zone transitions to an AE Zone with a BFE of 12 feet. The proposed project does not include any fill or construction within a VE zone. The construction and fill proposed will take place in AE Zones under coastal influence, so does not require VE Zone standards or compensatory storage.

## Utilities

The site is currently served by public water and private septic.

## Waivers Requested

No waivers are requested with this application.

## Response Summary

The application was routed to the following agencies/agents of the Town. Responses are shown below:

**BUILDING OFFICIAL** – No comment.

**HARBOR MANAGEMENT (MYSTIC)** – I am well aware of this project as it has been discussed in detail at the Mystic Harbor Management Commission meetings. I have reviewed the documents you forwarded and I completely support this effort. The sooner this work commences the better as the existing wall continues to threaten the integrity of Enders Island. [Dated:12/14/23]

**TOWN ENGINEER** – Awaiting comments.

**FLOODPLAIN MANAGER (SLR INTERNATIONAL)** – See attached memorandum.

**WATER POLLUTION CONTROL AUTHORITY (WPCA)** – The WPCA has no comment regarding the above referenced P&Z application as this project has no effect on the sanitary sewerage system. [Dated: 1/2/24]

**ZONING ENFORCEMENT OFFICER** – No comment.

**FIRE DISTRICT MARSHAL (MASONS ISLAND)** – See attached memorandum.

**CT DEEP LAND & WATER RESOURCES DIVISION, REGULATORY – EAST REGION**– See attached memorandum.

## Town Planner Comments

The Town Planner offers the following comments on the application:

1. The bulk requirements for the RC-120 Zone are incorrectly labeled on Sheet 1.
2. The applicant should include a detail showing the proposed walkway material and rail design. Additionally, the applicant should show available and proposed ADA-accessible ramps or pathways on the Site Plan.
3. The Landscape Plan (Sheet 4) does not show the proposed landscaping for areas where there is existing *Boulder Rock Stockpile and Brush* (Sheet 2). The applicant should revise the Landscape Plan to include the entirety of the island.
4. This application received an overwhelming number of comments from the public. As of the date of this report, there are 119 comments in favor of the application, and 3 opposed.

There are no additional questions or concerns with the proposed application.

## Recommended Stipulations

Should the Commission decide to approve this application, the Department of Planning recommends the following stipulations of approval:

1. The applicant shall address the outstanding comments to the satisfaction of the Town Engineer and Town Planner.
2. The applicant shall provide the Town of Stonington a copy of the Certificate of Permission (COP), once approved by CT DEEP, to include in the project file.
3. Final plans shall be reviewed to the satisfaction of the Town Engineer.
4. Prior to the issuance of a Zoning Permit, the final plans shall be signed by the Commission and recorded in the Town's Land Evidence Records.
5. Modifications to the site development plans, if necessitated by CTDEEP or USACE, shall be reviewed and approved by Town staff and the Commission, as necessary.

## Commission Action Required

The Commission is required to make a determination on the following items:

- A decision on the Coastal Area Management (CAM) application

*Section 9.2.8 – The Commission may approve, deny, or modify with conditions any project within the CAM boundary. In addition, the Commission may require additional erosion and sediment control measures, measures to mitigate any adverse impacts, pedestrian access easements, visual access easements, and conservation easements, and may require a design review in accordance with Section 17.1 of these regulations if the project is proposed for an area which has been designated as a viewshed or resource area in the Plan of Conservation and Development.*



# Memorandum



**To:** Clifton Iler, Candace Palmer  
**From:** Noah Slovin, AICP, CFM  
**Date:** January 5, 2024  
**Subject:** PZ2333 St. Edmund's Retreat on Enders Island

---

Materials submitted on December 8, 2023 by DOCKO for St. Edmund of Connecticut were reviewed in January 2024 at the request of the Town of Stonington.

## Overview

The application is to complete repairs, restorations, and modifications of existing shoreline structures. The proposed project will consist of construction of a new seawall and an elevated walk behind the seawall.

The project area is located entirely within FEMA Special Flood Hazard Areas (SFHA; areas with a 1% annual-chance of flooding, regulated by FEMA and local floodplain management regulations). The existing seawall and revetment structures are located right along the boundary line between a VE (velocity) Flood Zone with a Base Flood Elevation (BFE) of 14 feet NAVD88 and an AE zone with a BFE of 13 feet. Inland of the coastal structures, for most of the site, the flood zone transitions to an AE zone with a BFE of 12 feet.

The proposed project includes some demolition of the existing seawall, including portions located within the VE zone. All proposed new construction and fill appears to be limited to the two AE zones, or inland. The proposed project does not include any new buildings or alterations to existing buildings.

## Findings

The proposed project does not include any fill or construction within a VE zone. The construction and fill proposed will take place in AE zones under coastal influence, so does not require VE zone standards or compensatory storage. This aligns with FEMA and local floodplain regulations.

It is possible that alterations to the existing shoreline protection infrastructure will alter flood conditions. While this does not have a direct impact of FEMA or local floodplain regulations, it should be considered.

## Recommendations

The proposed project aligns with FEMA and local floodplain regulations.



Projected sea level rise may, over time, cause inland migration of the FEMA VE zone, which may impact future maintenance or upgrades to the proposed seawall and elevated walkway; however there are no direct concerns with regards to this project.

It is possible that proposed alterations to the existing seawall and other shoreline infrastructure will change local flood conditions; this may be reflected in both actual flood risk and in mapped flood risk during future FEMA map updates. The Town may want to clarify proposed alterations to existing shoreline infrastructure (for example, will the existing seawall be removed or changed?), and, if significant alterations are proposed, require the proposer to model potential impacts on flood exposure.

## **Conclusions**

Based on a review of the application provided, the proposed project is acceptable from a floodplain management perspective.

Please contact me with any questions.

**Noah Slovin** AICP, CFM  
Senior Resilience Planner

**O** [617-865-2544](tel:617-865-2544)  
**E** [nslovin@slrconsulting.com](mailto:nslovin@slrconsulting.com)

SLR International Corporation  
10 High Street, Suite 605, Boston MA United States 02110

*The above permit application review was conducted in good faith using available information and the consultant's best interpretation of local, state, and federal floodplain management codes and guidelines.*





January 5, 2024

Stonington Planning and Zoning Commission  
c/o Clifton J. Iler, AICP  
Town Planner  
152 Elm Street  
Stonington, CT 06378

**Subject: St. Edmund's Retreat, Enders Island, Coastal Site Plan Review**

Dear Commissioners:

Thank you for notifying this office of the proposed coastal site plan application noted above. Our office has reviewed the application for consistency with the policies and standards of the Connecticut Coastal Management Act (CCMA), and we offer the following comments for the commission's consideration.

The applicant is seeking to repair, restore, and modify the existing shoreline structures including the causeway viaduct, bridge, utilities, shoreline seawalls, revetments, and boat access facilities. The applicant has indicated that recycled, reclaimed materials from onsite will be utilized for all aspects of the work except for new concrete for the wharf and seawall.

Most of the work proposed in the coastal site plan application is also under DEEP's coastal regulatory jurisdiction. We note that the applicant is in the process of obtaining a Certificate of Permission (COP) for the project (Application #202308931-COP). Correspondence from LWRD's Regulatory – East section was sent to the applicant on December 28<sup>th</sup>, 2023, indicating that additional information was needed to evaluate the proposal. We have attached a copy of this correspondence for the Commission's information.

DEEP has requested that the applicant provide additional information necessary to evaluate the COP application (e.g., current photographs of the existing structures identified in the application, a license history, additional information regarding dredging, and various consultation forms), and a full list of the additional materials necessary can be found in the attached correspondence.

With respect to the subject coastal site plan application, we have also requested additional information about how the seawall will allow storm surge or spray which may overtop the proposed lower seawall to drain from behind the seawall. We recommend that the applicant also demonstrate to the Commission how this water will be removed and revise the COP and coastal site plans accordingly should an additional weep hole be necessary.

Please note that the additional information requested for the COP application must be received by DEEP no later than February 1, 2024, to allow for time to adequately review the additional submissions in order to issue a decision by March 13, 2024. As our office has indicated, failure to comply with this deadline may result in the denial of the COP application.

Thank you for the opportunity to comment on this application. We hope these comments are helpful to the Commission. Should you have any questions regarding this letter or any other coastal management matter, please feel free to contact me at [braden.lynn@ct.gov](mailto:braden.lynn@ct.gov).

Sincerely,



Braden Lynn  
Environmental Analyst  
Land and Water Resources Division

BL

Attachment

cc: COP/Michael Grzywinski, Regulatory East

January 3, 2024

Adrianna Bancroft-Jones  
Department of Planning & Land Use  
Town of Stonington  
152 Elm Street  
Stonington, CT 06378

Re: PZ2333CAM Enders Island Shoreline Restoration

Dear Ms. Bancroft-Jones:

The Mason's Island Fire District (MIFD) was established to perform the purposes set forth in paragraph 7-326 of the CT General Statutes, including the responsibility to levy and collect taxes to pay for the construction and maintenance of the roads in the District, which are privately owned by the Masons Island Property Owners Association (MIPOA), and to secure emergency services for the residents and visitors in the District. To fund these responsibilities, the MIFD collects taxes from approximately 220 property owners within the boundaries of MIFD and MIPOA.

Enders Island is within MIFD boundaries. Its residents and guests are responsible for placing over 25,000 vehicles per year on MIPOA-owned roads to access Enders Island, which is nearly 25% of all traffic on the rights-of-way. Enders Island relies on the fire and emergency protection services provided and funded by the District. While benefiting from these services, Enders Island is owned by St Edmund of Connecticut, Inc., which is a 501 (c) (3) corporation and, thus, is not required to pay taxes to MIFD to help fund these services.

At times, the owners of Enders Island have helped defer the costs of these services via a voluntary annual contribution to the MIFD. Unfortunately, since taking possession of Enders many years ago, neither St Edmund of Connecticut nor its tenant, St Edmunds Retreat, have chosen to continue making such regular contributions to MIFD. This places an undue burden on the other property owners in the District who are bearing the full cost and responsibility of road maintenance and emergency services required for St Edmunds Retreat to provide the pastoral programs offered to all residents of Stonington and neighboring towns.

While we acknowledge that the Town of Stonington is not in a position to alter the aforementioned financial arrangement, the purpose of this letter is to gain reassurances for MIFD taxpayers that the above referenced Shoreline Restoration project does not further increase our financial burden.

Our concerns regarding this project are as follows:

- Damage to our newly paved private roads resulting from a high volume of heavy construction equipment, large heavy trucks carrying rock and concrete, etc.
- Increased traffic on Chippechaug Road, East Forest Road, and Yacht Club Road creating safety and security concerns for our taxpayers.
- Additional emergency services incidents from the construction work to be performed.

**Damage to MIFD Roads:**

MIFD and MIPOA recently completed a multi-year roads repaving and water-main replacement project. This project included the repaving of Chippechaug Trail, East Forest Road, and Yacht Club Road – the right-of-way to Enders Island. The cost of this portion of the project was approximately \$300,000.00.

All construction vehicles and equipment required for the project will need to travel down Chippechaug Trail, East Forest Road, and Yacht Club Road to get to Enders Island. These are small, private, residential roads that were not designed nor constructed for a high volume of heavy construction-related commercial traffic and it is very likely that such a high volume of large heavy construction vehicles required with such a project will damage the roads that had only recently been reconstructed and repaved.

We therefore request that the Town and its associated Commissions that must approve the project require that St Edmunds set aside an indemnity bond of at least \$300,000 that would set aside the necessary funds to repair any resulting damage caused by the project. We would expect these indemnifications to cover damage to the roads discovered during the project as well as damage discovered after the project is completed.

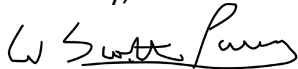
**Increased Traffic and Emergency Incidents:**

During the project, we anticipate a significant increase in construction traffic on Chippechaug Road, East Forest Road, and Yacht Club Road. This traffic will create safety and security concerns for our residents – particularly during the summer months when our quiet, private roads are full of walkers, bikers, runners, and most importantly children. We also suspect that the nature of work will result in a higher number of emergency incidents.

We therefore ask that the Town require all vendors and contractors hired for this project to be fully bonded and insured to the limits specified in MIFD’s Ordinance re Permits to Work or Excavate In or Under MIFD-managed Roads, which is available of MIFD’s website, and that all vendors and contractors agree to reimburse MIFD for the cost of any emergency services calls that they or their employees are responsible for causing on MIPOA roads or Enders Island.

As has always been the case, MIFD taxpayers are thankful for the pastoral endeavors that St Edmunds Retreat provides to all Town residents. We appreciate your help in addressing our concerns in this upcoming project so that MIFD taxpayers are not unduly burdened with any additional costs associated with a project of this size.

Sincerely,



Scott Parry, President  
Mason’s Island Fire District  
PO Box 373, Mystic, CT 06355



Bill Pryor, President  
Masons Island Property Owners Association,  
PO Box 344, Mystic, CT 06355



**DOCKO**

A SOUND ENGINEERING ASSOCIATES COMPANY

PO Box 421, MYSTIC, CT 06355 (860) 572-8939 EMAIL: office@docko.com

December 8, 2023

Mr. Clifton Iler  
Planning and Development Commission  
Town of Stonington  
1525 Elm Street  
Stonington, CT 06340

Re: Enders Island  
Planning and Zoning Application  
CAM Site Plan

Dear Mr. Iler:

We are pleased to transmit herewith application documents for a Planning and Zoning application and the CAM Site plan permit for shoreline restoration at the property of St. Edmund's Retreat on Enders Island.

Attached are the following documents included:

- Coastal Site Plan and Planning and Zoning Application
- Application drawings plus an electronic copy issued via email
- Reference & Resource Maps
- Check payable to the Town of Stonington
- Photographs of the site

We have forwarded the application to you electronically as well. I trust that you will find this application complete and acceptable. We look forward to meeting with you at your earliest convenience and making our presentation to the Planning & Zoning Commission at their next regularly scheduled meeting. If you get a chance please forward a copy of the agenda so that we can plan our presentation accordingly.

Yours truly,  
DOCKO

Keith B. Neilson, P.E.

KBN: cl  
Enclosures  
CC: Father Tom Hoar  
File: 23-07-3289 ENDERS ISLAND



# TOWN OF STONINGTON

## Zoning Permit Application

### OFFICE USE ONLY

APPLICATION NUMBER: \_\_\_\_\_ AMOUNT: \_\_\_\_\_

\_\_\_\_\_ APPROVED \_\_\_\_\_ DISAPPROVED

Zoning Official: \_\_\_\_\_ Date: \_\_\_\_\_

Comments: \_\_\_\_\_

**THIS APPLICATION CANNOT BE APPROVED UNTIL ALL REQUIRED INFORMATION IS PROVIDED.**

PROPOSED PROJECT DESCRIPTION: Shoreline Restoration, Landward Seawall

PROPERTY OWNER: St Edmund of Connecticut PHONE: 860 536 0565

APPLICANT / AGENT: Feather Thomas Hoar PHONE: \_\_\_\_\_

MAILING ADDRESS: Po Box Enders Island

LOCATION OF SITE: Enders Island

ASSESSOR'S MAP: 178 BLOCK: 1 LOT: 1 ZONE: R-120

TYPE OF OCCUPANCY: \_\_\_\_\_ Residential  Commercial \_\_\_\_\_ Industrial

TYPE OF CONSTRUCTION:  New  Alteration \_\_\_\_\_ Addition  Repair

LOT INFORMATION: Frontage of Lot: 3000'± Width of Lot: 520'± Depth of Lot: 1150'± Area of Lot: 435,000 sq ft

EXISTING SETBACKS: Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Sides: 20' Small Chapel

PROPOSED SETBACKS: Front: No change Rear: No Change Sides: No Change

SIZE OF (Existing) STRUCTURE: Footprint: \_\_\_\_\_ x \_\_\_\_\_ Height: \_\_\_\_\_

EXISTING (sq. ft.): 1<sup>st</sup> floor: 7500'± 2<sup>nd</sup> floor: 5000'± Attic: — Basement: — Accessory Bldgs: 9

PROPOSED ADDITIONAL STRUCTURE: NA Footprint: \_\_\_\_\_ x \_\_\_\_\_ Height: \_\_\_\_\_

PROPOSED (sq. ft.): 1<sup>st</sup> floor: \_\_\_\_\_ 2<sup>nd</sup> floor: \_\_\_\_\_ Attic: \_\_\_\_\_ Basement: \_\_\_\_\_ Accessory Bldgs: \_\_\_\_\_

EXISTING FLOOR AREA: 12500 Additional Floor Area: — Total Floor Area: 12500 Floor Area Ratio: 2.9%

FLOOD HAZARD ZONE DESIGNATION: AE Elev 12' ESTIMATED COST OF WORK: \$ 2,250,000

OTHER APPROVALS REQUIRED:	Application #	Approved	Date	Volume	Page
_____ P & Z (Site Plan)	_____	_____	_____	_____	_____
_____ P & Z (Special Use Permit)	_____	_____	_____	_____	_____
_____ Inland Wetlands	_____	_____	_____	_____	_____
_____ CAM Review (PZC)	_____	_____	_____	_____	_____
_____ Variance (ZBA)	_____	_____	_____	_____	_____
_____ Driveway Permit (Highway Dept.)	_____	_____	_____	_____	_____



**OTHER ITEMS REQUIRED TO BE SUBMITTED WITH THIS APPLICATION:**

- All plans that will be submitted to the Building Official in connection with this project.
- A site plan showing the dimensions of the property, the location and dimensions of all structures on the property, and the distances from all existing and proposed structures to the property lines.
- An attached copy of the tax assessor's street card for the site. If new construction, house number must be indicated.
- Dimensioned elevation renderings depicting the height of all proposed structures above the proposed finished grade.
- An Elevation Certificate if proposal is within 250 feet of FEMA designated flood zone (only applies to New Construction or Substantial Improvements).
- Photographs of existing conditions (unless new building).
- Fees: As per fee schedule in the current zoning regulations.

I, the undersigned, attest that the statements made in this application are to the best of my knowledge true and accurate representations of the existing site and proposed site improvements.

Andrew Eick  
Owner's Printed Name

Kerth Neilson, PE  
Agent's Printed Name

Andrew Eick  
Owner's Signature

Kerth B. Neilson  
Agent's Signature

12/7/2023  
Date

December 7, 2023  
Date

# Town of Stonington

## Application Form Municipal Coastal Site Plan Review

### For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the appropriate Village of Noank agency.

#### Section I: Application Identification

Applicant:	<b>St. Edmonds Retreat c/o Father Thomas Hoar</b>	Date:	<b>_11.2.23_</b>
Address:	<b>PO Box St Edmunds Retreat, Mystic, CT 06355</b>	Phone:	<b>590-572-8939</b>
Project Address or Location:	<b>__ Enders Island, Mystic, Town of Stonington</b>		
Interest in Property:	<input checked="" type="checkbox"/> <b>fee simple</b> <input type="checkbox"/> option <input type="checkbox"/> Lessee <input type="checkbox"/> easement <input type="checkbox"/> other (specify)		
List primary contact for correspondence if other than applicant:			
Name:	<b>Docko, Keith B Neilson, P.E.</b>		
Address:	<b>PO Box 421</b>		
City/Town:	<b>Mystic</b>	State:	<b>CT</b> Zip Code: <b>06355</b>
Business Phone:	<b>860-572-8939</b>		
e-mail:	<b>office@docko.com</b>		

#### Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- Project location
- Existing and proposed conditions, including buildings and grading
- Coastal resources on and contiguous to the site
- High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- Soil erosion and sediment controls
- Storm water treatment practices
- Ownership and type of use on adjacent properties
- Reference datum (i.e. National Geodetic Vertical Datum, Mean Sea Level, etc.)

### Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Site Plan for Zoning Compliance
- Subdivision or Resubdivision
- Special Permit or Special Exception
- Variance
- Municipal Project (CGS Section 8-24)

#### Part I: Site Information

1. Street Address or Geographical Description: **Enders Island**

City or Town: **Mystic, Town of Stonington**

2. Is project or activity proposed at a waterfront site? (includes tidal wetlands frontage)  YES  NO

3. Name of on-site adjacent or downstream coastal, tidal or navigable waters, if applicable: **Mystic Harbor / Fishers Island Sound**

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site: **The site is a meeting center and retreat for various church programs. There are offices, classrooms, a dining room, dormitory type overnight accommodations, infrastructure for all of these functions, parking for staff and participants and gardens. The site is surrounded by a stone and concrete seawall around the south and southeast quadrants, revetments on the northeast and west and low seawalls on the north. There is a boat basin with dock facilities and the island is accessed over a rubble causeway viaduct with pedestal mounted utilities and alongside pole mounted electrical service on the southwest side. Adjacent to the site to the northwest is a high marsh of spartina patens with alterniflora fringe along the waters edge and ditches and the Masons Island Yacht Club to the north.**

## Part II.A. Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

**This project is to repair, restore and modify the existing shoreline structures including the causeway viaduct, bridge, utilities, shoreline seawalls, revetments and boat access facilities utilizing recycled, reclaimed materials from onsite for all aspects of the work except for the new concrete for the wharf and seawall. The project description for each element of the work is itemized on the attached, more detailed project description on page 3a. The purpose of this project is to continue to protect the site, resources, building complex, infrastructure, gardens to preserve this vital retreat and center. There will be no new impervious structure or pavement. The new seawall will be built upon a pervious foundation of rock and crushed stone to allow for the free drainage of subsurface, percolated rainfall out into waters of the Harbor and Sound. The first phase of the project will be to build the new seawall, set back a few feet from the existing seawall, with a subgrade of recycled crushed stone from onsite to facilitate erosion resistant, free draining seawall foundation subbase. Existing onsite rock will be split and crushed to be used for this purpose which will also allow for cleanup of the site's interior and restoration of vegetation. Once the seawall is rebuilt, the salvaged soils will be regraded into an elevated walk behind the seawall. It is anticipated that work will commence early 2024 and be completed in approximately 6-8 months**

## Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site.

Also demonstrate that the loading of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

**This is an island with no drainage infrastructure but with electrical, communications and water service connections from Masons Island and the mainland. All rainfall is absorbed into the grounds of the island. When the ground is saturated, run off percolates to waters of the Mystic Harbor/Fishers Island Sound. Ground water flow is constrained, prevented from total ground absorption by the shallow ledge profile so even rainfall absorbed into the ground eventually seeps into the harbor and sound as groundwater, filtered by the site soils which cover the ledge. These site drainage characteristics will be continued in this project.**

### Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

<b>Coastal resources</b>	<b>On-site</b>	<b>Adjacent</b>	<b>Off-site but within the influence of project</b>	<b>Not Applicable</b>
General coastal resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X		
Beaches & Dunes – Definition: CGS Section 22a-93(7)(C); Policy: CGS Sections 22a-92(b)(2)(C) and 22a-92(c)(1)(K)	X			
Bluffs & Escarpments – Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area – Definition: CGS Section 22a-93(7)(H); Policy: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)	X	X		
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters – Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)	X	X		
Developed Shorefront – Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)	X	X		
Freshwater Wetlands and Watercourses – Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats – Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands – Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)	X	X		
Rocky Shorefront – Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)	X	X		
Shellfish Concentration Areas – Definition: Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)	X	X		
Shorelands – Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands – Definition: CGS Section 22a-93(7)(E); Policies: CGD Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)	X	X		

\* General Coastal Resource policy is applicable to all proposed activities

### **Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies**

Identify the coastal resources and associated policies that apply to the project by placing a check marking in the appropriate box(es) in the following table.

#### **General Coastal resources**

This site as with all coastal projects touching public trust waters of the state, is covered under the general coastal resources as defined in CGS section 22A – 93 (7) policy: CGS section 22A – 92, A2. The proposed project is consistent with the statement of general policies as they apply to coastal resources in the state. This application demonstrates how the proposed restoration of the perimeter protection of the site is consistent with all of the coastal resources and use policies defined in the Coastal Management Act. One of the prime objectives of the work is to restore and protect the sites gardens and vegetative cover consistent with the RC 120 Zone and meetings with the Town have focused on how this will be accomplished so as to comply with the zoning regulations for this site.

#### **Tidal Wetlands**

Minor growth areas of tidal wetlands vegetation exist to the east of the causeway viaduct and south of the boat basin. Neither of the areas constitute “tidal wetlands”; because of their small size they are not large enough to be considered as viable habitat for tidal wetlands based on function or ecological impact. In any case, no work is proposed in or immediately adjacent to even the limited vegetation where damage potential could exist.

#### **Beaches and dunes**

This policy for beach and dune resource protection preservation is not applicable to the project for the majority of the site, however, there is a small pocket beach in the dock facility basin at the northwest corner of the site. There is a beach of rock and gravel surrounding the northeasterly quadrant and the west side of the island and neither will be impacted by the proposed scope of work. These small features will not be disturbed in the course of this project.

There are two very small beaches that really usable for recreational bathing and swimming but they will be maintained nonetheless in this project. Dredged sand from the dock basin and approach will be used for beach sand replenishment.

#### **Coastal hazard area**

This site is a small island located off the southeasterly coast of Mason's island. This site is exposed to coastal storms and coastal flooding conditions with wide open exposure to the southeast. The highest priority of the proposed project is to replace the seawall in this southeasterly quadrant with a new, interior, cast concrete seawall and to restore the rock armored shoreline features of the east and south sides of the island.

The north facing sea walls that straddle the viaduct landing area at the north end of the island are vital to the preservation of this roadway and site access point. These walls must be maintained to the point that the backfill is protected from erosion which might result in the wash out of the roadbed at the viaduct landing.

The viaduct itself is a completely stone armored feature for which stone supplementation has in the past been authorized and will be requested again under a separate complimentary and simultaneous DEEP/USACE permit applications.

The south tip of the island is wide-open to storm waves from the southwest to southeast where fetches can range from 3 to 110 miles. Waves can be extreme at this south end, however, mostly for southeasterly winds and waves. The major damage to the existing seawall, in fact collapse, exists along the southeasterly face at the south point of the island. This damage was severe, attributed to hurricanes, and provided evidence which foretells the failure mode of the remaining section to the north and south. This damage provided the basis for the fortifications set forth herein and rationale for why they must be restored or rebuilt at this time.

### **Developed Shorefront**

The primary focus of this project is to restore the rapidly deteriorating conditions of the existing perimeter seawall which protects the south point and southeast face of the island. These faces are particularly vulnerable to strong coastal storms with southeasterly winds. The fetch from Wicopisset passage is approximately 5 miles with no protection against waves which are coming from the southeast (ocean waves), which get through the passage. Nonetheless during hurricane (downgraded to tropical storm) "Sandy" 5-to-10-foot waves were getting through for 22 hours and caused the partial collapse of the east face seawall at the south tip. The protective features provided by the wall must be restored, in fact in this case modified to a location inside the wall where undermining is only a remote possibility.

The westerly edge of the island is much less susceptible to coastal flood damage. Even waves that approach from a straight southwesterly direction from Fishers Island Sound only strike the existing revetment at an angle where energy can be dissipated and reflected back out into the cove where it dissipates harmlessly before reaching any land features. Nonetheless, the wall must be fortified in the transition area near the grounds maintenance facilities.

#### Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

**See attached application drawings and narrative descriptions of the various resources from preceding Part III.**

**The beach features are limited to the boat basin and a narrow fringe along the north shore adjacent to the causeway viaduct point of landfall which is less than 250 feet in total length. Tidal wetlands vegetation is a narrow fringe along of the north beach and south inside and out of the boat basin, again limited in area or habitat value. The major issue with this project is to respond to damaged and deteriorating conditions which threaten and will continue to threaten the site and facilities if not addressed in the immediate future and that work is landward of and within the confines of the perimeter stonework with no adverse habitat impact. The project will have no adverse impact on sensitive habitat or resources.**

#### Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- General Development\* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- Water-Dependent Uses\*\* - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);  
Definition CGS Section 22a-93(16)
- Ports and Harbors – CGS Section 22a-92(b)(1)(C)
- Coastal Structures and Filling – CGS Section 22a-92(b)(1)(D)
- Dredging and Navigation – CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- Boating – CGS Section 22a-92(b)(1)(G)
- Fisheries – CGS Section 22a-92(c)(1)(I)
- Coastal Recreation and Access – CGS Sections 22a-92(a)(6), 22a-92(c)(1)(J) and 22a-92(c)(1)(K)
- Sewer and Water Lines – CGS Section 22a-92(b)(1)(B)
- Fuel, Chemicals and Hazardous Materials – CGS Sections 22a-92(b)(1)(C), 22a-(b)(1)(E), and 22a-92(c)(1)(A)
- Transportation – CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- Solid Waste – CGS Section 22a-92(a)(2)
- Dams, Dikes and reservoirs – CGS Section 22a-92(a)(2)
- Cultural Resources – CGS Section 22a-92(b)(1)(J)

\* General Development policies are applicable to all proposed activities

\*\* Water-Dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.



## **Part VI: Consistency with Applicable Coastal Use Policies and Standards**

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) – also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

**The proposed project is consistent with the applicable coastal use and activity policies and standards identified in Part V and does so without creating any of the potential adverse impacts identified in Part VII.A This 10 acre site serves a vital purpose to St. Edmunds without adversely affecting any of the limited coastal resources which exist onsite. The proposed project is essential for the preservation of environmental resources and habitat, a long-standing religious/retreat facility which has occupied the island for 30 years before the Coastal Management Act came into being and maintains extensive gardens, walking paths accessways all protected by infrastructure first proved essential by the Hurricane of 38', rebuilt immediately thereafter, and maintained ever since. This is a pre-existing use, and the restoration of facilities has been previously authorized under individual permits issued by the Connecticut DEP and the US Army Corps of Engineers, copies attached. The project also avoids potential adverse impact on water dependent uses identified in part VII. B and natural shoreline features and resources.**

**Part VI: Consistency with Applicable Coastal Use Policies and Standards**

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) – also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

**This site is a converted 10 acre parcel residential parcel that is now a religious retreat for spiritual development programs and unparalleled access to Shoreline resources and habitat bordering on Fishers Island sound. The site is minimally developed with buildings, only to the extent necessary to support the retreat functions, but otherwise wide open to preservation of nature and passive recreation. The site is protected against significant coastal storm wave and flooding especially from the south and southeast out of necessity. The site has existed in its current configuration for decades prior to the coastal area management act. Natural features of the site are embellished by gardens, walkways, sitting areas patios, trellises and parking and infrastructure are likewise located along the southwest corner and southeast where the parking lot is located. There is no expansion proposed.**

**Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources**

*Please complete this section for all projects.* Identify the adverse impact categories below that apply to the proposed project or activity. The "applicable" column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions – CGS Section 22a-93(15)(H)		X
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones – CGS Section 22a-93(15)(E)		X
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours – CGS Section 22a-93(15)(B)		X
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff – CGS Section 22a-93(15)(D)		X
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction – CGS Section 22a-93(15)(C)		X
Degrading visual quality through significant alteration of the natural features of vistas and view points – CGS Section 22a-93(15)(F)		X
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity – CGD Section 22a-93(15)(A)		X
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat – CGS Section 22a-93(15)(G)		X

**PartVII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses**

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use – CGS Section 22a-93(17)		X
Replacing an existing water-dependent use with a non-water-dependent use – CGS Section 22a-93(17)		X
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters – CGS Section 22a-93(17)		X

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

**One of the goals of the proposed restoration project will be the orientation of a perimeter walkway from the chapel to the southwest quadrant which will be unparalleled for passive recreational enjoyment with a view of other Mystic Harbor Islands to Watch Hill, Fishers Island, the sound and the Dumping Islands.**

**There will be an interior walkway 3 feet below and along the land side of the new east/southeast seawall which will be utilized by retreatants, and local residents for unparalleled passive recreational use and access to enjoy and appreciate the view of Mystic Harbor and Fishers Island Sound. The project is consistent with Town of Stonington Zoning Regulations for resource conservation and historic land use polices of the Town and Masons Island. Although minor by comparison with the size of the site, the boat access basin is a mini harbor on completely protected boating access point on the northwest corner of the Island which will be restored to accommodate boating operations which are limited at this time but will be of greater consequence in the future when the damaged facilities and accessways become operational again.**

\* If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

## Part VIII: Mitigation of Potential Impacts

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary)

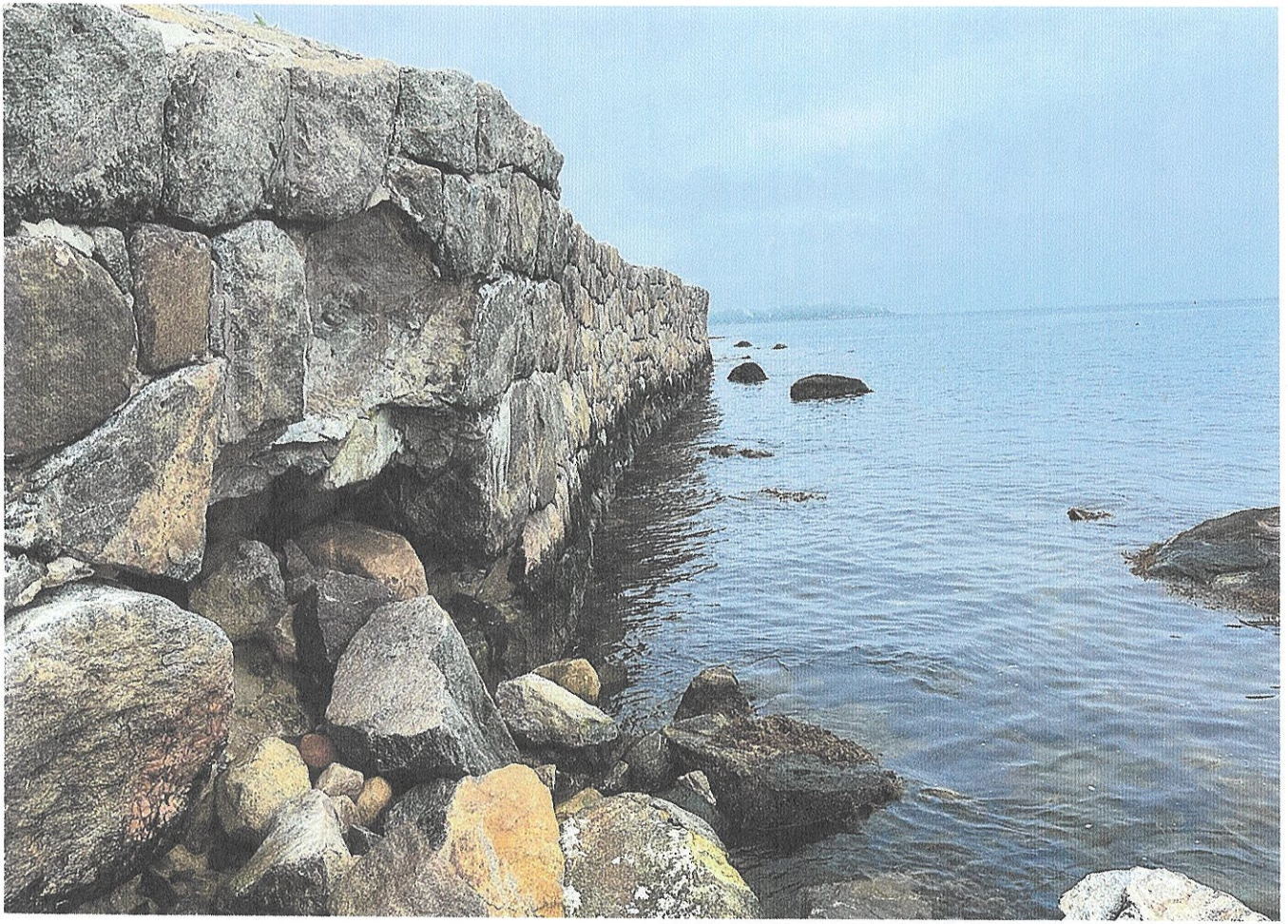
**The major potential for adverse impacts on the site are the continued deterioration and erosion of the existing yards, gardens, parking areas, interior roadways, and the viaduct itself. All aspects of this project are aimed at maintaining these vital facilities which have existed for more than 70 years consistent with zoning and provisions of the Coastal Management Act of 1980.**

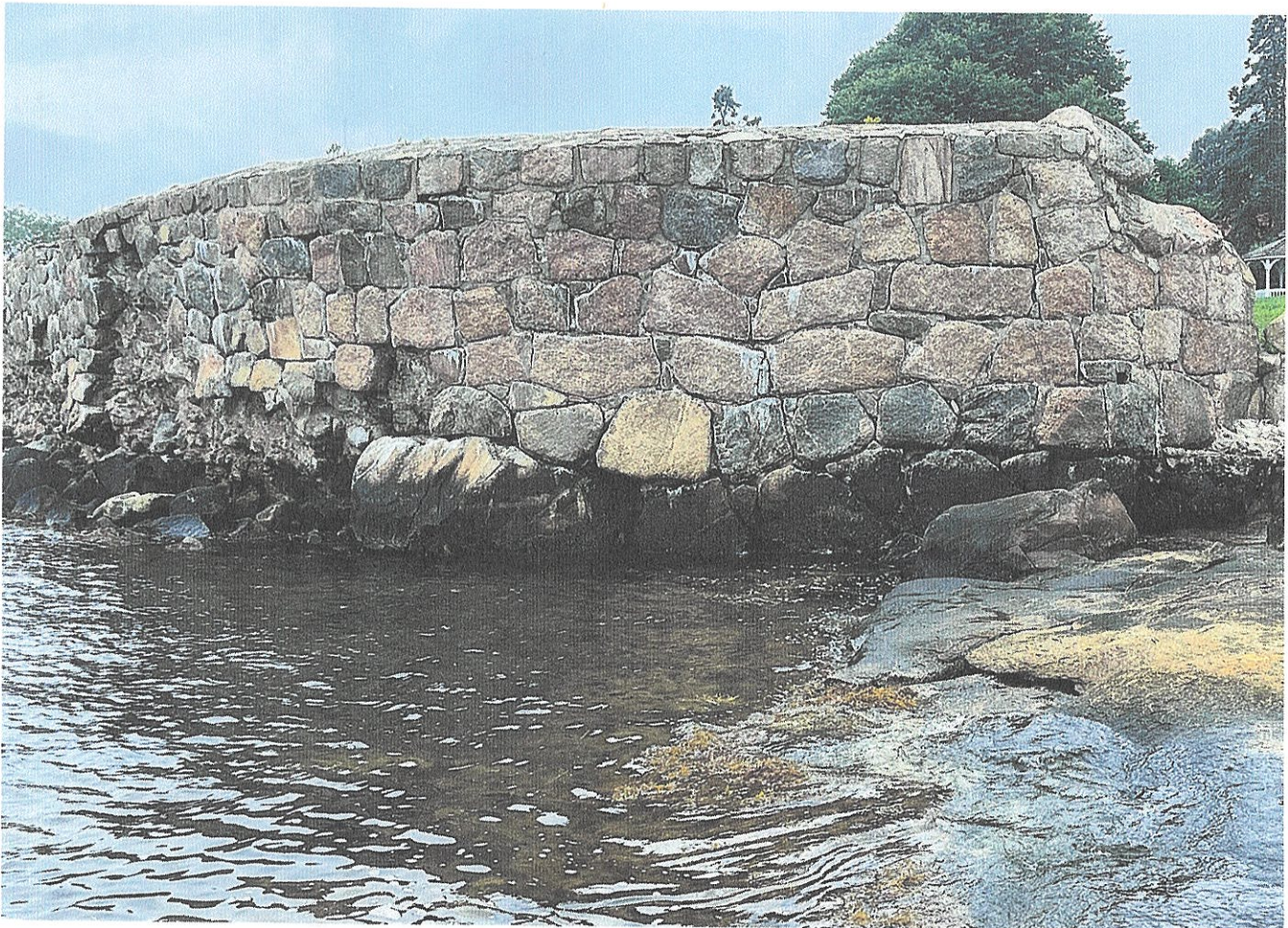
**The proposed scope of work is located within the existing jurisdictional limits of the Town of Stonington with only minor repair, restoration reconstruction and modifications of structure touching the High Tide line and CT Coastal Jurisdiction lines and limited new fill in tidal waters under the purview of the U.S. Army Corps of Engineers and the Connecticut DEEP. These improvements are essential for the continued operational viability of the site and are located entirely on private land so that they will not usurp any future water dependent development or use opportunities on this site or adjacent properties. They will also not adversely impact any existing environmental features or resources habitat on adjacent parcels of land or in public trust waters of the state.**

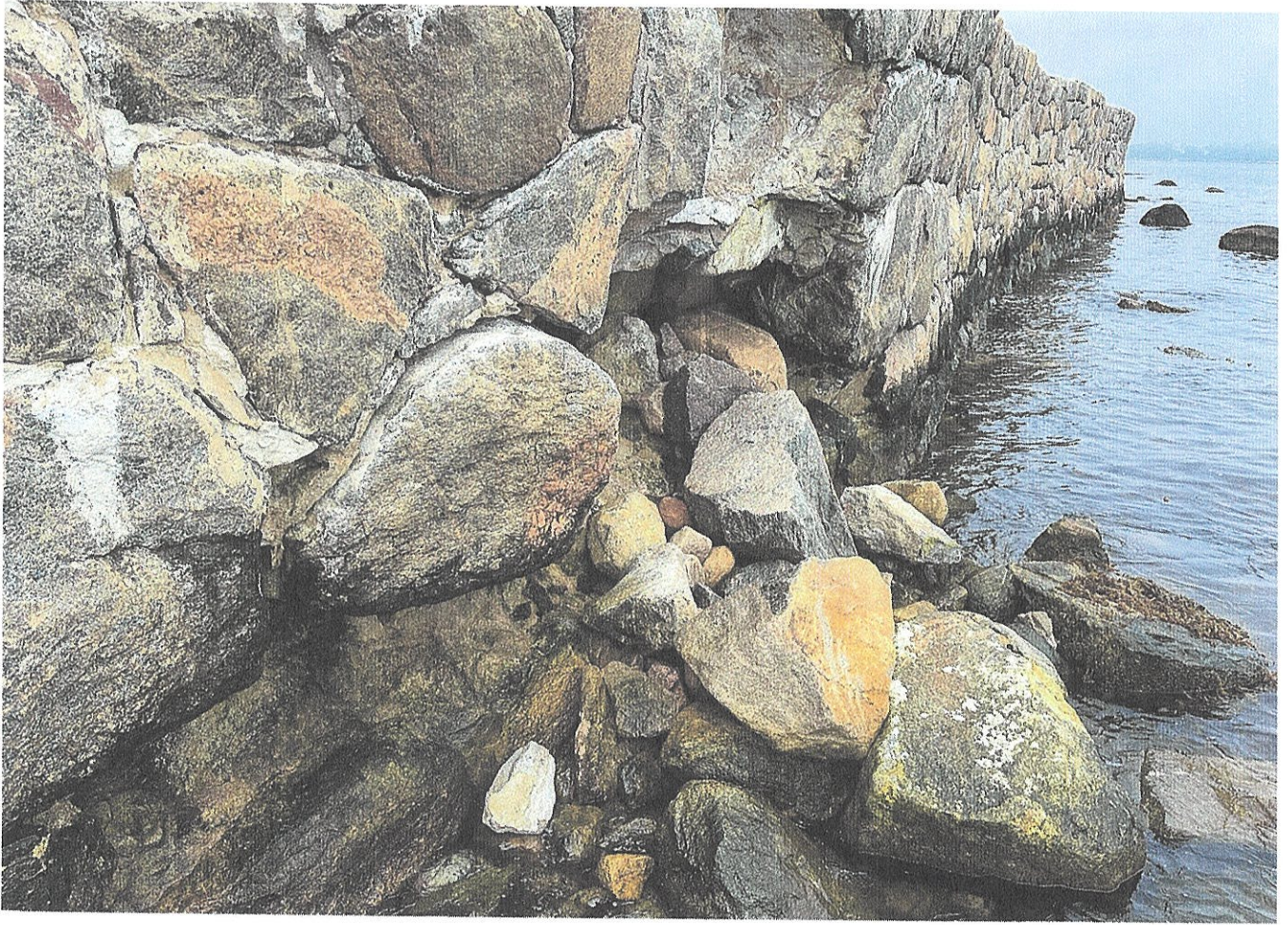
## Part IX: Remaining Adverse Impacts

Explain why any remaining impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

**There are no adverse impact resulting from this project. All of the work can be done from the existing land features of the Enders Island without adverse consequences affecting any environmental resources on the shore, throughout the intertidal zone, or in the shallow subtidal zone immediately surrounding the site. The scope of restorative work is for conservation and preservation of existing resources and site characteristics. Preservation of the existing land features will help to assure the long-term continued high quality of resources on the site and public access to them. The project will not pollute or otherwise change any characteristics of the coastal waters including Fishers Island Sound or Mystic Harbor. Coastal features will not be diminished by the proposed scope of work.**







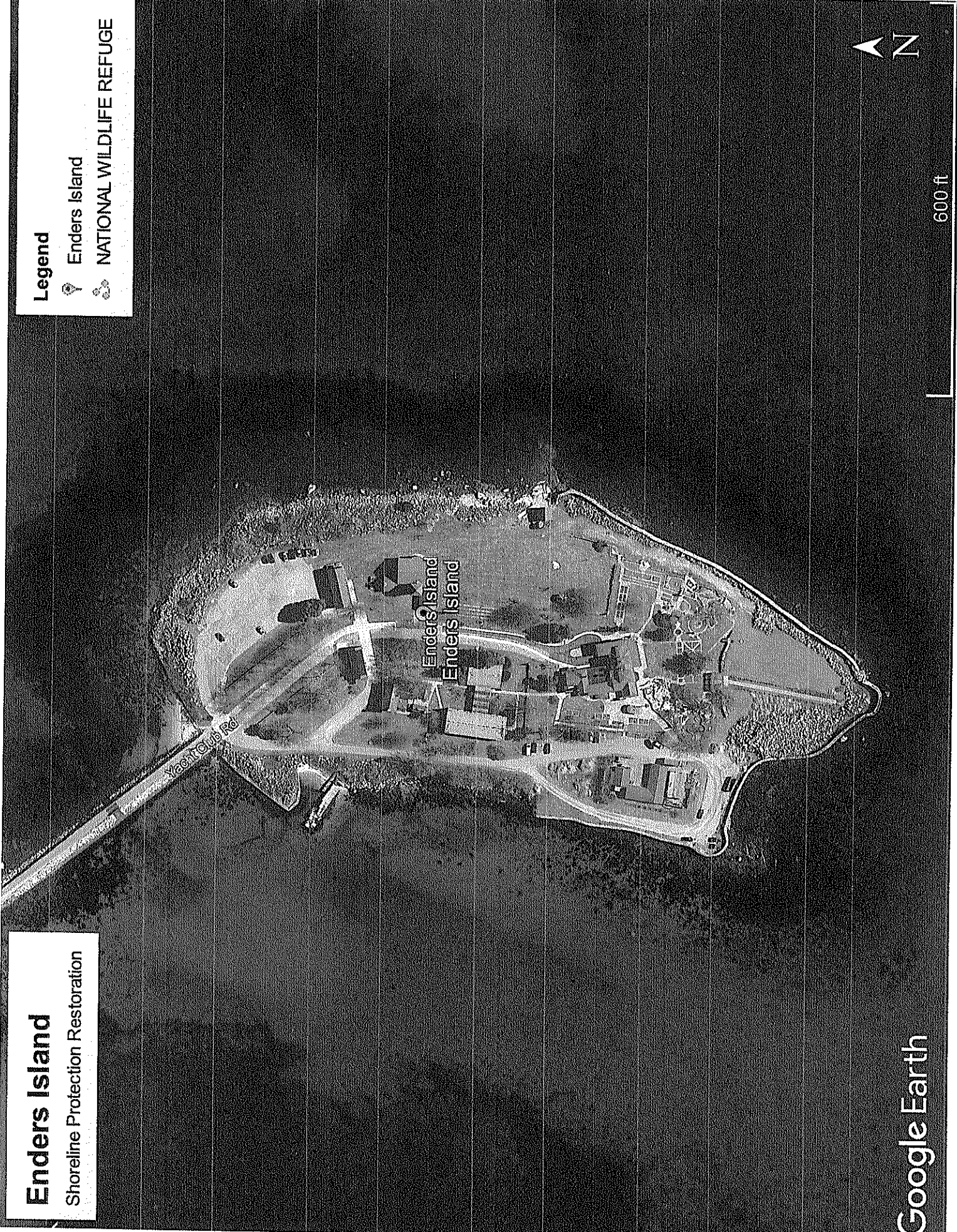


# Enders Island

Shoreline Protection Restoration

## Legend

-  Enders Island
-  NATIONAL WILDLIFE REFUGE



600 ft



# National Flood Hazard Layer FIRMette

71°58'5"W 41°19'34"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

**SPECIAL FLOOD HAZARD AREAS**

- Without Base Flood Elevation (BFE) Zone A, V, AH, S
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

**OTHER AREAS OF FLOOD HAZARD**

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes, Zone X
- Area with Flood Risk due to Levee Zone D

**OTHER AREAS**

- Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone I

**GENERAL STRUCTURES**

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

**CROSS SECTIONS WITH 1% ANNUAL CHANCE WATER SURFACE ELEVATION**

- 20.2
- 17.5
- 8
- 4.5

**OTHER FEATURES**

- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

**MAP PANELS**

- Digital Data Available
- No Digital Data Available
- Unmapped

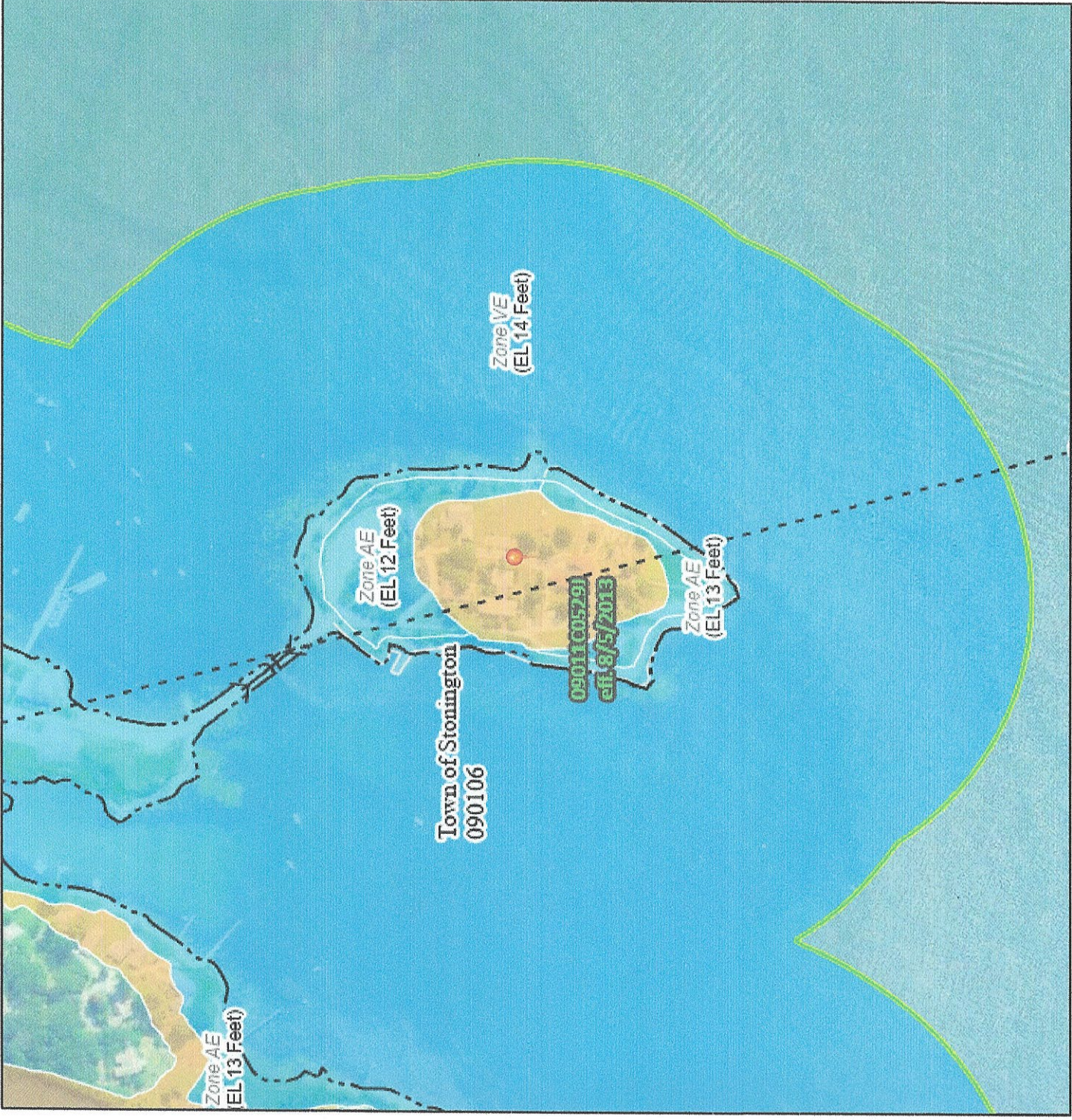


The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

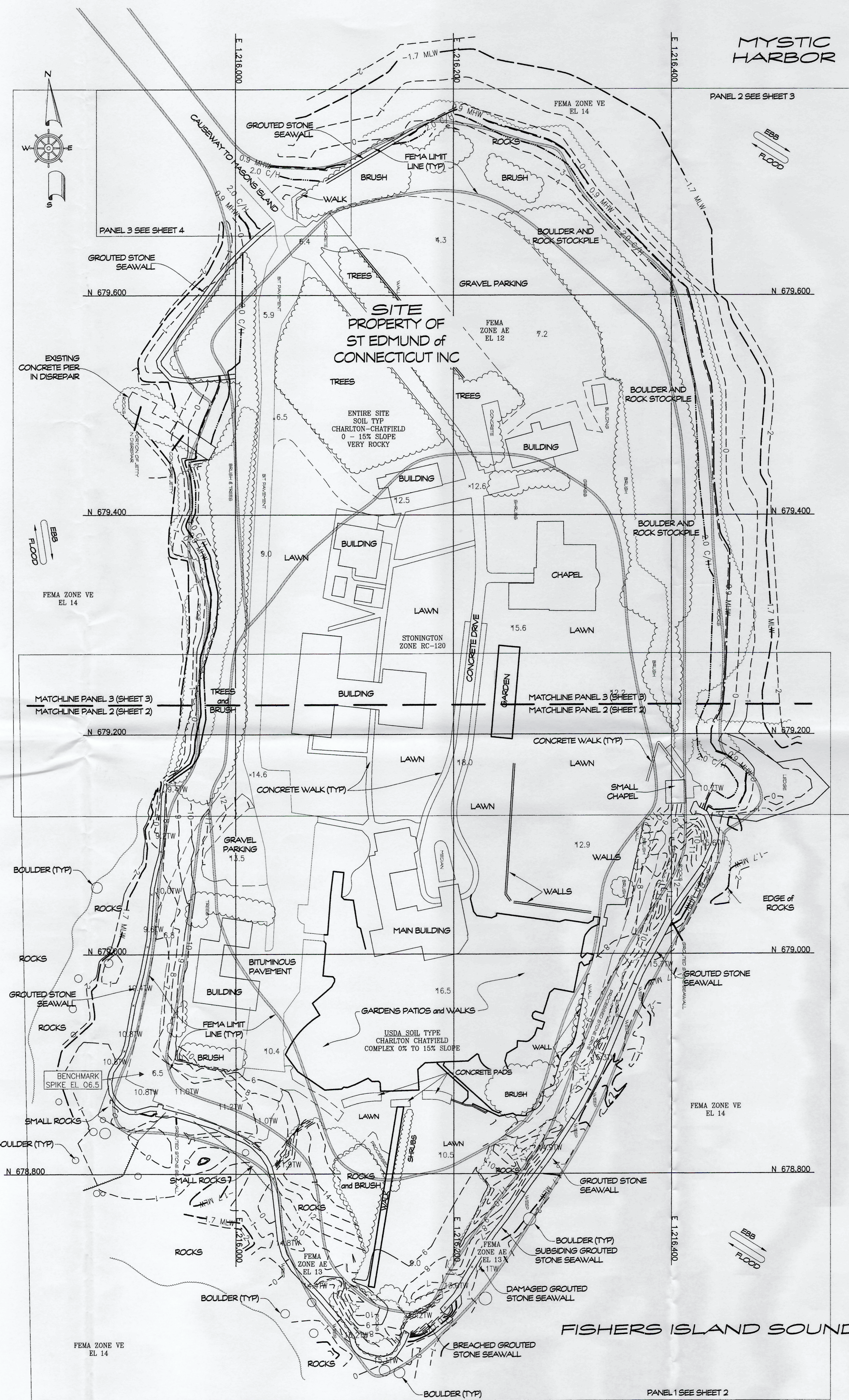
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 7/18/2023 at 3:15 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

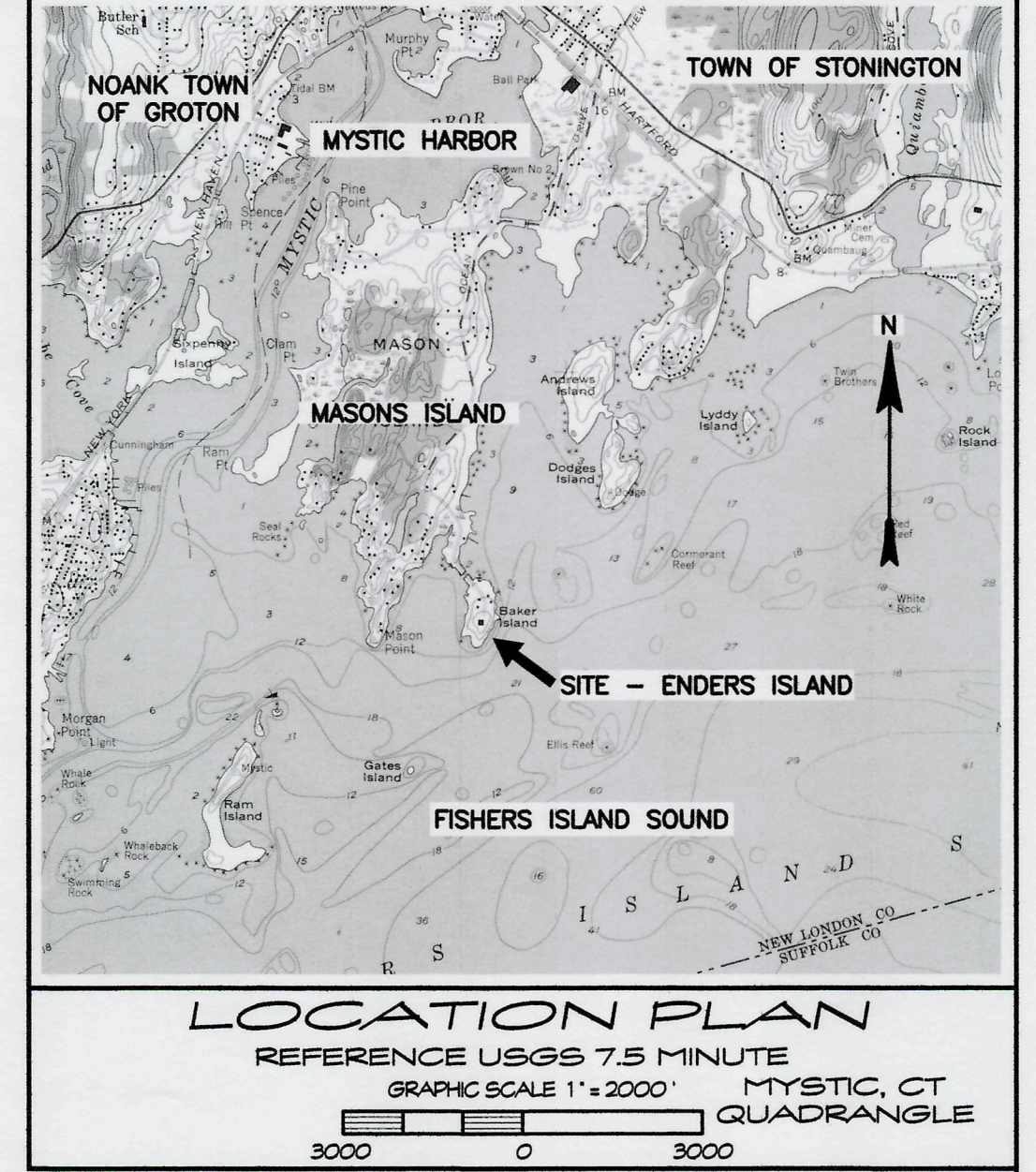
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



0 250 500 1,000 1,500 2,000 Feet 1:6,000 71°57'28"W 41°19'17"N



MYSTIC HARBOR



DESCRIPTION OF PROPOSED PROJECT OR ACTIVITY

- THIS PROPOSED DEVELOPMENT PROJECT IS TO INCLUDE THE FOLLOWING:
  - REMOVE THE TOP 5'-6" FEET OF AN 800'-LF OF STONE AND CONCRETE SEAWALL, 600'-CY OVER 4000'-SF FOR REUSE ON SITE LANDWARD OF THE CUL AND HTL. NEW TOP ELEVATION 10FT NAVD, VARIABLE ALL LANDWARD OF THE HTL AND CUL.
  - SUPPLEMENT EXISTING SEAWALL TOE ARMOR STONE 500'-CY OVER 10,000'-SF USING EXISTING ON-SITE STONE WATERWARD OF THE HTL AND CUL.
  - CONSTRUCT 1300'-LF OF CAST IN PLACE, REINFORCED CANTILEVERED CONCRETE SEAWALL WITH A TOP ELEVATION OF 15'-6" FEET NAVD.
  - RECONSTRUCT AN EXISTING 14 FOOT WIDE BY 95LF STONE WHARF WITH A CONCRETE CAP 400'-CY OVER 1800'-SF, INCLUDING A METAL SECURITY GATE AND INSET STONE STEPS TO A LOWER PIER LANDING AT AND LANDWARD OF THE HTL AND CUL.
  - REPAIR AND RECONSTRUCT AS NECESSARY 230'-LF OF MORTARED STONE SEAWALL, 520'-CY OVER 5000'-SF, WEST OF THE VIADUCT ENTRANCE AND 120'-LF EAST OF THE VIADUCT ENTRANCE 185'-CY OVER 1000'-SF AT AND LANDWARD OF THE CUL AND HTL.
  - REPLACE AN EXISTING DOCK FACILITY, 48'-LF OF 7-FOOT-WIDE WOOD PILE RESTRAINED WOOD FLOATING DOCK AND RECONSTRUCT AN EXISTING 4 FOOT WIDE BY 37LF WOOD PILE SUPPORTED WOOD PILE AND TIMBER PER TO 34LF. INSTALL A NEW 4 FOOT BY 24LF HINGED RAMP.
  - CONDUCT MAINTENANCE DREDGING OF 25'-CY OF SAND OVER 1600SF WATERWARD OF THE CUL AND HTL TO A DEPTH OF 4FT MLV WITH A 1 FT OVEREDGE ALLOWANCE FOR UPLAND DISPOSAL ON SITE ON THE BEACH LANDWARD OF THE HTL AND CUL.
  - MAINTAIN EXISTING STONE CAUSEWAY VIADUCT ACCESSWAY WITH 450'-CY OF ARMOR STONE OVER 20,000'-SF, INCLUDING NEW PAVING APPROXIMATELY 480 LF BY 12 FT WIDE (VARIABLE) WITH GUARD RAILS AND NEW WATER AND ELECTRICAL SERVICE TO THE ISLAND AND REPLACE OR OVERLAY THE EXISTING BRIDGE DECK TO ACCOMMODATE HEAVY CONSTRUCTION WORK REQUIRED FOR THIS PROJECT LANDWARD OF THE HTL AND CUL.
- REFERENCES
  - THIS PLAN IS CREATED FROM A SURVEY TITLED 'TOPOGRAPHIC SURVEY EXISTING CONDITIONS ADJOINING SEAWALL ENDERS ISLAND STONINGTON, CT' PREPARED BY RESOURCE MANAGEMENT AND MAPPING JULY 26 2005. ORIGINAL SCALE 1"=40'-FT. AND A SURVEY TITLED 'TOPOGRAPHIC SURVEY PROPERTY OF ST EDMUND OF CONNECTICUT INC ENDERS ISLAND MYSTIC - STONINGTON, CT' PREPARED BY RESOURCE MANAGEMENT AND MAPPING DATED OCTOBER 4, 2023 ORIGINAL SCALE 1"=40'-FT.
  - REFERENCE IS MADE TO THE FOLLOWING ADDITIONAL DOCUMENTS:
    - FEMA FLOOD INSURANCE RATE MAP - COMMUNITY PANEL NUMBER 0911005291 (EFFECTIVE 8-5-2019)
    - DEEP RESOURCE MAP - MYSTIC QUADRANGLE
    - DEEP SHELLFISH CONCENTRATION AREA MAP - MYSTIC QUADRANGLE
    - USDA SOIL SURVEY WEBSITE
    - [HTTPS://WEBSOILSURVEY.SC.EGOV.USDA.GOV/APP/WEBSOILSURVEY.ASPX](https://websoilsurvey.sc.egov.usda.gov/App/WebSoilsSurvey.aspx)
- ELEVATION DATUM IS NAVD 1988. TIDAL INFORMATION IS TAKEN FROM COASTAL JURISDICTION LINE TAKEN FROM THE DEEP COASTAL JURISDICTION FACT SHEET STONINGTON, CT.
- THIS APPLICATION DRAWING REPRESENTS A COMPILATION OF INFORMATION FOR ZONING PERMIT PURPOSES. THIS IS NOT A CONSTRUCTION CONTRACT DOCUMENT. THESE APPLICATION DRAWINGS REPRESENT EXISTING CONDITIONS AND DEPICT PROPOSED CONDITIONS; THEY COVER GRADING, DRAINAGE, SECURITY, PARKING, EMERGENCY RESPONSE AND UTILITY LAYOUT INCLUDING LIGHTING WILL REMAIN AS THEY CURRENTLY ARE. THESE DRAWINGS DEPICT GENERAL LANDSCAPING OR BUILDING IMPROVEMENTS ARE SHOWN SINCE THERE ARE NONE IN THE PROJECT OR PROPOSED.
- THIS SITE WAS EVALUATED BY MR. RICHARD SNARSKI, CERTIFIED SOIL SCIENTIST #1978 AND PROFESSIONAL WETLANDS SCIENTIST #1301 AND TIDAL WETLANDS VEGETATION WAS OBSERVED OTHER THAN A SMALL PATCH OF SPARTINA ALTERNIFLORA IS DEPICTED ON THE NORTH END OF THE ISLAND IN FRONT OF THE STONE WALL AND WILL NOT BE DISTURBED IN THIS PROJECT.
- THE EXISTING DRIVE IS READILY ACCESSIBLE BY FIRE DEPARTMENT FIRE FIGHTING VEHICLES SUCH AS FLUMBERS AND LADDER TRUCKS. ACCESS WILL NOT BE IMPEDED BY THE CAUSEWAY BRIDGE OR STONE REMOVAL WORK AT THE NORTH END OF THE ISLAND.
- OWNER MUST CONTACT THE TOWN OF STONINGTON PLANNING DEPARTMENT PRIOR TO BUILDING PERMIT APPLICATION TO VERIFY ELECTRICAL LOADS AND SERVICE TOWN POLICE WILL BE NOTIFIED 72 HOURS PRIOR TO STREET LOADING OR OFFLOADING ACTIVITIES.
- ANY CONSTRUCTION (HAND HOLE, DISCONNECT MANHOLE, SIDEWALK, CURB, ETC.) WITHIN TOWN OF STONINGTON RIGHT-OF-WAY IS TO BE IN ACCORDANCE WITH THE HIGHWAY DEPARTMENT SPECIFICATIONS AND A PERMIT MUST BE OBTAINED FROM THE HIGHWAY SUPERINTENDENT PRIOR TO CONSTRUCTION REGARDLESS OF THE OTHER APPROVALS OR PERMITS RECEIVED.
- NO EXCAVATION SHALL TAKE PLACE WITHOUT NOTIFYING 'CALL BEFORE YOU DIG' AT 1-800-922-4455. ALL UTILITY LOCATIONS SHOWN ON THIS PLAN SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- EXISTING WATER SERVICE MUST BE ADAPTED FOR THE NEW SUPPORTS ON THE CAUSEWAY MUST BE AS APPROVED BY THE FIRE MARSHALL AND TOWN ENGINEER PRIOR TO CONSTRUCTION. SITE LIGHTS SHALL BE LOWERED, OF MINIMUM WATTAGE AND AIMED TO PROVIDE SAFE ILLUMINATION BUT NOT SHED GLARE ON ADJACENT PROPERTY.
- NO PROJECT OR SITE IDENTIFICATION SIGNS ARE PROPOSED.
- NO VARIANCES HAVE BEEN REQUESTED FROM THE PROVISIONS OF THE ZONING REGULATIONS.
- PARKING CALCULATION- THERE ARE NO PROPOSED CHANGES TO THE PARKING OR DRIVEWAY ACCESS POINTS ON THE SITE. ALL PARKING WILL REMAIN AS IT CURRENTLY EXISTS.

EROSION & SEDIMENT CONTROL NOTES: THE PRIMARY SEDIMENT AND EROSION CONTROLS FOR THIS PROJECT WILL BE THE STONE BERM AT THE NORTH END AND THE NEW LANDWARD SEAWALL FOR THE SOUTH-EAST QUADRANT RESTORATION WORK WHICH WILL CONTAIN ALL OF THE PROJECT EXCAVATION WORK IN ADDITION:

A. PRIOR TO THE START OF WORK A PRE-CONSTRUCTION MEETING WILL BE HELD WITH THE STONINGTON PLANNING STAFF, THE OWNERS REP, THE ENGINEER AND THE CONTRACTOR TO ASSESS THE SCOPE OF WORK AND ANY CHANGES OR ENHANCEMENTS TO THE SOIL AND EROSION CONTROLS WHICH MIGHT BE REQUIRED BY PERMIT OR OTHERWISE APPROPRIATE.

B. ACTUAL LOCATIONS AND THE APPLICATION OF EROSION CONTROL DEVICES DEEMED NECESSARY SHALL BE DETERMINED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION BASED ON CURRENT CONDITIONS BUT WILL BE IN GENERAL CONFORMANCE WITH THE DETAILS ON THE APPROVED SPECIAL PERMIT APPLICATION DRAWINGS.

C. AGREED UPON EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRIOR TO ANY DISTURBANCE OF THE SITE.

D. LAND DISTURBANCE WILL BE KEPT TO A MINIMUM. THE SEQUENCE OF THE WORK WILL BE ROUGH GRADING, RE-STABILIZATION WILL BE COMPLETED AS SOON AS PRACTICAL FOLLOWING THE STONE WALL RESTORATION AND NEW SEAWALL RETAINING WALL AND UTILITY WORK WILL THEN FOLLOW AND BE COMPLETED PRIOR TO FINE GRADING AFTER WHICH THE SOIL WILL BE PLACED AND TURFED.

E. THE PLANNING OFFICE SHALL INSPECT THE EROSION CONTROLS PRIOR TO CONSTRUCTION.

F. INSTALLED EROSION AND SEDIMENT CONTROL MEASURES AND DEVICES SHALL BE MAINTAINED AS INSTALLED THROUGHOUT THE COURSE OF THE PROJECT.

G. REFERENCE IS MADE TO THE STATE OF CONNECTICUT GUIDELINES FOR SOIL AND EROSION SEDIMENT CONTROL HANDBOOK, LATEST EDITION.

ITEM	EXISTING	PROPOSED	REQUIRED
AREA SF	166,504	165,000+/-	80,000
FRONTAGE FT	753.7	753.07	150
FLOOR AREA RATIO %	0.5	0.5	25
BUILDING HEIGHT FT	20	20	20
FRONT YARD SET BACK FT	9FT	NO CHANGE	50FT
SIDE YARD SET BACK FT	23FT	NO CHANGE	25FT
REAR YARD SET BACK FT	55	NO CHANGE	50FT RFT MARINA

NOTE 1: THERE ARE NO BUILDING CHANGES PROPOSED IN THIS DEVELOPMENT PLAN.  
NOTE 2: THERE IS ALSO NO NEW LANDSCAPING PROPOSED.

SHORELINE RESTORATION  
COASTAL SITE PLAN  
ENDERS ISLAND  
NOVEMBER 14, 2023

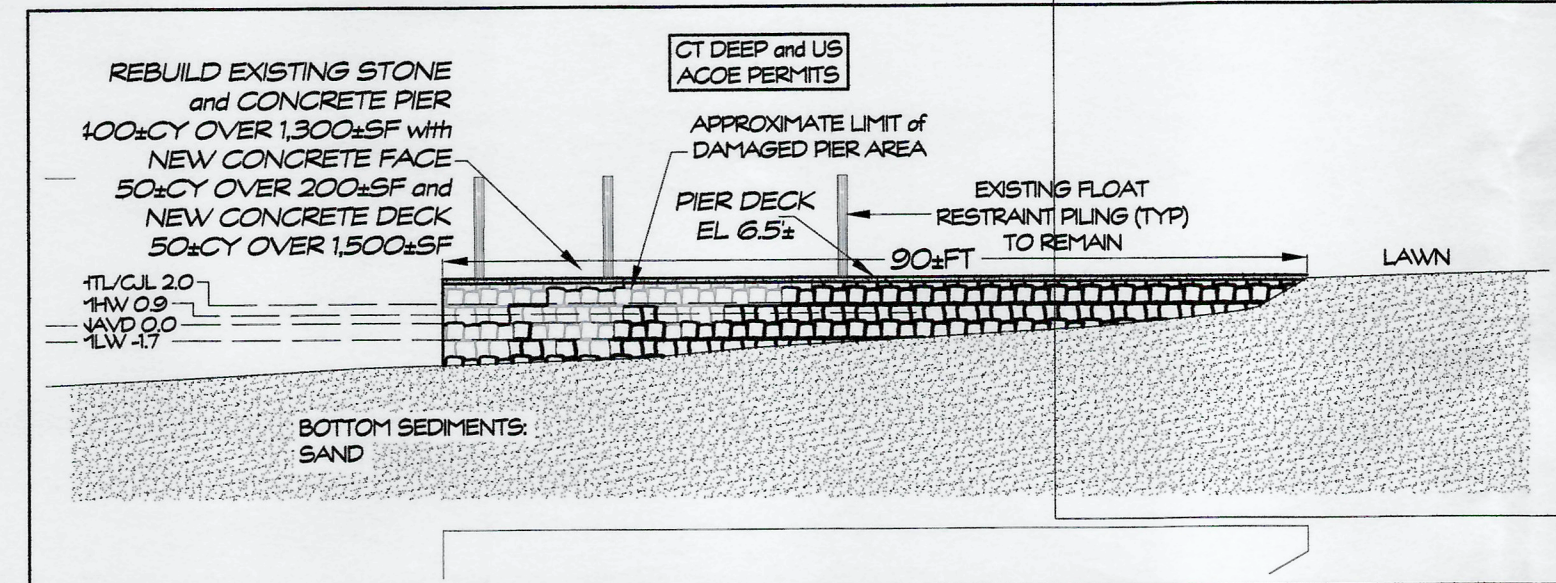
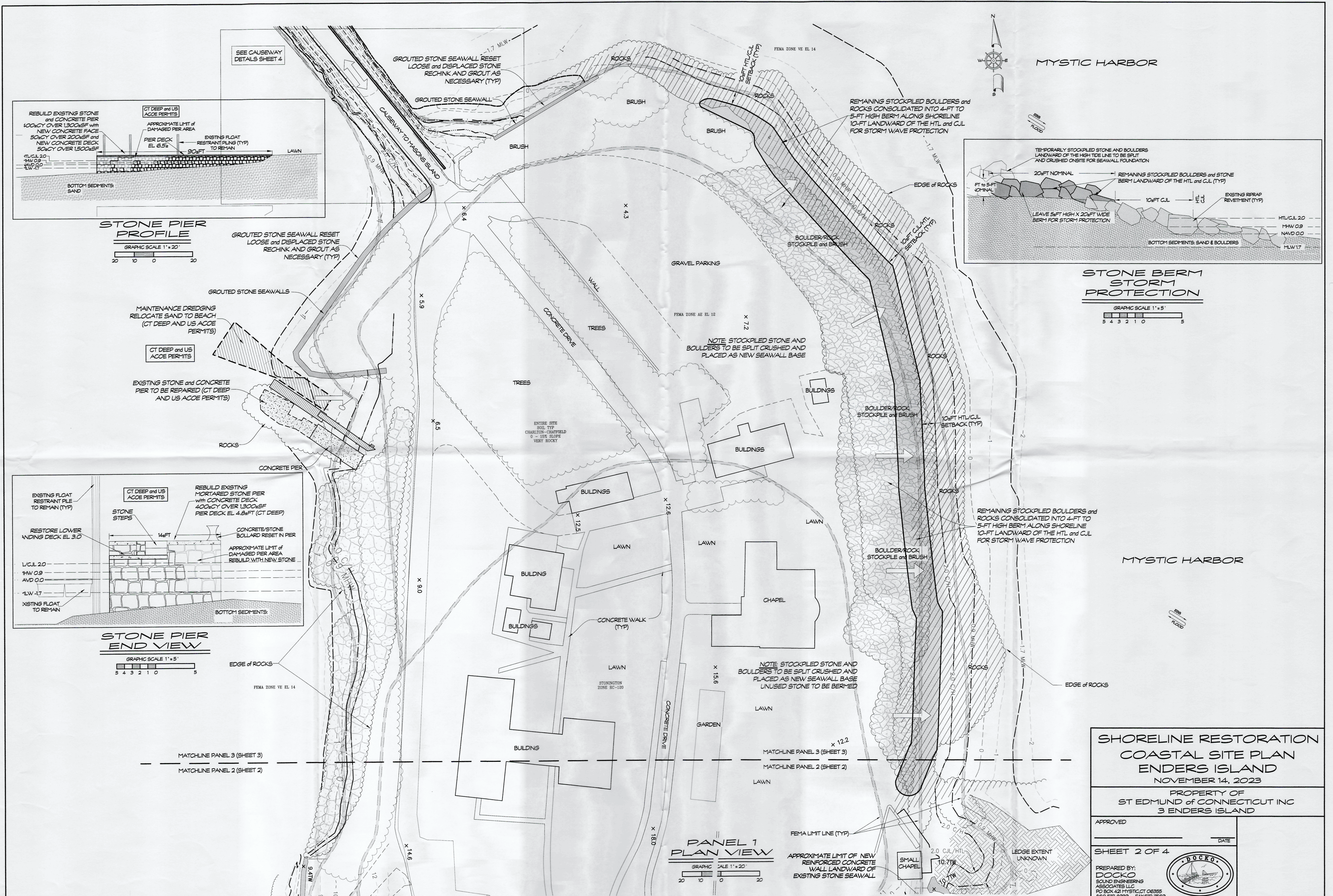
PROPERTY OF  
ST EDMUND OF CONNECTICUT INC  
3 ENDERS ISLAND

APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

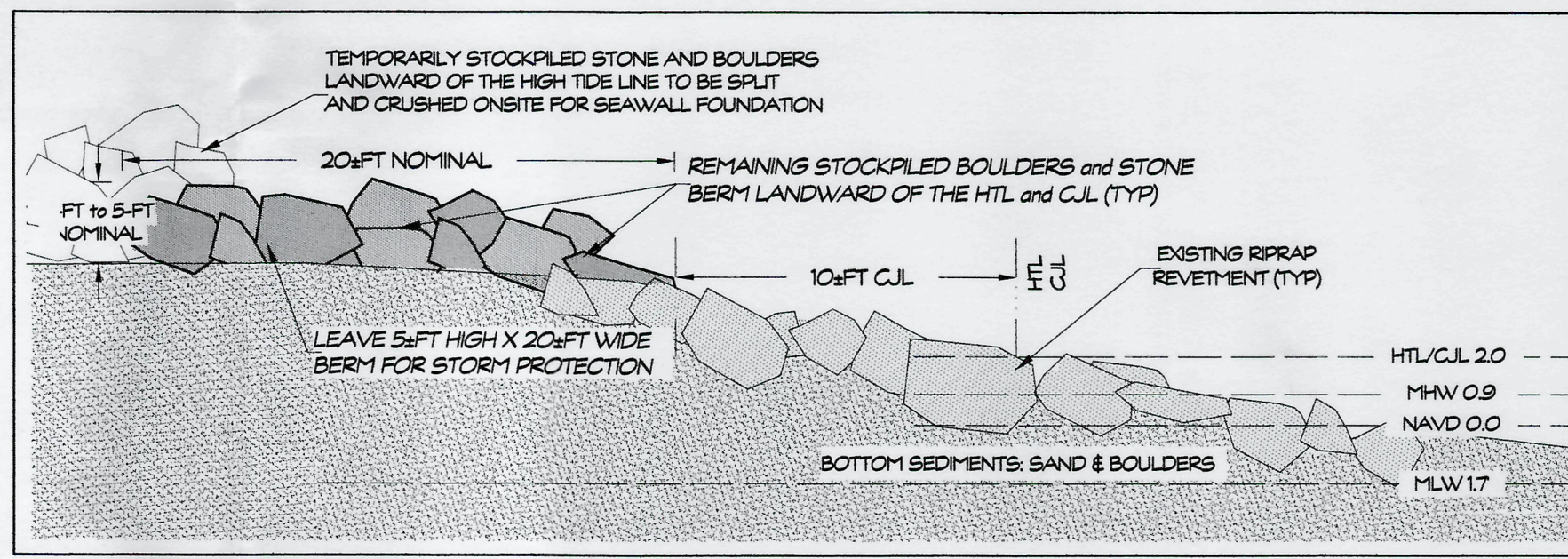
SHEET 1 OF 4

PREPARED BY:  
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PO BOX 421 MYSTIC, CT 06355  
860 572-8939 FAX: 572-7569  
EMAIL: office@docko.com

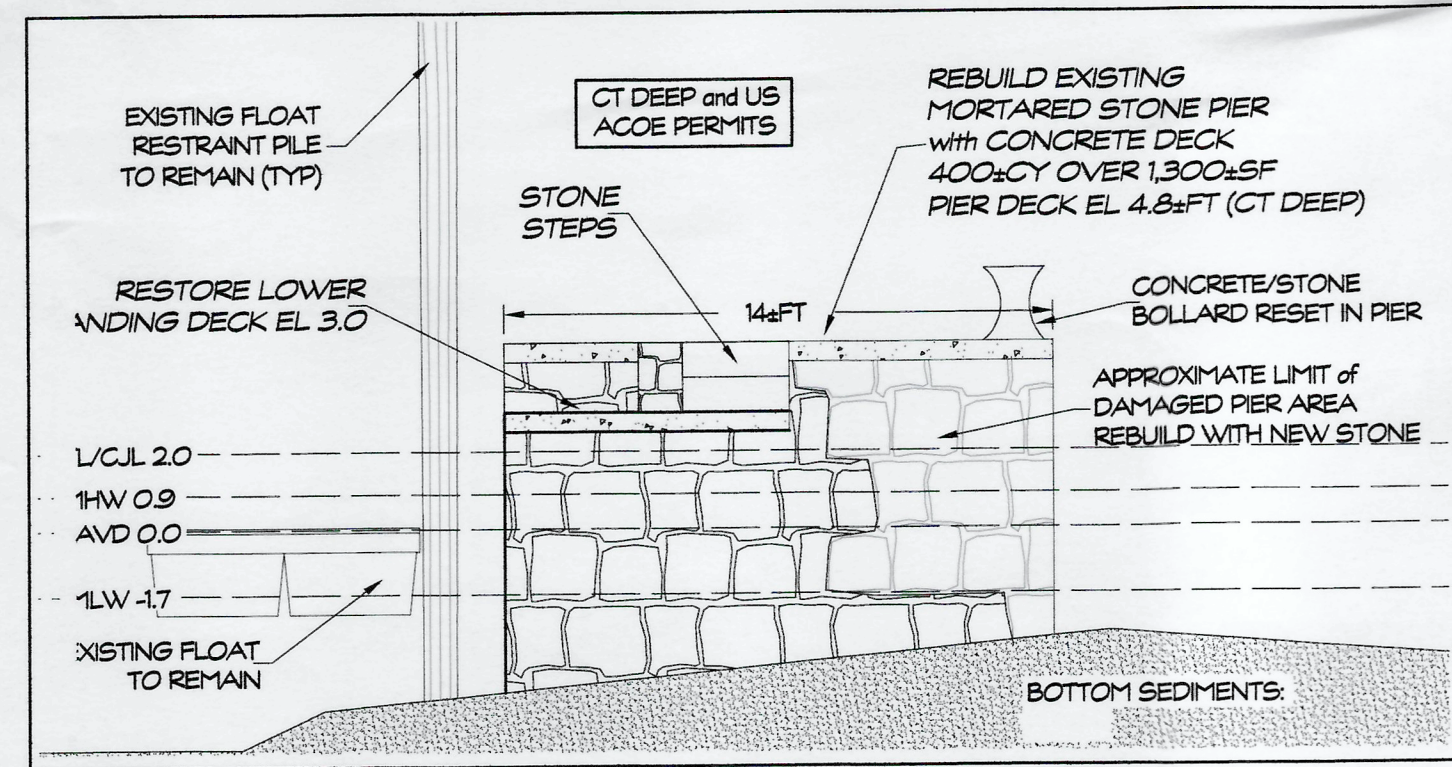
DWG 23-09-3292



**STONE PIER PROFILE**  
GRAPHIC SCALE 1" = 20'



**STONE BERM STORM PROTECTION**  
GRAPHIC SCALE 1" = 5'



**STONE PIER END VIEW**  
GRAPHIC SCALE 1" = 5'

**PANEL 1 PLAN VIEW**  
GRAPHIC SCALE 1" = 20'

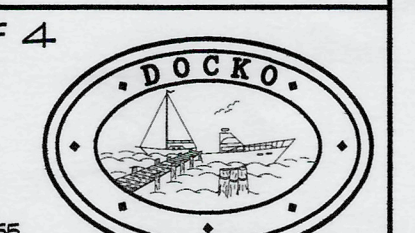
**SHORELINE RESTORATION  
COASTAL SITE PLAN  
ENDERS ISLAND  
NOVEMBER 14, 2023**

PROPERTY OF  
ST EDMUND OF CONNECTICUT INC  
3 ENDERS ISLAND

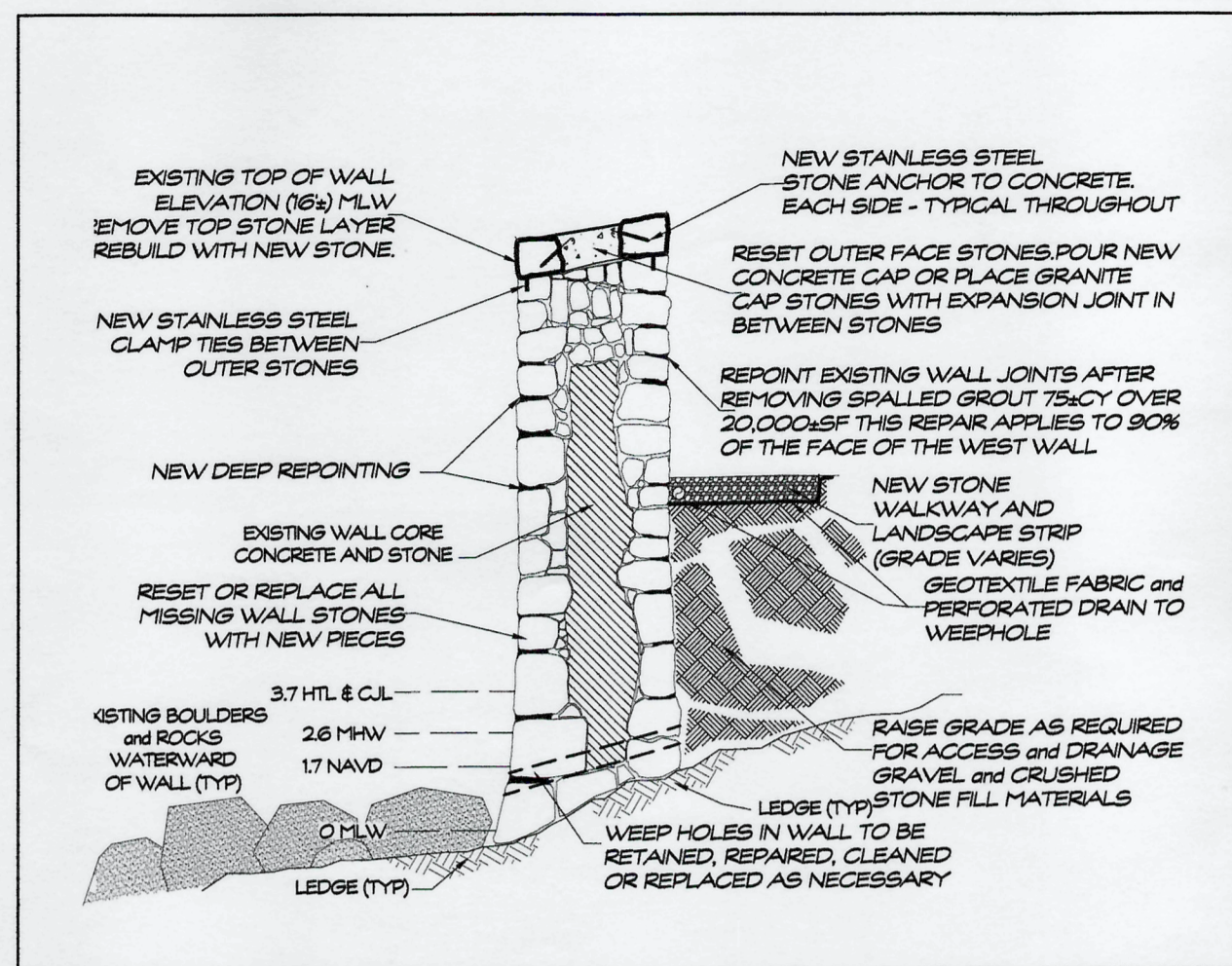
APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

SHEET 2 OF 4

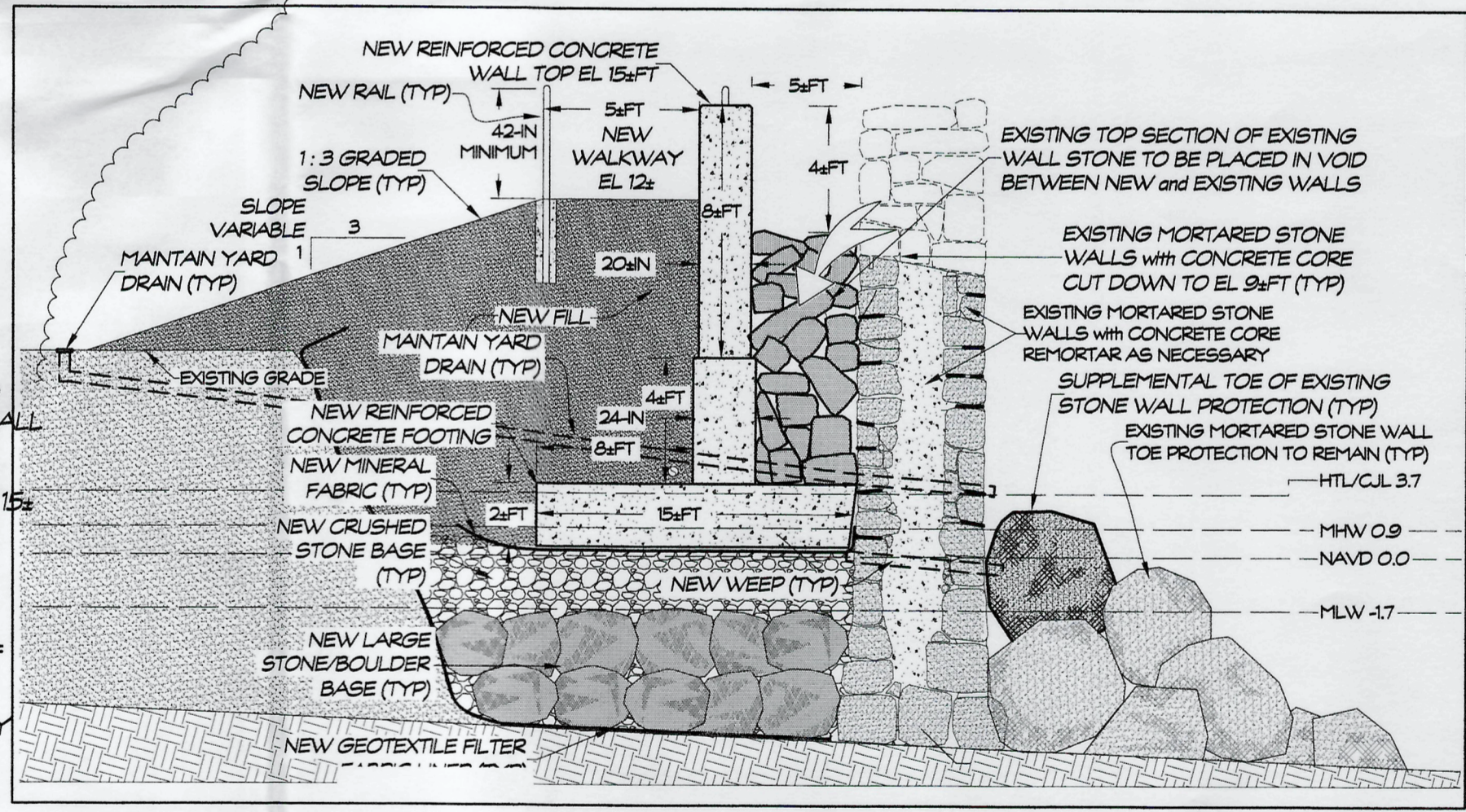
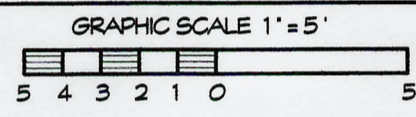
PREPARED BY:  
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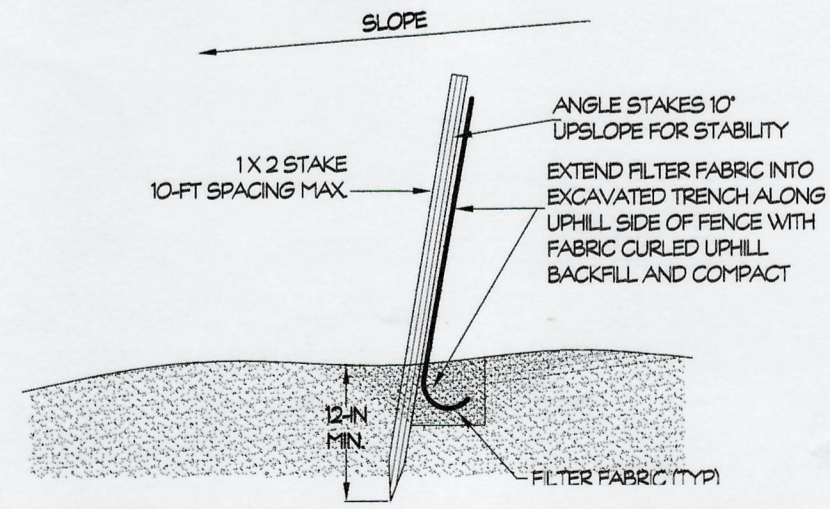
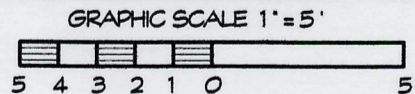
DWG 23-08-5282



**EXISTING GROUTED STONE SEAWALL RESTORATION TYPICAL SECTION**



**NEW REINFORCED CONCRETE WALL TYPICAL SECTION**



**SILT FENCE DETAIL**

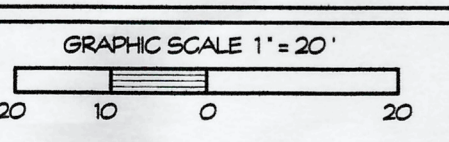
NOT TO SCALE

**FISHERS ISLAND SOUND**

FEMA ZONE VE EL 14

NEW WALKWAY EXTENSION AND STAIRS TO THE NEW CROSS AT HEAD OF NEW GATHERING AREA LAYOUT AND DIMENSIONS MAY VARY

**PANEL 2 PLAN VIEW**



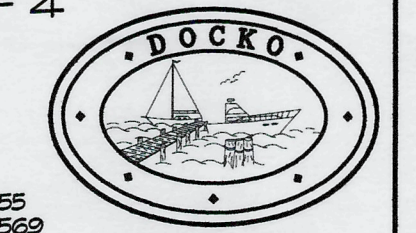
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NOVEMBER 14, 2023

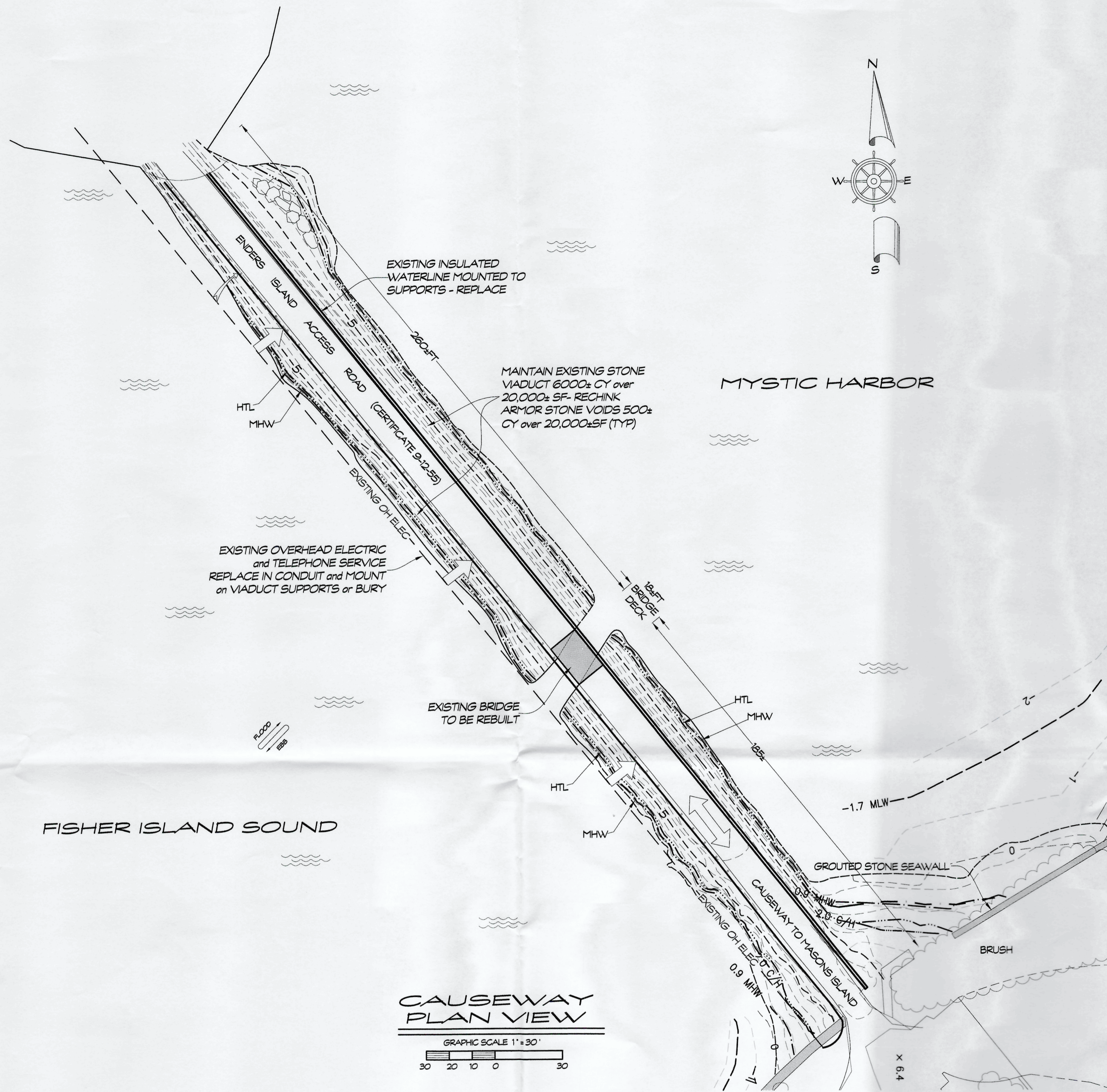
PROPERTY OF  
**ST EDMUND OF CONNECTICUT INC**  
3 ENDERS ISLAND

APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

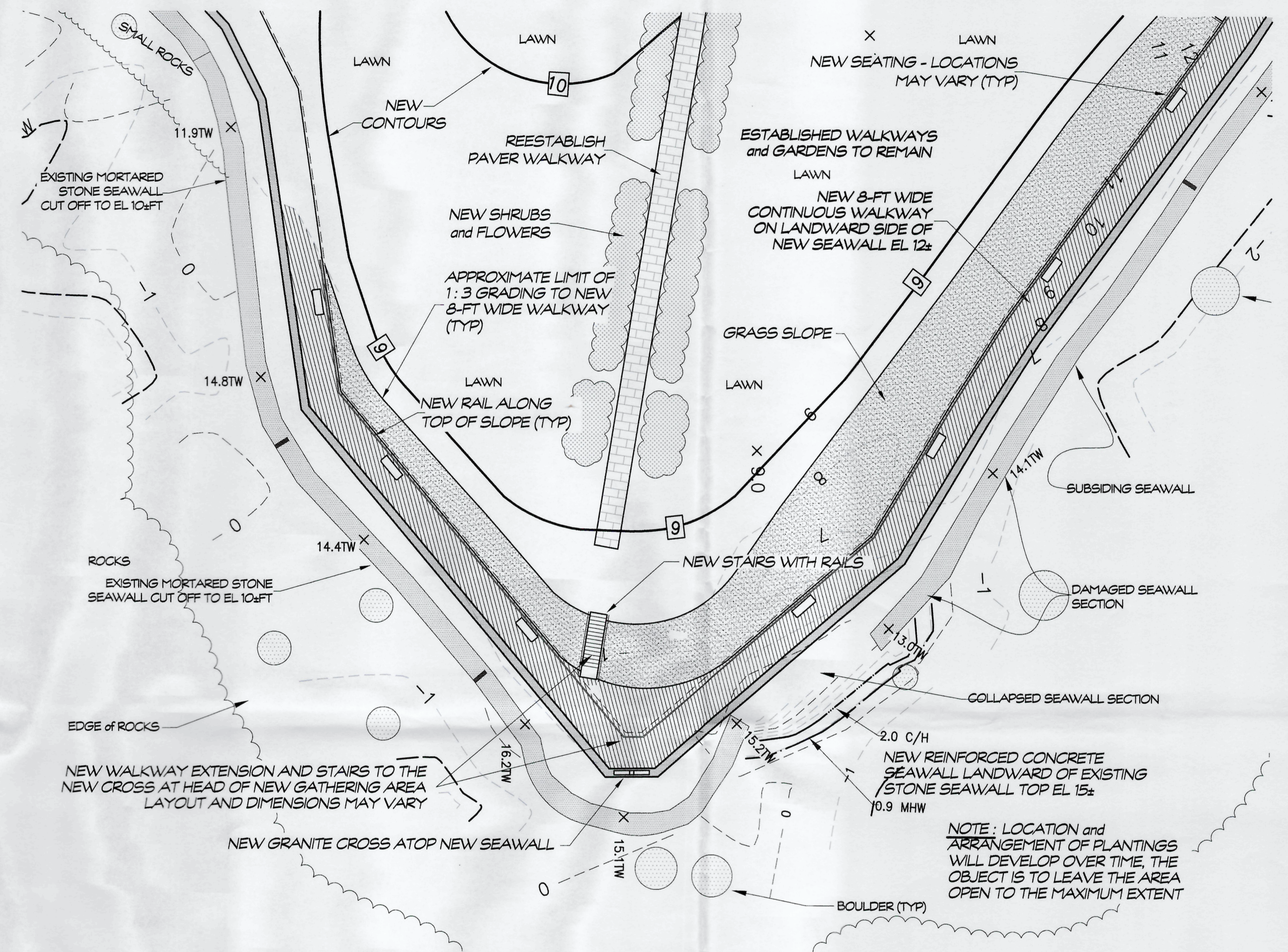
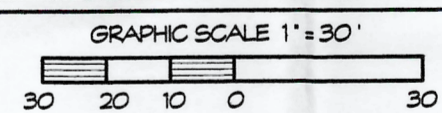
SHEET 3 OF 4

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E-MAIL: office@docko.com

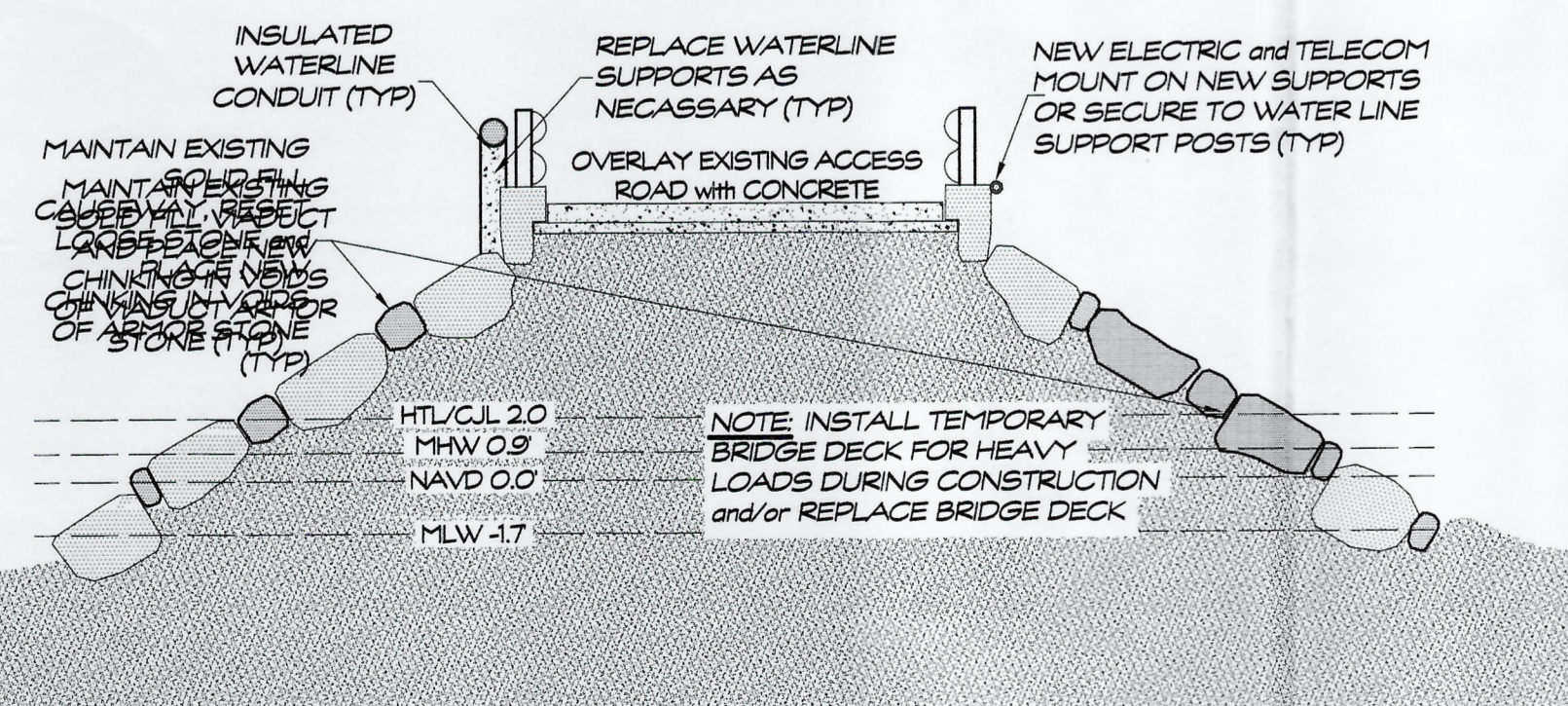
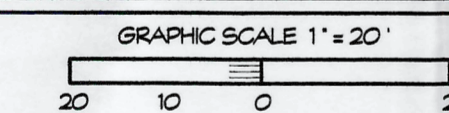




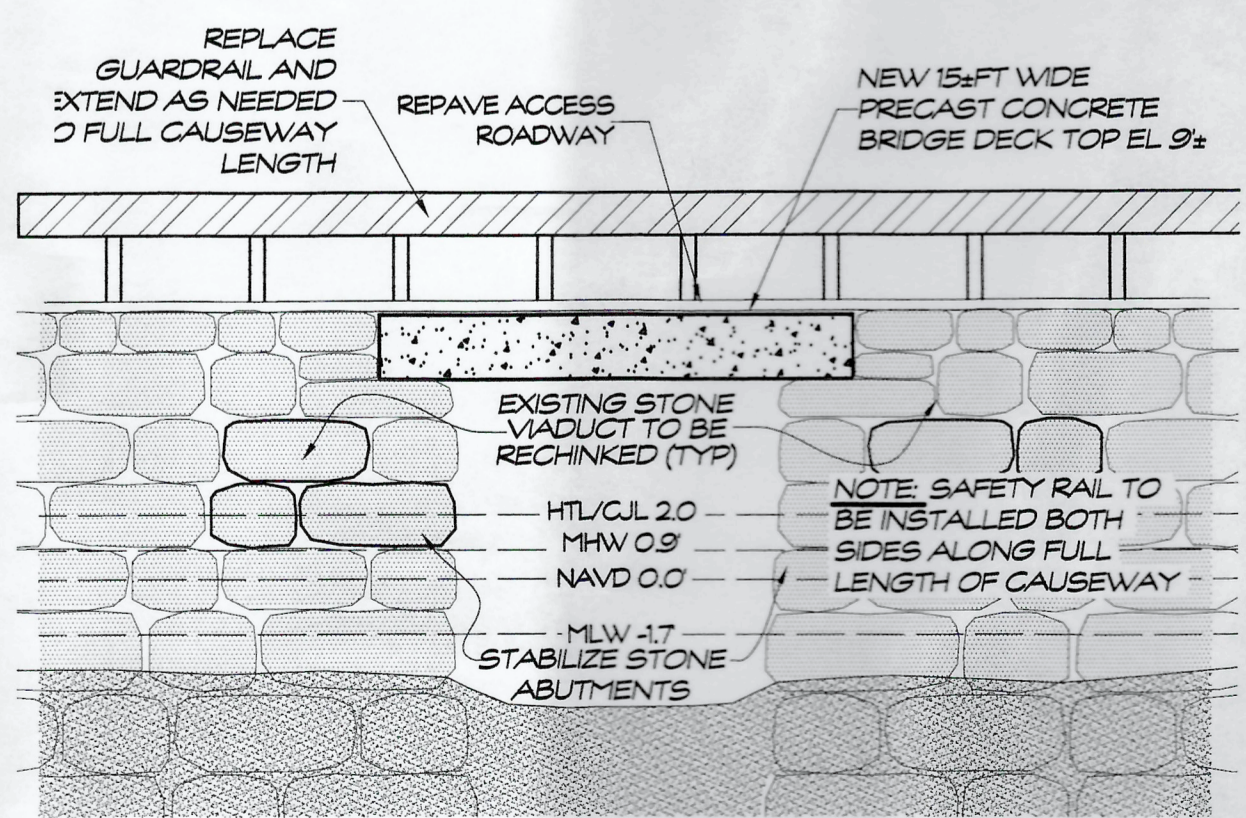
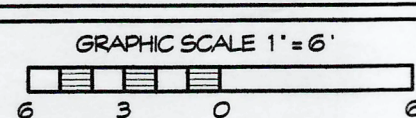
**CAUSEWAY PLAN VIEW**



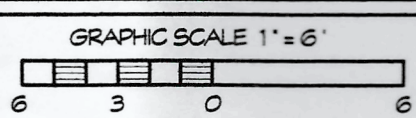
**LANDSCAPE PLAN**



**CAUSEWAY TYPICAL SECTION**



**CAUSEWAY BRIDGE PROFILE**



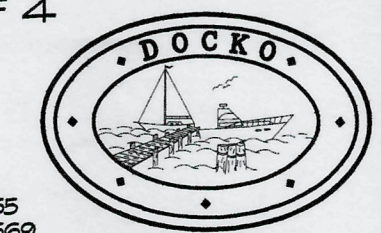
**SHORELINE RESTORATION  
COASTAL SITE PLAN  
ENDERS ISLAND  
NOVEMBER 14, 2023**

PROPERTY OF  
ST EDMUND OF CONNECTICUT INC  
3 ENDERS ISLAND

APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

SHEET 4 OF 4

PREPARED BY:  
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DWS 23-09-5292



Town of Stonington | Department of Planning  
Planning and Zoning Commission Meeting  
January 16, 2024  
PZ2334CAM Norwest Marine (K. Nielson)

*Coastal Area Management application for the restoration of existing marine support facilities.  
Properties are located at 1 River Road and 7 River Road, Pawcatuck; M/B/L: 5-6-20 & 5-6-21.  
Properties are located in the RC-120 Zone and MC-80 Zone.*

**Report Prepared By:** Clifton J. Iler, AICP – Town Planner

## Application Status

This application requires Coastal Area Management (CAM) review pursuant to [Section 22a-109\(g\)](#) – which states that CAM applications are subject to the same timeframe requirements as Subsections (a) and (b) of Section 8-7d for the purpose of determining the time limitations for a zoning commission to reach a final decision. The Commission can elect to conduct a public hearing if desired, although [C.G.S. Section 8-7d\(b\)](#) places a 65-day limit on the timeframe to review and act on a Site Plan or CAM application whether or not a public hearing is held.

- Official Date of Receipt for this application was 12/19/23.
- Tonight's meeting is **Day 28** of 65 total days to decide on the application.
- A decision, without extension, must be made by 2/22/24.

The applicant may consent to one or more extensions provided the total period of any such extension or extensions shall not exceed 65 days.

## Purpose

This application is for the restoration of existing marine support facilities at 1 River Road and 7 River Road. The application set includes a detailed description of the project overview.

The proposed activity at 1 River Road includes:

- Oversheet 105 LF of existing bulkhead with 105LF of new wood pile and limber bulkhead
- Replace 20+/-CY of gravel backfill lost to erosion over 200+/-SF and replace existing floating docks with a new 8x20 FT ramp landing float, a new 8x45 LF main float two 4x20LF fingers and a 5x20 LF finger with a hinged ramp to shore and 450 SF deck landing with ramps to grade of which 200+/- SF is waterward of the CT Coastal Jurisdiction line.

The proposed activity at 7 River Road includes:

- Remove and replace 437+/-LF of wood floating dock with 445+/-LF of wood floating docks with wood float restraint piles and new utilities
- Construct a 100 SF wood pile supported access platform and two hinged ramps.
- Remove two pile supported straddle hoist lift piers and replace them with new 65 LF straddle lift piers, one pile mounted, and one bulkhead mounted

- Oversheet an existing 340+/-LF wood pile and timber bulkhead and 145+/-LF of concrete/stone wall, with new 487+/-LF steel sheet pile bulkhead including returns at each end all at or within 18 inches face to face of the existing wood bulkhead face and with a new cap and pedestrian rail.
- Install new ladders and new utilities at and waterward of the HTL and CJL
- Cut out of the yard facilities a 150+/-LF concrete boat launch ramp lined with steel sheet pile walls, all at and landward of the high tide line and coastal jurisdiction line
- Reconstruct 240+/-LF of damaged, dry-stacked rubble wall with large cut stone or interlocking concrete blocks in the same line 350+/-CY over 1,000+/-sf, all at and landward of the high tide line and Coastal Jurisdiction line plus 20+/-LF of temporary ramp sheet piling for dewatering, waterward of the HTL and CJL, remove 1000+/-CY of gravel to be spread over the yard or removed from the site.

## Zoning and Context

This application includes two parcels in different zoning districts. The parcel at 1 River Road (RC-120) is a legally nonconforming lot with no proposed building or landscaping changes.

### **RC-120 Zone Bulk and Use Requirements (1 River Road)**

	<u>Required</u>	<u>Provided</u>		<u>Required</u>	<u>Provided</u>
Lot Size	120,000 SF	4,384 SF	Building Height	25'	15'
Frontage	300'	±109'	Floor Area Ratio	0.04	±0.11
Setbacks (F/S/R)	75'/75'/100'	2'/2'/0'	Parking	N/A	N/A
Res. Buffer	N/A	N/A	Non-Infring. Area	100'	Exempt <sup>1</sup>

The parcel at 7 River Road (MC-80) conforms to the bulk and use requirements of the Zoning Regulations for the MC-80 Zone.

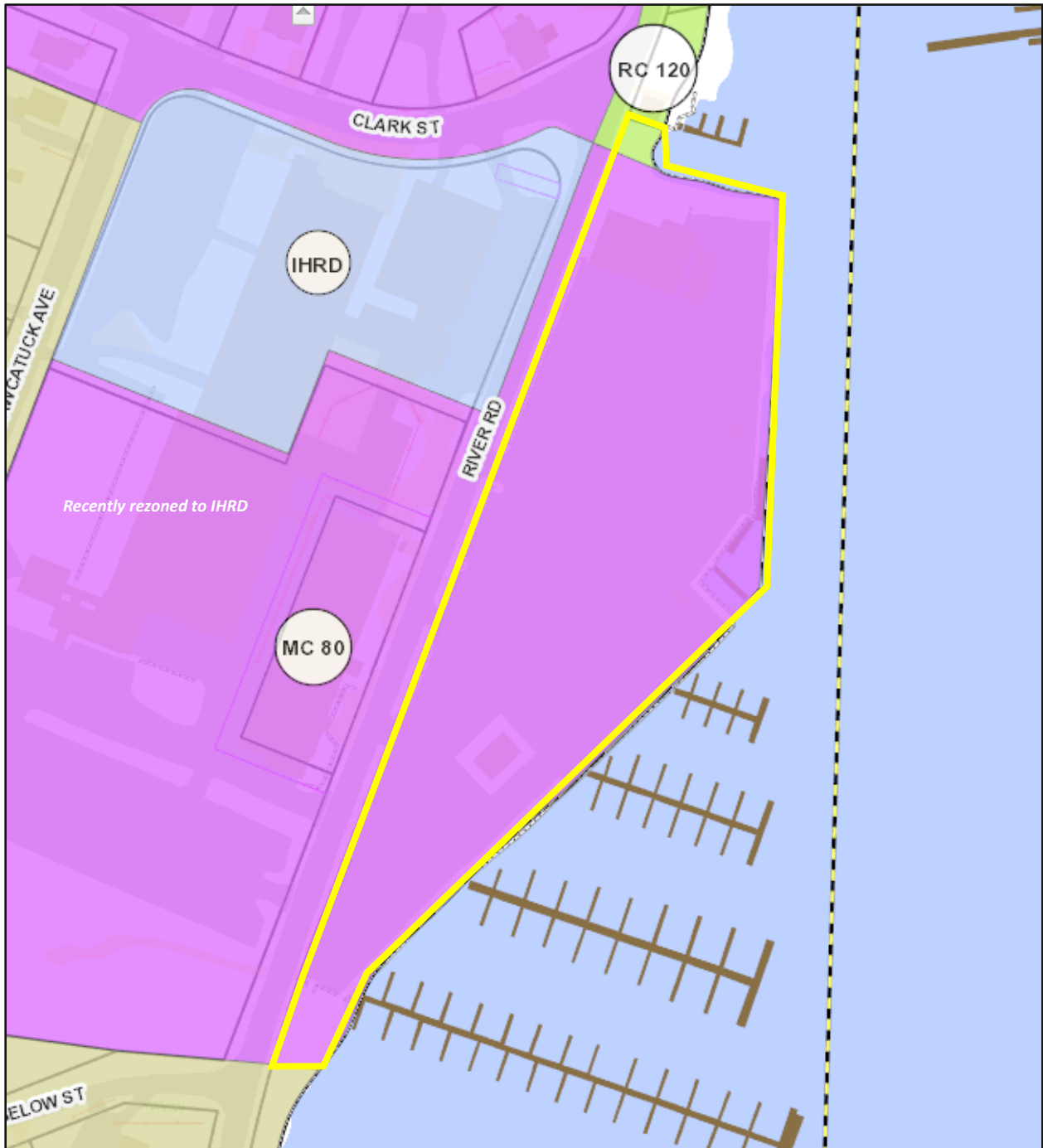
### **MC-80 Zone Bulk and Use Requirements (7 River Road)**

	<u>Required</u>	<u>Provided</u>		<u>Required</u>	<u>Provided</u>
Lot Size	80,000 SF	±165,000 SF	Building Height	20'	20'
Frontage	150'	±753'	Floor Area Ratio	0.25	0.005
Setbacks (F/S/R)	50'/25'/50'	2'/2'/0'	Parking	N/A	N/A
Res. Buffer	Varies <sup>2</sup>	N/A	Non-Infring. Area	N/A	N/A

<sup>1</sup> See Section 7.3.1 of the Zoning Regulations.

<sup>2</sup> See Section 8.7.1 of the Zoning Regulations.

## ZONING MAP



North: IHRD/MC-80/RC-120 Zones  
[Use: Residential]

South: RA-15 Zone [Use: Residential]

East: Pawcatuck River [Town of Westerly]

West: IHRD/MC-80 Zones  
[Use: Water-Dependent Uses]



## Site Access and Traffic

The site is accessed from River Road. There are no expected traffic impacts with this development.

## Environmental Elements

This property falls within the Coastal Area Management Overlay District (CAMOD) and is within 100 FT of designated coastal resources and therefore subject to CAM review. The site abuts the Pawcatuck River to the east and falls within the Flood Hazard Overlay District (FHOD) (Zone AE). This application received a Certificate of Permission (COP) from CT DEEP and is included with the Response Summary.

There are not any regulated freshwater inland wetlands within the parcel boundaries. There are no known tidal wetlands within 100 FT of the parcel.

## Utilities

The site is currently served by public water and sewer.

## Waivers Requested

No waivers are requested with this application.

## Response Summary

The application was routed to the following agencies/agents of the Town. Responses are shown below:

**BUILDING OFFICIAL** – No comment.

**HARBOR MANAGEMENT (PAWCATUCK)** – Awaiting comment.

**TOWN ENGINEER** – Comments below. [Dated: 1/4/24]

I have reviewed the above referenced application and plan entitled "*Marine Modifications Pawcatuck River July 19th, 2023, Property of NWM Property Group LLC., 7 River Road – Pawcatuck, CT.*" by DOCKO – Keith Neilson, P.E., and offer the following comments:

1. The future site plan should reference the appropriate Survey: Type, Boundary: Determination to include class of accuracy and CT Survey Statute as performed by the CT. Licensed Surveyor of record. Additionally, provide note that any property corners damaged and/or removed to be reset by a CT. Licensed Land Surveyor.
2. Site plan to incorporate appropriate E&S (BMP's) to mitigate stormwater run-off from excavated (river) material. In accordance with the application narrative, provide a dewatering detail to facilitate a continuous dewatering operation complete with plunge pool lined with geotextile filter fabric to contain the fines and reduce turbidity. Add an anti-tracking pad as may be required. All BMPs should be located on the plan, (complete with detail) to include a maintenance table prescribing the scheduled guidance for repair, maintenance or replacement. BMPs recommended in design should conform with the 2002 Connecticut. Soil & Erosion Control Manual.
3. Include the TOS stormwater drainage system, specifically the outfall located in the general vicinity of the "stonewall construction" area. Any improvements within the Town of Stonington R.O.W.

shall require an excavation permit via the Department of Public Works in advance of proposed activities.

4. Map Annotation Sheet 1 – 3: Provide label for the Street, Address on buildings, remove errant “arrows” and “section” delineators, also move the “FEMA ZONE Floodway AE EL 11 FEET” to within the floodway area. Clearly delineate the limits of the FEMA ZONES. Additionally, Sheet 3, verify the “scale bar” reference.
5. Detail Section “C-C’ for the stone wall repair indicates a fill elevation of 8 feet, therefore update grading plan (contours) to depict the limit and/or extent of fill\grading.

In review of the aforementioned application and plan, I recommend action be taken by the commission with the stipulation that the comments be accomplished to the satisfaction\approval of the Town Engineer prior to construction activity commencing.

**FLOODPLAIN MANAGER (SLR INTERNATIONAL)** – See attached memorandum.

**WATER POLLUTION CONTROL AUTHORITY (WPCA)** – The WPCA has no comment regarding the above referenced P&Z application as this project has no effect on the sanitary sewerage system. [Dated: 1/2/24]

**ZONING ENFORCEMENT OFFICER** – The “garage” at 1 River Rd., has been a subject of complaints in the past due to illegal conversion to living quarters. Merging the use of #1 River Rd with the marina seems like highest and best use of the property. [Dated: 1/4/24]

**FIRE DISTRICT MARSHAL (PAWCATUCK)** – The Pawcatuck Fire District has no comments on the above application. We have reviewed the project with the owners on site. [Dated: 12/29/23]

**CT DEEP LAND & WATER RESOURCES DIVISION, REGULATORY – EAST REGION**– See attached memorandum.

**TOWN OF WESTERLY** – Westerly Planning/Zoning has no concerns with proposed redevelopment. [Dated: 1/9/24]

## Town Planner Comments

The Town Planner offers the following comments on the application:

1. The bulk requirements for the RC-120 Zone are incorrectly labeled on Sheet 1.
2. As noted by the Zoning Enforcement Officer, the property at 1 River Road (RC-120 Zone) is a legally nonconforming lot that has been subject to numerous complaints and violations over the use of the “garage” structure as a residence. As of the date of this report, there are no open violations on the property and the illegal use within the “garage” has been abandoned. This application proposes no change to the structure and will remain a legal nonconformity if approved.

There are no additional questions or concerns with the proposed application.

## Recommended Stipulations

Should the Commission decide to approve this application, the Department of Planning recommends the following stipulations of approval:

1. The applicant shall address the outstanding comments to the satisfaction of the Town Engineer and Town Planner.

2. Final plans shall be reviewed to the satisfaction of the Town Engineer.
3. Prior to the issuance of a Zoning Permit, the final plans shall be signed by the Commission and recorded in the Town's Land Evidence Records.
4. Modifications to the site development plans, if necessitated by CTDEEP or USACE, shall be reviewed and approved by Town staff and the Commission, as necessary.

## Commission Action Required

The Commission is required to make a determination on the following items:

- A decision on the Coastal Area Management (CAM) application

*Section 9.2.8 – The Commission may approve, deny, or modify with conditions any project within the CAM boundary. In addition, the Commission may require additional erosion and sediment control measures, measures to mitigate any adverse impacts, pedestrian access easements, visual access easements, and conservation easements, and may require a design review in accordance with Section 17.1 of these regulations if the project is proposed for an area which has been designated as a viewshed or resource area in the Plan of Conservation and Development.*

# Memorandum



**To:** Clifton Iler, Candace Palmer  
**From:** Noah Slovin, AICP, CFM  
**Date:** January 5, 2024  
**Subject:** PZ2334 Norwest Marine at 1 and 7 River Road in Pawcatuck

---

Materials submitted on December 8, 2023 by DOCKO for Norwest Marine were reviewed in January 2024 at the request of the Town of Stonington.

## Overview

The application is to remove, replace, and otherwise restore existing boating support facilities at the Norwest Marine marina. Specific project components are:

- Remove and replace wood floating docks with wood float restraint piles and new utilities
- Construct a wood pile-supported access platform with two hinged ramps
- Replace two pile supported straddle hoist lift piers with two new lift piers: one pile-mounted and one bulkhead-mounted. Oversheet an existing wood pile and timber bulkhead and concrete/stone wall with a new steel sheet pile bulkhead, including returns at each end, with a new cap and pedestrian rail
- Install new ladders and utilities
- Cut a new concrete boat launch ramp lined with steel sheet pile walls
- Reconstruct a damaged, dry-stacked rubble wall with large cut stone or interlocking concrete blocks
- Replace gravel backfill lost to erosion
- Replace some floating docks with a new floating ramps and docks, as well as a deck landing

The project area is located entirely within FEMA Special Flood Hazard Areas (SFHA; areas with a 1% annual-chance of flooding, regulated by FEMA and local floodplain management regulations). Much of the work will take place within the Pawcatuck River Floodway with a Base Flood Elevation (BFE) of 11 feet, NAVD88. Other work will take place inland, within an AE zone with a BFE of 11 feet, NAVD88. Stonington regulations note that a Floodway "is an extremely hazardous area due to the velocity of projectiles and has erosion potential" (Section 7.7.8.2.4).

As a marina, Norwest Marine is considered a "functionally dependent use."

## Findings

As work is being performed within the Floodway, the project must conform with Stonington Zoning Regulations Section 7.7.8.2.4, which states that, within a Floodway, the Town must:



*Prohibit encroachments, including fill, new construction, substantial improvements, and other development unless certification (with supporting technical data) by a Connecticut registered professional engineer is provided demonstrating through hydrologic and hydraulic analysis performed in accordance with standard engineering practice that encroachments shall not result in any increase in flood levels during occurrence of the base flood discharge.*

The materials provided for review did not contain enough information for me to verify that no increase in flood levels will be caused.

The floating docks proposed may fall within the category of "Seasonal Marina Structures." According to Zoning Regulations Section 7.18.5, "Seasonal Marina Structures shall not generally be subject to the Flood Hazard Regulations of Section 7.7, provided however, they meet the intent of Section 7.7.8.1..." The proposer should clarify whether these are seasonal or not. If they are permanent structures, the proposer will need to consider them when certifying that their presence will not result in any increase in flood levels.

**Note:** Section 7.7.9.1.2 allows floodplain management regulation variances to be issued to Functionally Dependent Uses such as marinas; however, this does not apply to Functionally Dependent Uses within a Floodway if any increase in flood levels during the base flood discharge would result (Section 7.7.9.2).

Additionally, all proposed construction must be certified as having appropriate anchoring, and all utilities must be elevated above the BFE.

### **Recommendations**

Insufficient materials have been provided to determine whether the proposed project aligns with FEMA and local floodplain regulations. While the descriptive information provided indicates that the project likely will be permissible, specific details required include:

1. Certification and supporting data showing that the proposed project will not result in any increase in flood levels during the base flood discharge.
2. Clarification as to whether the proposed project includes "Seasonal Marine Structures."
3. Verification that new utilities will be elevated above the BFE

Specific project components that may include fill and could alter flood levels include:

- Construction of a new bulkhead-mounted lift pier
- Oversheeting an existing bulkhead and wall with a new steel sheet pile bulkhead
- Cutting a new concrete boat launch
- Reconstruction of a damaged wall
- Replacing gravel backfill
- Constructing a deck landing



Because the proposed project is within a Floodway, all work must conform to the Floodway regulations even if the project is not a Substantial Improvement.

## **Conclusions**

Based on a review of the application provided, additional information and clarifications are needed before the proposed project can be permitted from a floodplain management perspective.

Please contact me with any questions.

**Noah Slovin** AICP, CFM  
Senior Resilience Planner

**O** [617-865-2544](tel:617-865-2544)

**E** [nslovin@slrconsulting.com](mailto:nslovin@slrconsulting.com)

SLR International Corporation  
10 High Street, Suite 605, Boston MA United States 02110

*The above permit application review was conducted in good faith using available information and the consultant's best interpretation of local, state, and federal floodplain management codes and guidelines.*





Norwest Marine Inc.  
C/o James Marsh  
7 River Road, Pawcatuck

SUBJECT: 202304998-COP  
7 River Road, Stonington (Pawcatuck)

Dear Mr. Marsh:

Please find attached a copy of your subject license and relevant enclosures which are being issued pursuant to your application of September 12, 2023. Your attention is directed to the conditions of the license. All work must conform to that which is specifically authorized.

Any work in regulated areas of the State which has not been authorized by a valid license is a violation of state law and subject to enforcement action by the Department of Energy & Environmental Protection and the Office of the Attorney General.

Your initiation of authorized activities will be relied upon as your agreement to comply with the terms and conditions of the license.

If you have not already done so, you should contact your local Planning and Zoning Office and the U. S. Army Corps of Engineers to determine local and federal permit requirements on your project, if any. Write the Corps' New England District, Regulatory Branch, 696 Virginia Road, Concord, MA 01742-2751; <http://www.nae.usace.army.mil/> or call 1-800-343-4789.

If you should have any questions or concerns, please contact Eimy Quispe, 860-424-4182, [Eimy.Quispe@ct.gov](mailto:Eimy.Quispe@ct.gov).

Sincerely,

---

Eimy Quispe, Analyst  
Land & Water Resources Division  
Bureau of Water Protection & Land Reuse

Encl(s): License



## Connecticut Department of Energy and Environmental Protection License\*

### Certificate of Permission

**Licensee(s):** Norwest Marine, Inc.  
c/o James Marsh

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**Licensee Address(s):** 7 River Road  
Pawcatuck, CT 06378

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**License Number(s):** 202304998-COP

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**Municipality:** Stonington

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**Project Description:** Retention of structures, oversheeting of existing bulkhead, maintenance of existing docks, and related activities for marine commercial use

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**Project Address/Location:** 1 River Road & 7 River Road  
Pawcatuck, CT

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**Waters:** Pawcatuck River

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**Authorizing CT Statute(s) and/or Federal Law:** CGS Section 22a-359 to 363g; CGS Section 22a-90 to 112

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**Applicable Regulations of CT State Agencies:** 22a-426-1 to 9

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**Agency Contact:** Land & Water Resources Division,  
Bureau of Water Protection & Land Reuse, 860-424-3019

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**License Expiration:** Five (5) years from the date of issuance of this license.

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\*Connecticut's Uniform Administrative Procedure Act defines License to include, "the whole or part of any agency permit, certificate, approval, registration, charter or similar form of permission required by law . . ."



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**Project Site Plan Set:** *Marina Modifications, 12 sheets prepared by Timothy DeBartolomeo P.E., Docko Sound Engineering Associates, LLC, dated May 15, 2023 with sheets 2, 6, 8, and 10 out of 12 revised November 17, 2023; sheets 1, 9, and 12 out of 12 revised November 21, 2023; sheet 11 out of 12 revised December 4, 2023; and sheets 3, 4, 5, and 7 out of 12 revised December 7, 2023.*

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**License Enclosures:** LWRD Compliance Certification Form; Land Record Filing; LWRD General Conditions; Site Plan Set; LWRD Work Commencement Form

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**Authorized Activities:**

The Licensee is hereby authorized to conduct the following work as described in application # 202304998 and as depicted on any site plan sheets / sets cited herein:

1. 1 River Road:

- a. Retain the following pre-1995 existing structures for marine/commercial use as shown on site plan sheet 8 of 12:
  - i. approximately 85' long by 4' high timber bulkhead extending from the deck north along the shoreline,
  - ii. approximately 400 SF timber deck of which approximately 20' by 10' (200 SF) is located waterward of the coastal jurisdiction line (CJL),
  - iii. approximately 4' wide by 11' long timber ramp affixed to the deck and extending waterward to a landing float,
  - iv. two (2) floats connected end-to-end and installed perpendicular to the shoreline consisting of an approximately 6' wide by 20' long landing float and an approximately 4' wide by 45' long main float,
  - v. approximately 5' wide by 20' long landward finger float extending south from the landing float,
  - vi. approximately 4' wide by 21' long mid-finger float extending north from the main float,
  - vii. approximately 4' wide by 19' long waterward finger float extending north from the main float.
  
- b. Replace the structures described above in item 1.a. as follows:
  - i. over sheet 85 LF of an existing timber bulkhead with wood or steel and construct 44 LF of new sheet pile bulkhead consisting of returns on the northern and southern ends of the existing timber bulkhead with a new top elevation of +3.6' NAVD88 and no more than 18" waterward of the existing timber bulkhead face as shown on site plan sheets 10 and 11 of 12:
    1. install new bulkhead brace/fender piles and new continuous bulkhead wales,
    2. backfill 100 CY over 550 SF to a top elevation of +2.6' NAVD88 on the landward side of the new bulkhead,

- ii. construct a new approximately 450 SF timber deck of which approximately 200 SF is located waterward of the CJL as shown on site plan sheets 10 and 12 of 12:
    - 1. construct to grade two (2) 5' wide by 8' long ADA compliant ramps and two (2) landing decks approximately 5' wide by 6' long with rails,
  - iii. install new floats and float restraint piles as shown on site plan sheets 9, 10, and 12 of 12:
    - 1. install a new 3.5' wide by 20' long hinged ramp to a landing float,
    - 2. install a new 8' wide by 20' long landing float located perpendicular to the shoreline,
    - 3. install a new 8' wide by 45' long main float located perpendicular to the shoreline and connected end-to-end to the landing float,
    - 4. install a new 5' wide by 20' long landward finger float extending south from the landing float,
    - 5. install two (2) new 4' wide by 20' long finger floats extending north from the main float,
  - c. Split and relocate a boulder shown on sheet 12 of 12 to a location of similar approximate depth in the general project area.
2. 7 River Road:
- a. Retain the southernmost 195 LF of the existing concrete bulkhead with an approximate top of wall elevation of +5.8' NAVD88 as shown on site plan sheet 4 of 12,
  - b. Install approximately 480 LF of new steel sheet pile bulkhead:
    - i. over sheet an existing approximately 335 LF wood pile and timber bulkhead and returns along with support piles, wales, and wood cap to a top elevation of +5.7' NAVD88 no more than 18" waterward of the existing bulkhead and backfill approximately 110 CY of gravel/crushed stone as shown on site plan sheets 5, 6, and 7 of 12,
    - ii. over sheet an existing approximately 145 LF of concrete capped stone wall south and west of the lift well with a top elevation of +5.3' NAVD88 no more than 18" waterward of the existing wall face as shown on site plan sheets 3 and 6 of 12,
  - c. Modify or replace approximately 437 LF of wood floating docks with 440 LF of wood floating docks along the bulkhead with wood float restraint piles and new utilities as shown on site plan sheets 5 and 6 of 12:
    - i. an 8' wide by 305' long floating dock north of the pile supported access platform,
    - ii. an 8' wide by 80' long floating dock south of the pile supported access platform,
    - iii. an 8' wide by 55' long floating dock installed to meet the float alignment of the dock noted above in 2.c.ii,

- iv. a new 100 SF wood pile supported access platform with rails and two (2) 4' wide by 28' long access ramps to the floating docks noted above in 2.c.i. and 2.c.ii.,
- d. Remove and replace two (2) pile supported straddle hoist lift piers and modify associated floats as shown on site plan sheet 6 of 12:
  - i. install two (2) new approximately 60 LF straddle lift piers, one pile mounted, and one bulkhead mounted,
  - ii. reorient the existing 8' wide by 64' long lift well staging float,
  - iii. reconfigure a new 8' wide by 12' long lift well staging float to line up with the pile mounted lift well pier and improve historic channel offset,
  - iv. install a new 50 SF fillet labelled "E",
  - v. install a new 24' long hinged ramp from top of bulkhead to lift well staging float noted above in 2.d.ii.,
- e. Construct landward of the CJL and cut out of the yard facilities a 140 LF concrete boat launch ramp with crushed stone base and lined with new steel sheet pile walls with a top elevation of +5.7' NAVD88 as shown on site plan sheets 5 and 7 of 12:
  - i. install 20 LF of temporary steel sheet pile across the waterward end of the ramp at or waterward of CJL for dewatering,
  - ii. install a turbidity curtain extending from the water surface to the substrate around the dewatering discharge area,
  - iii. remove the turbidity curtain following completion of the project; and
- f. Reconstruct approximately 240 LF of damaged stone wall in-kind and in-place with large cut stone or interlocking concrete blocks at and landward of CJL as shown on site plan sheets 5 and 7 of 12:
  - i. minimally excavate landward of the existing stone wall foundation/CJL to assess and stabilize the foundation stones, and
  - ii. rebuild stone wall on top of existing foundation stones and backfill landward of the stone wall to road grade.

***Failure to comply with the terms and conditions of this license shall subject the Licensee and / or the Licensee's contractor(s) to enforcement actions and penalties as provided by law.***

**This license is subject to the following Terms and Conditions:**

1. **License Enclosure(s) and Conditions.** The Licensee shall comply with all applicable terms and conditions as may be stipulated within the License Enclosure(s) listed above.
2. **Fisheries Protection.** In order to protect diadromous fish, pile driving and sheeting installation is prohibited between April 1<sup>st</sup> and June 30<sup>th</sup>, inclusive, of any year, unless authorized in writing by the Commissioner.
3. **Wetland Delineation and Demarcation.** Prior to the commencement of construction of the stone wall authorized herein, the Licensee shall demarcate, by use of silt fence, hay bales, and/or construction fence, the limits of wetlands located at the site. Any work,

vehicular/pedestrian passage, equipment staging, or material storage shall be prohibited within these limits to prevent any wetland impacts. Any such demarcation material should be capable of withstanding daily tidal ebbs and flows and shall be maintained in optimal operating condition until project completion, at which time fencing and erosion controls shall be removed to an upland location.

4. **Stone Wall.** Displaced stone as shown on sheet 7 of 12 located waterward of the proposed stone wall and CJL shall be left in place and not moved or utilized for rebuilding the stone wall or other activities.
5. **Water Handling.** If final water handling varies from that shown on the plans approved herein, the Licensee shall submit, at least two weeks prior to the commencement of work and for the Commissioner's review and written approval, a final water handling plan.
6. **Turbidity Curtain.** Prior to the commencement of the construction of the boat launch ramp authorized herein, the Licensee shall install turbidity curtains extending from the water surface to the substrate around the dewatering discharge area. Such erosion and sediment control structures shall be maintained in optimal operating condition until project completion at which time the erosion and sediment controls shall be removed to an upland location.
7. **Barge Staging and Storage.** Any barge utilized in the execution of the work authorized herein shall occur only during periods of higher water to prevent the barge from resting on, or coming into contact with, the substrate at any time. Any such barge must move to deeper waters during periods of low water in the area of the proposed activities.
8. **Coordination with Coast Guard.** Coordination with the Coast Guard shall occur prior to commencement of the water-based work authorized herein.
9. **Equipment and Stockpile Location Restriction.** At no time shall equipment or material stockpiles be staged over or within wetlands or submerged aquatic vegetation areas. Equipment and stockpiles must be stored in upland areas above the Coastal Jurisdiction Line (CJL).
10. **Discharge of Concrete and Waste Material.** At no time shall the Licensee allow concrete or waste material to discharge onto or enter wetlands or the Pawcatuck River. All waste material generated by the performance of the work authorized herein shall be placed by the Licensee at an upland site approved for the placement of such waste material, as applicable.
11. **Waterward Encroachment for Bulkhead.** Waterward encroachment of new sheet pile bulkhead shall extend no further than 18" from the face of the existing bulkhead/wall.
12. **Bulkhead Caps.** Bulkhead caps authorized by this license shall not be used for the retention of fill or any other flood and erosion control purpose.

13. **Other Approvals.** Prior to the commencement of the work authorized herein the Licensee shall obtain all necessary local, state, and federal authorizations for the work authorized by this license.

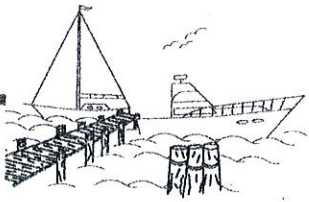
Issued under the authority of the Commissioner of Energy and Environmental Protection on:

December 11, 2023

\_\_\_\_\_  
Date



\_\_\_\_\_  
Brian P. Thompson  
Division Director  
Land & Water Resources Division



**DOCKO**

A SOUND ENGINEERING ASSOCIATES COMPANY

PO Box 421, MYSTIC, CT 06355 (860) 572-8939 EMAIL: office@docko.com

RECEIVED

2023 DEC 11 A 2:29

December 8, 2023

TOWN OF STONINGTON  
PLANNING & ZONING

PZ2334CAM

Mr. Clifton Iler  
Planning and Development  
Town of Stonington  
1525 Elm Street  
Stonington, CT 06340

Re: Norwest Marine  
Planning and Zoning Application  
CAM Site Plan

Dear Mr. Iler:

We are pleased to transmit herewith application documents for a Planning and Zoning application and the CAM Site plan permit for shoreline restoration at the property of Norwest Marine at 1 and 7 River Road in Pawcatuck.

Attached are the following documents included:

- Coastal Site Plan and Planning and Zoning Application
- Application drawings plus an electronic copy issued via email
- Reference & Resource Maps
- Check payable to the Town of Stonington
- Photographs of the site

We have forwarded the application to you electronically as well. I trust that you will find this application complete and acceptable. We look forward to meeting with you at your earliest convenience and making our presentation to the Planning & Zoning Commission at their next regularly scheduled meeting. If you get a chance please forward a copy of the agenda so that we can plan our presentation accordingly.

Yours truly,  
DOCKO

Keith B. Neilson, P.E.

KBN: cl  
Enclosures  
CC: James Marsh  
File: 23-07-3281 Norwest Marine

# Town of Stonington

## Application Form Municipal Coastal Site Plan Review

For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the appropriate Village of Noank agency.

### Section I: Application Identification

P22334CAM

Applicant:	<b>Norwest Marine, Inc.</b>	Date:	<b>_12.6.23_</b>
Address:	<b>7 River Road, Pawcatuck, CT 06378</b>	Phone:	<b>590-572-8939</b>
Project Address or Location:	<b>7 River Road, Pawcatuck, CT 06378</b>		
Interest in Property:	x <b>fee simple</b> <input type="checkbox"/> option <input type="checkbox"/> Lessee <input type="checkbox"/> easement <input type="checkbox"/> other (specify)		
List primary contact for correspondence if other than applicant:			
Name:	<b>Docko, Keith B Neilson, P.E.</b>		
Address:	<b>PO Box 421</b>		
City/Town:	<b>Mystic</b>	State:	<b>CT</b> Zip Code: <b>06355</b>
Business Phone:	<b>860-572-8939</b>		
e-mail:	<b>office@docko.com</b>		

### Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check The appropriate boxes to indicate that the plans are included in this application:

- Project location
- Existing and proposed conditions, including buildings and grading
- Coastal resources on and contiguous to the site
- High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- Soil erosion and sediment controls
- Storm water treatment practices
- Ownership and type of use on adjacent properties
- Reference datum (i.e. National Geodetic Vertical Datum, Mean Sea Level, etc.)

### Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Site Plan for Zoning Compliance
- Subdivision or Resubdivision
- Special Permit or Special Exception
- Variance
- Municipal Project (CGS Section 8-24)

#### Part I: Site Information

1. Street Address or Geographical Description: **1 River Road, Pawcatuck**

City or Town: **Pawcatuck, Town of Stonington**

2. Is project or activity proposed at a waterfront site? (includes tidal wetlands frontage)  YES  NO

3. Name of on-site adjacent or downstream coastal, tidal or navigable waters, if applicable: **Pawcatuck River**

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:

**NorWest Marine is located on River Road in Pawcatuck along the west shore of the Pawcatuck River. The site is partly paved and otherwise surfaced with crushed stone for auto parking and boat storage, with a boat launch facility in the middle and stone, steel, concrete and wood bulkheads around east edges of the site and masonry stone and concrete along the south edge respectively. The marina has two buildings, the shop/office at the north end and on for the use of the marina in the middle of the yard, lift facilities, upland storage, etc. and provides a full line of service.**

5. Indicate the area of the project site: **4 acres**

6. Check the appropriate box below to indicate whether the project or activity will disturb 5 acres or more total acres of land area (please also see Part II.B. regarding proposed stormwater best management practices):

- Project or activity will disturb 5 or more total acres of land area on the site and may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities
- Project or activity will not disturb 5 or more total acres of land area



**Part II.A. Description of Proposed Project or Activity**

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

**Please see 3a-3b for complete project description and work method.**

**Part II.B.: Description of Proposed Stormwater Best Management Practices**

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loading of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

## **Description of Proposed Project or Activity**

This proposed development project is to restore existing boating support facilities on the site No. 7 River Road.

- remove and replace 437+/-LF of wood floating dock with 445+/-LF of wood floating docks with wood float restraint piles and new utilities
- construct a 100sf wood pile supported access platform and two hinged ramps.
- remove two pile supported straddle hoist lift piers and replace them with new 65LF straddle lift piers, one pile mounted, and one bulkhead mounted
- oversheet an existing 340+/-LF wood pile and timber bulkhead and 145+/-LF of concrete/stone wall, with new 487+/-LF steel sheet pile bulkhead including returns at each end all at or within 18 inches face to face of the existing wood bulkhead face and with a new cap and pedestrian rail.
- Install new ladders and new utilities at and waterward of the HTL and CJL
- cut out of the yard facilities a 150+/-LF concrete boat launch ramp lined with steel sheet pile walls, all at and landward of the high tide line and coastal jurisdiction line
- Reconstruct 240+/-LF of damaged, dry-stacked rubble wall with large cut stone or interlocking concrete blocks in the same line 350+/-cy over 1000+/-sf, all at and landward of the high tide line and Coastal Jurisdiction line plus 20+/-LF of temporary ramp sheetpiling for dewatering, waterward of the HTL and CJL, remove 1000+/-CY of gravel to be spread over the yard or removed from the site.

### **No. 1 River Road**

- Oversheet 105 LF of existing bulkhead with 105LF of new wood pile and timber bulkhead
- replace 20+/-CY of gravel backfill lost to erosion over 200+/-SF and replace existing floating docks with a new 8x20 foot ramp landing float, a new 8x45LF main float two 4x20LF fingers and a 5x20LF finger with a hinged ramp to shore and 450SF deck landing with ramps to grade of which 200+/-SF is waterward of the CT Coastal Jurisdiction line.

### **Steel sheet pile bulkhead work**

The steel sheet pile bulkheading will commence in the middle bend or at either the northeasterly corner of the site or at the south end of the travel lift well and proceed toward the opposite end in either case. Steel sheets will be driven in pairs as is the customary practice. Steel sheet will be driven from a marine construction barge in the Pawcatuck River rather than land-based equipment in order to not induce potentially destabilizing vibrations into the ground behind the existing aged wood pile and timber bulkhead. Welded pairs of sheet piles will be driven beginning at the bend in the existing bulkhead well just north of the lift well area.

At the northeast corner of the yard, the bulkhead will also have a return which will initially be approximately 40 feet long spanning past the proposed vehicle launch ramp shown on the drawings. It is envisioned that this will serve as a dewatering barrier to allow work on the ramp to proceed in basically dry conditions until the bulkhead retaining walls can be installed along the edge of the ramp. At that point the sheeting directly in front of the vehicle launch ramp track will be removed and cut into pieces lengthwise to be incorporated into the upper ramp retaining walls so that there will be no wasted material.

The wood bulkhead at 1 River Road will be oversheeted with wood or steel depending on cost and availability. In either case the sheets will be set then secured with upper and lower wood wales, braced with driven wood piles at roughly 5 foot centers, then backfilled.

Both of these parts of the project will require the marine construction barge to be anchored or spudded down beyond the easterly edge of the site in the travel way, the former Federal Navigation Project/Channel. Appropriate notices to mariners and coordination with the Coast Guard will take place in advance of this work.

### **Floating dock modifications and replacement**

The existing floating dock facilities will be removed entirely from each site to allow for restoration or the installation of the bulkhead and then a new 8-foot-wide perimeter floating dock will be reinstalled along the northeasterly face of the new bulkhead on the main yard. This removal work can be done from the marine construction barge or with boom trucks or even excavators fitted with chains and slings to lift each floating dock section out of the water.

As shown in the application drawings, the existing main yard floating dock will be split into two sections and a new pile supported platform with hinged ramps which will be installed in the area between the pump-out and fueling facilities in order to separate transient berthing from the refueling functions. The floating dock facility south of the hinged ramp platform will have special manufactured corners to allow interlocking between the angled sections following the bulkhead around to the lift well perimeter.

Restraint piles for the new floats will be driven at roughly 10 to 20-foot intervals immediately waterward and in the recesses of the new bulkhead, so that each 20-foot section will have at least one float restraint pile. These piles will also be driven by the marine construction barge stationed right off the face of the bulkhead.

All of these floating dock sections will be manufactured offsite in advance, delivered to the site by truck and will be assembled on site after each float is placed in the water. The floats will be moved into position along the bulkhead and then piles will be driven adjacent to the pile hoops strategically located along the various segments of floating dock to match the recesses in the bulkhead sheet piles.

### **Straddle hoist lift piers- Main Yard**

The straddle hoist lift piers are being relocated, rotated and shifted approximately 5 degrees to the southeast and 5 feet to the south in order to allow for the southerly track to be located on the newly installed steel sheet pile bulkhead. The northerly track will be rebuilt as totally pile supported as shown in the application drawings. These tracks and support structures will be extended into the yard approximately 10 feet behind the face of the new bulkhead to assure adequate anchorage and shore transition stability for the lift well straddle hoist operations. Pile driving and hoisting heavy timbers will be done by the deck mounted crane off of the marine construction barge.

### **Vehicle boat launch ramp-Main Yard This will be a new facility on No. 7 River Road providing access versability to boaters.**

The new vehicle launch ramp to be constructed at the northeasterly corner of the site. This ramp will be a composite structure of graded earth products covered with a concrete slab of 8 to 12 inch thickness with keyed joints and anchors in order to assure security against sliding during heavy vehicle loading.

The ramp will first be excavated in dewatered conditions to allow for exact grade and gradient tolerances for 13 ½ % slope. The ramp profile excavated depth will go to -9 feet NAVD, approximately 7 feet below Mean Low Water. There will be a small 20-foot level section covered with crushed stone at that depth, at the terminus of the ramp, which will be at the face of the new bulkhead for transition to the riverbed grade so that all of this regrading work exists within the perimeter of the existing facilities consistent with COP permitting guidelines.

All of this work will be done by land-based equipment (excavation, dump trucks, etc.) operating from the land just west of the newly installed steel sheet piling work along the east face and the north easterly corner return.

Dewatering operations will be continuous during this process discharging into a "plunge pool" area lined with lined with Geotextile filter fabric to contain the fines and minimize turbidity. The section area will be a rock lined hold covered with geotextile fabric to filter out eroded soils. This will allow filtered water to be discharged into the "plunge pool".

#### **Rock wall reconstruction Main Yard**

Some existing wall stone has collapsed into the river along the north edge of the main yard site will be left in place as requested by the DEEP. The upper stone at the top of the existing bank will be left in place at the toe. The top of the existing walls will be reworked to form a level shelf to form a smooth and regular shelf foundation for the wall to be rebuilt with leftovers going into the wall backfill behind a geotextile filter fabric to minimize soil erosion loss.

The blocks of granite or concrete will be built up with an interlocking pattern at and behind the recognizable toe of existing stonework a foot back from. The blocks will be back lined with geotextile filter fabric and the backfilled with existing onsite stone, some of which will have come from the new vehicle boat launch ramp. The flow way back to the River Road street drain pipe will be left clear. With this approach, there will be no new encroachment upon the waterway or vegetation or tidal wetland resources.

### Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resource	Proposed	Allowed	Consistent with the Mitigation Strategy	Not Applicable
General coastal resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X		
Beaches & Dunes – Definition: CGS Section 22a-93(7)(C); Policy: CGS Sections 22a-92(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments – Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)	X	X		
Coastal Hazard Area – Definition: CGS Section 22a-93(7)(H); Policy: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)	X	X		
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters – Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)	X	X		
Developed Shorefront – Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)	X	X		
Freshwater Wetlands and Watercourses – Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats – Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands – Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)		X		
Rocky Shorefront – Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)	X	X		
Shellfish Concentration Areas – Definition: Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands – Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands – Definition: CGS Section 22a-93(7)(E); Policies: CGD Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)	X	X		

\* General Coastal Resource policy is applicable to all proposed activities

#### Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary);

**Norwest is a filled site which utilized a unconventional work scope of building on top of scuttled barges 50 years ago in the mid-section of the yard. Otherwise, there are bulkhead and stonework and wood bulkhead retention structure, holding the site soils in place. All of these structures are 20 to 50 feet years old and must be restored. The site is developed shoreline which erodes easily if there is no bank protection. None of the proposed development will alter the existing site characteristics with relation to resource quality. There will be no encroachment on the only tidal vegetation in the work area at the north end of the main site where the stonework restoration be limited to elevations above Mean High Water, thus there will be no adverse impact on coastal resources at this site while the site usage will be vastly improved.**

#### Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- General Development\* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- Water-Dependent Uses\*\* - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);  
Definition CGS Section 22a-93(16)
- Ports and Harbors – CGS Section 22a-92(b)(1)(C)
- Coastal Structures and Filling – CGS Section 22a-92(b)(1)(D)
- Dredging and Navigation – CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- Boating – CGS Section 22a-92(b)(1)(G)
- Fisheries – CGS Section 22a-92(c)(1)(I)
- Coastal Recreation and Access – CGS Sections 22a-92(a)(6), 22a-92(c)(1)(J) and 22a-92(c)(1)(K)
- Sewer and Water Lines – CGS Section 22a-92(b)(1)(B)
- Fuel, Chemicals and Hazardous Materials – CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E), and 22a-92(c)(1)(A)
- Transportation – CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- Solid Waste – CGS Section 22a-92(a)(2)
- Dams, Dikes and reservoirs – CGS Section 22a-92(a)(2)
- Cultural Resources – CGS Section 22a-92(b)(1)(J)

\* General Development policies are applicable to all proposed activities

\*\* Water-Dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

**Part VI: Consistency with Applicable Coastal Use Policies and Standards**

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) – also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

**All of the proposed development at Norwest Marine is intended for and will fully supports water dependent recreational boating. There is a little new development since both sites have existed for decades in their current location and condition and have been utilized for the same purpose. While the Pawcatuck River is not formally classified as a port or harbor, it is essentially operating as the same function in this part of the river. There are numerous marinas and private boat docking and mooring facilities immediately north and south of the project site. All of the proposed development is consistent with the long-standing use of both properties and fully consistent with the coastal use policies defined in the Coastal Management Act.**

**Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources**

*Please complete this section for all projects.* Identify the adverse impact categories below that apply to the proposed project or activity. The "applicable" column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions – CGS Section 22a-93(15)(H)		<b>X</b>
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones – CGS Section 22a-93(15)(E)		<b>X</b>
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours – CGS Section 22a-93(15)(B)		<b>X</b>
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff – CGS Section 22a-93(15)(D)		<b>X</b>
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction – CGS Section 22a-93(15)(C)		<b>X</b>
Degrading visual quality through significant alteration of the natural features of vistas and view points – CGS Section 22a-93(15)(F)		<b>X</b>
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity – CGD Section 22a-93(15)(A)		<b>X</b>
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat – CGS Section 22a-93(15)(G)		<b>X</b>

**Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses**

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use – CGS Section 22a-93(17)		<b>X</b>
Replacing an existing water-dependent use with a non-water-dependent use – CGS Section 22a-93(17)		<b>X</b>
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters – CGS Section 22a-93(17)		<b>X</b>

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

**Both sites qualify as water dependent uses as defined in CGS section 22 a 93 (16). Once developed, both sides will have birthing facilities supporting recreational boating with 1 River Rd. supporting the launch ramp facilities on 7 River Road, as shown in the attached Coastal Site Plan drawings. Neither site supports public access except for boaters. These are both controlled access sites using existing and proposed modified piers, ramps, floats, and tie off piles. There will be launching capability for kayaks or paddle boards at the inboard slip on 1 River Road consistent with the usage of the property as it has existed for the last 30 years.**

\* If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.



Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary)

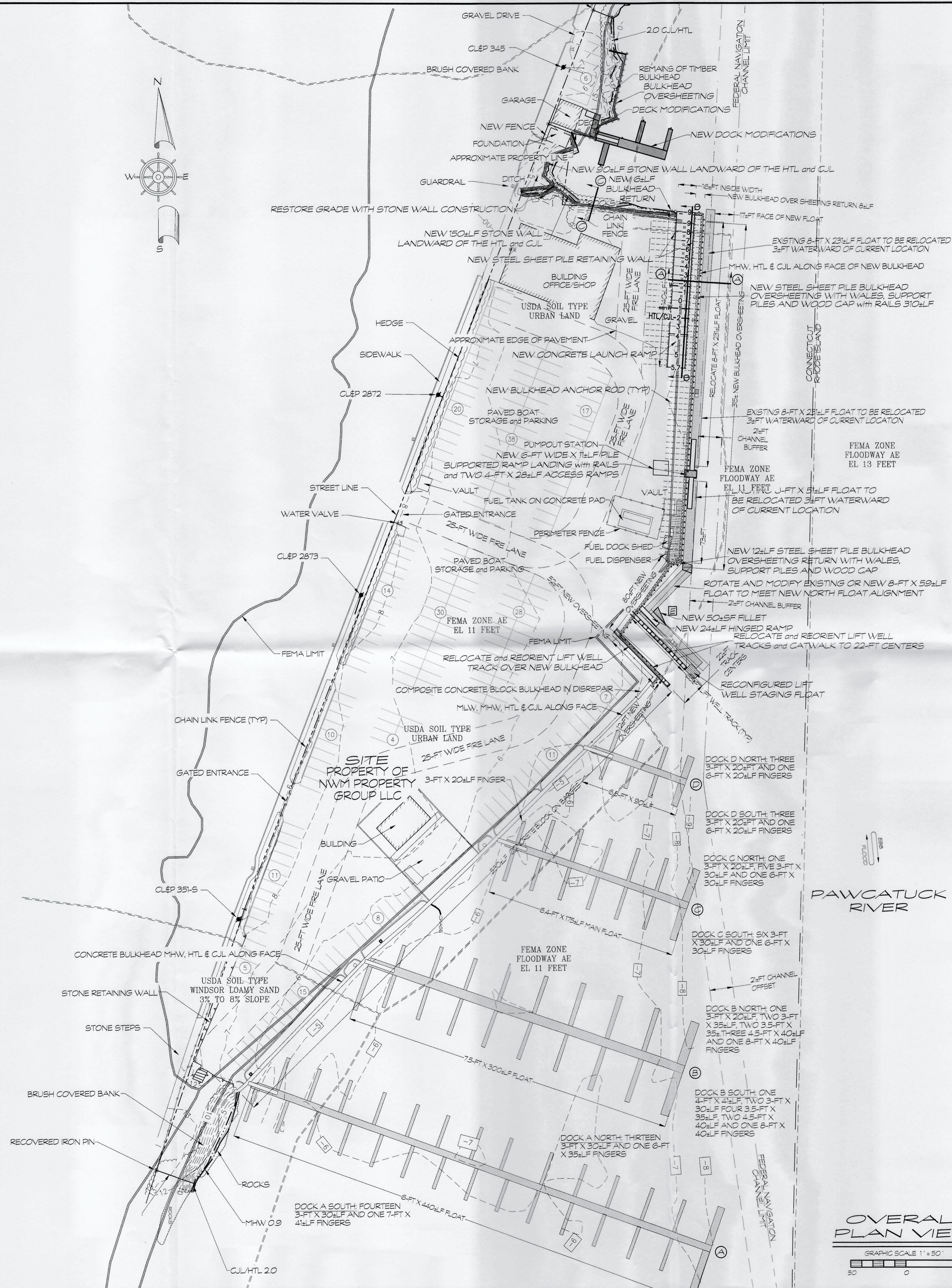
**There are no potential adverse impacts on future water dependent development opportunities and activities as a result of the proposed improvements for both 1 and 7 River Road. The environmental impacts which could possibly adversely affect existing resources along the site have been minimized by design. The reconstruction of the heavy Stonewall at the north end of 7 River Road has been limited to work above the Mean High Water line in order to avoid impacting areas where limited tidal wetlands vegetation could and, in one small localized place, 210+/-SF, grows immediately in front of the wall. The face of the rebuilt upper wall section will be back a foot or possibly more from the high tide line. The construction of the new launch ramp is located entirely within the confines of the existing site as well as the new bulkhead for the north half of the site. There will be no new encroachment of the structure into navigable waters of the state. Staging associated with the launch and retrieval process will be from 1 River Road and drop of parking is provided for that. Longer term parking will be on 7 River Road.**

### **Part IX: Remaining Adverse Impacts**

Explain why any remaining impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):


**There are no known or foreseeable address impacts remaining after the construction of the proposed improvements is complete. Public access will not have changed, boating access will have been improved at both sites and operational efficiency of 7 River Road, the main yard, will have been improved. These projects will improve recreational boating access from both sites working collectively and provide new small craft access which is not previously existed from 1 River Road.**





**OVERALL PLAN VIEW**  
 GRAPHIC SCALE 1" = 50'  
 50 0 50

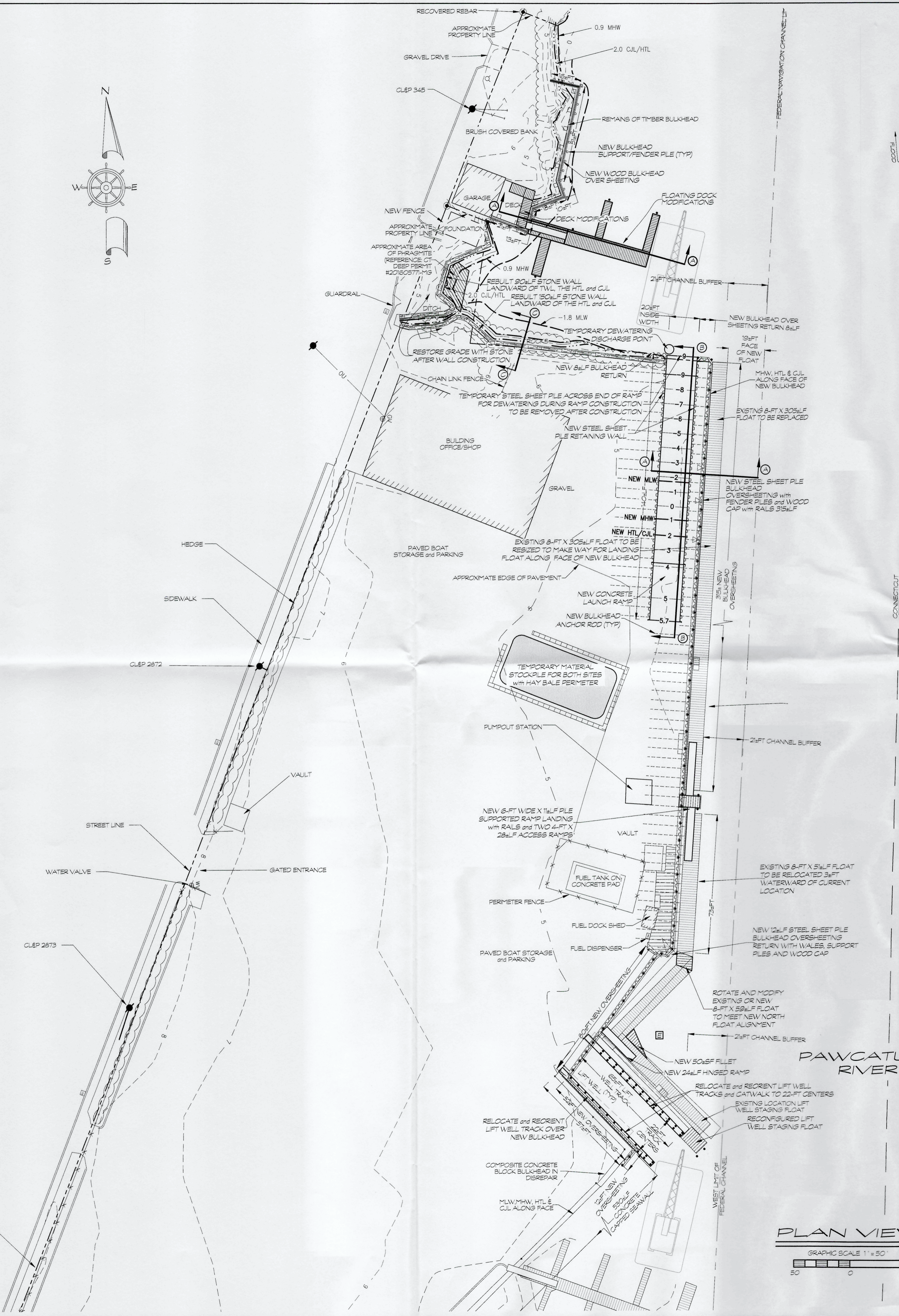
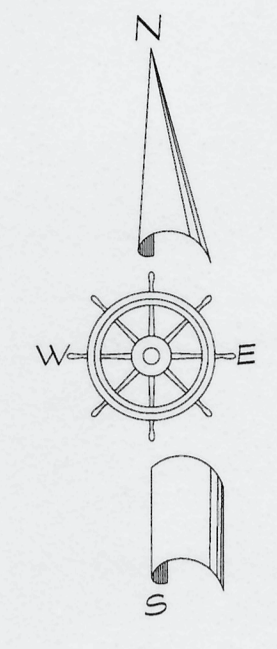
Survey by Resource Management and Mapping  
 Elevations are based on NAVD '88

<b>MARINA MODIFICATIONS          PAWCATUCK RIVER</b> JULY 19, 2023 PROPERTY OF NWM PROPERTY GROUP LLC 7 RIVER ROAD - PAWCATUCK, CT	
APPROVED _____	DATE _____
SHEET 2 OF 3	
PREPARED BY: <b>DOCKO</b> SOUND ENGINEERING ASSOCIATES LLC PO BOX 421 MYSTIC, CT 06355 860 572-8939 EMAIL: info@docko.com	

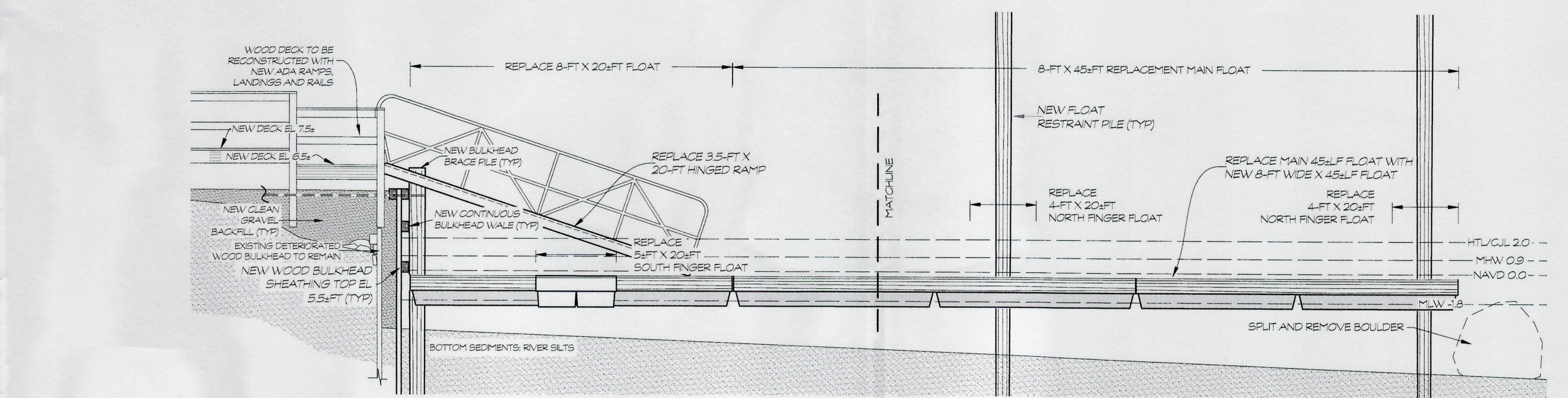
NorwestMarine\_CSP-3.dwg

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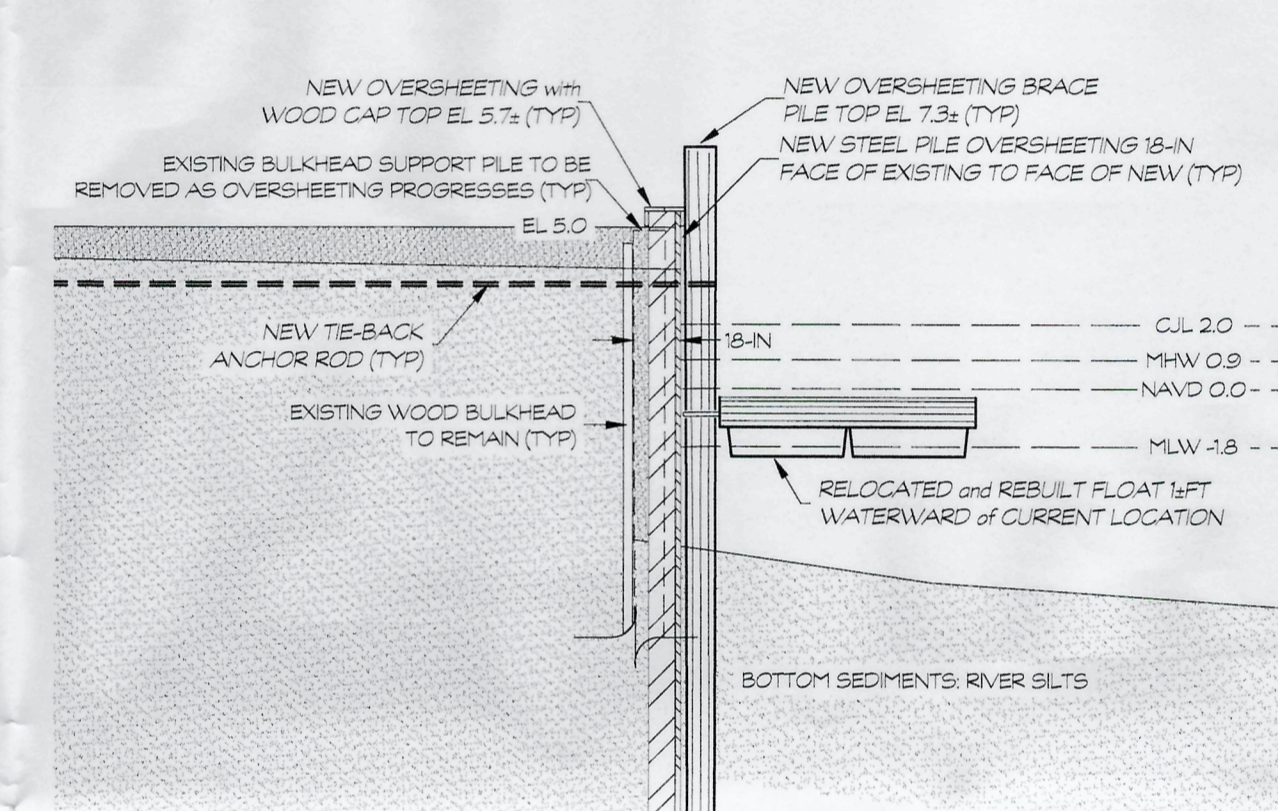
Dockco Sound Engineering Associates



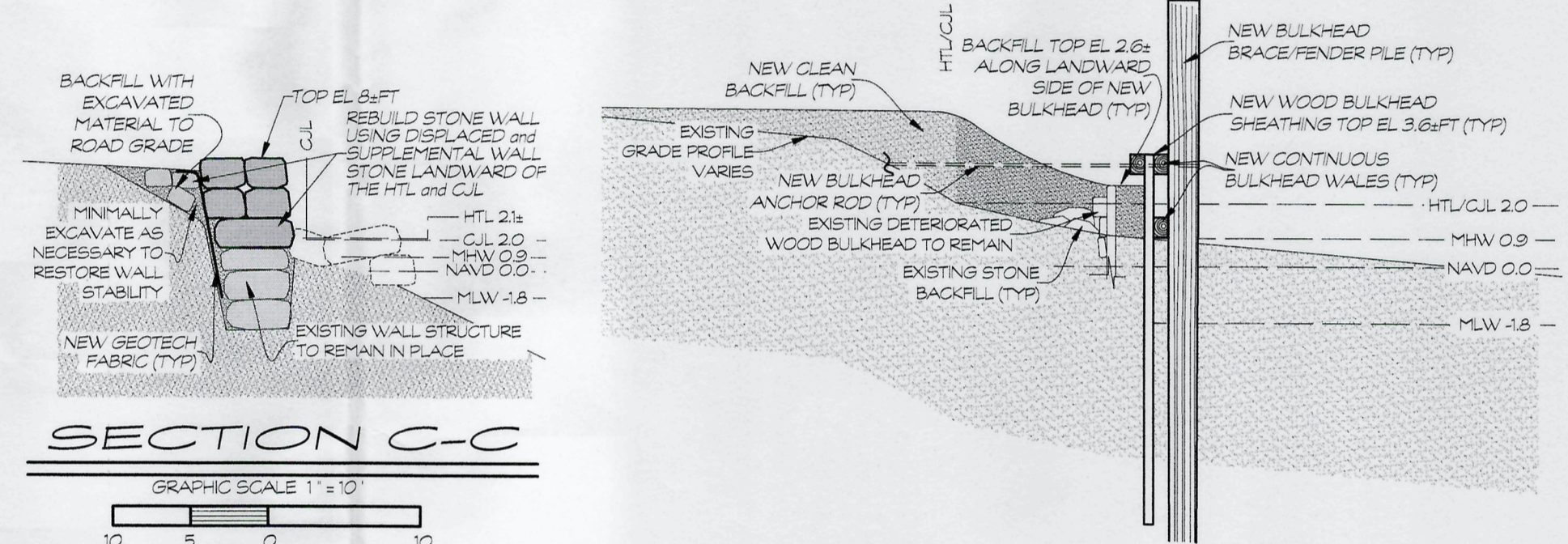
PLAN VIEW  
GRAPHIC SCALE 1" = 50'



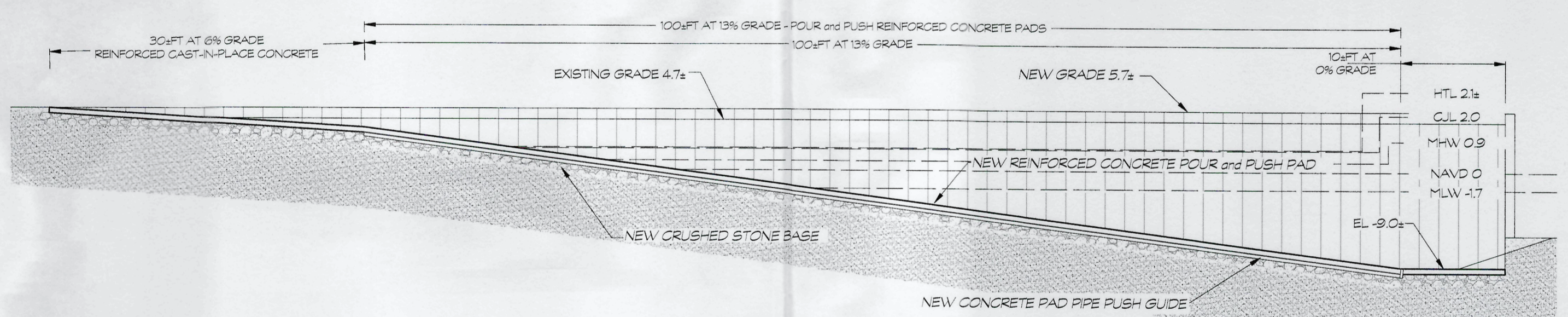
SECTION A-A  
GRAPHIC SCALE 1" = 6'



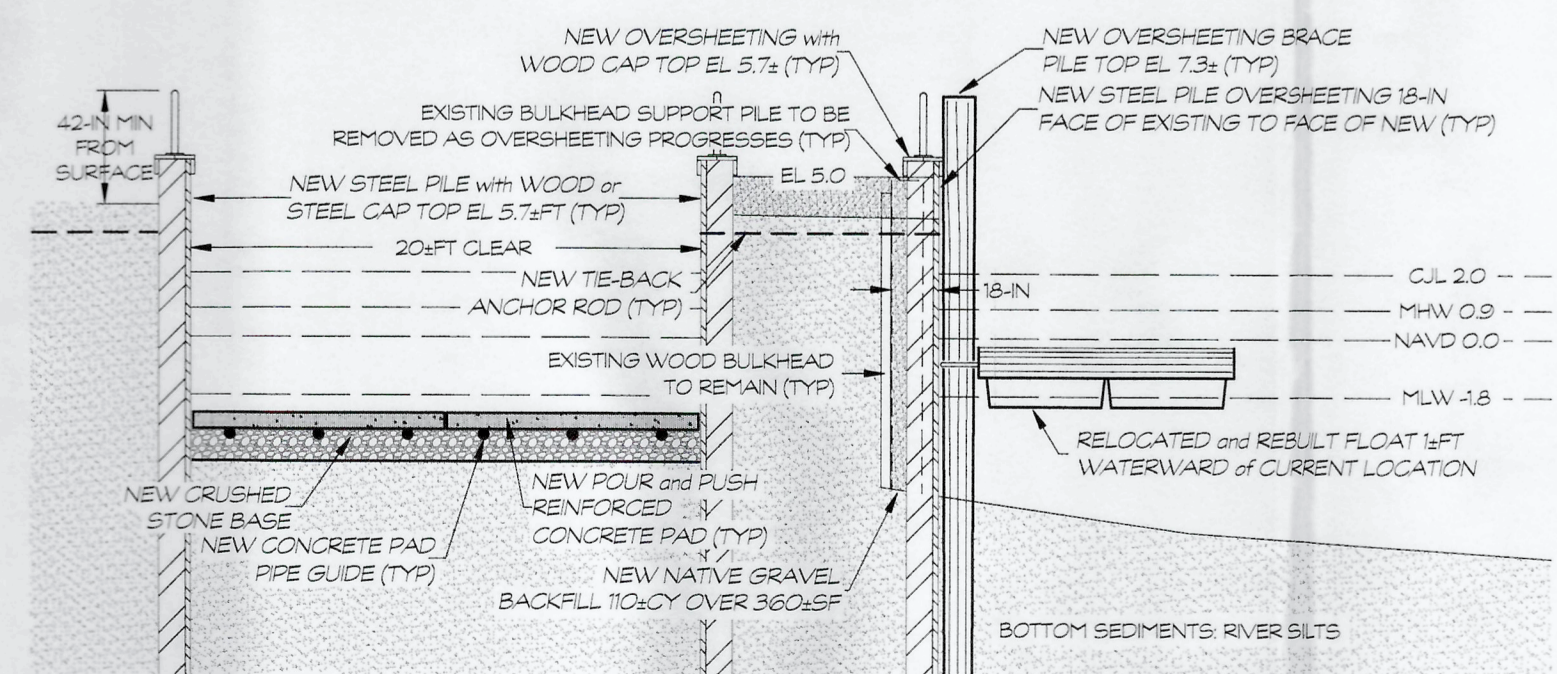
SECTION A-A  
GRAPHIC SCALE 1" = 6'



SECTION C-C  
GRAPHIC SCALE 1" = 10'



SECTION B-B  
GRAPHIC SCALE 1" = 10'



SECTION A-A  
GRAPHIC SCALE 1" = 6'

Survey by Resource Management and Mapping  
Elevations are based on NAVD '88

MARINA MODIFICATIONS PAWCATUCK RIVER  
JULY 19, 2023

PROPERTY OF  
NWM PROPERTY GROUP LLC  
7 RIVER ROAD - PAWCATUCK, CT

APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

SHEET 3 OF 3

PREPARED BY:  
DOCKO  
SOUND ENGINEERING  
ASSOCIATES LLC  
PO BOX 421 MYSTIC, CT 06355  
860 572-8939  
EMAIL: office@docko.com

DWG 23-07-328f



## Town of Stonington | Department of Planning Planning and Zoning Commission Meeting January 16, 2024

### PZ2322SPA & GPP Fair Housing of Connecticut, LLC (M. Ranelli)

*Site Plan Application and Groundwater Protection Permit applications for an Affordable Housing Project submitted pursuant to C.G.S. 8-30g. Proposal consists of 102 single-family housing units and associated site improvements. Properties located at 207, 215, and an unaddressed parcel on Liberty Street, Pawcatuck; M/B/L: 16-4-12; 16-4-12A; 16-4-13. Properties are located in the LS-5 Zone.*

**Report Prepared By:** Clifton J. Iler, AICP – Town Planner

## Application Status

This application is for Site Plan Application (SPA) and a Groundwater Protection Permit (GPP). This application was submitted in accordance with [C.G.S. Section 8-30g](#). [C.G.S. Section 8-3\(g\)](#) establishes the criteria and requirements for a Site Plan Application. The Commission can elect to conduct a public hearing within 65 days of receipt of the application and has 35 days to conduct the public hearing once opened, as established in [C.G.S. Section 8-7d\(a\)](#). The applicant may request one or more extensions provided the total of any such extension or extensions shall not exceed 65 days.

- Official Date of Receipt for this application was 9/19/23.
- The public hearing was opened on 11/21/23.
- The applicant requested an extension of **21 days** to continue the public hearing.
- The public hearing, without extension, must be closed **tonight**.
- A decision, without extension, must be made by 3/21/24.
- The applicant can request an extension to any period up to **44 days**.

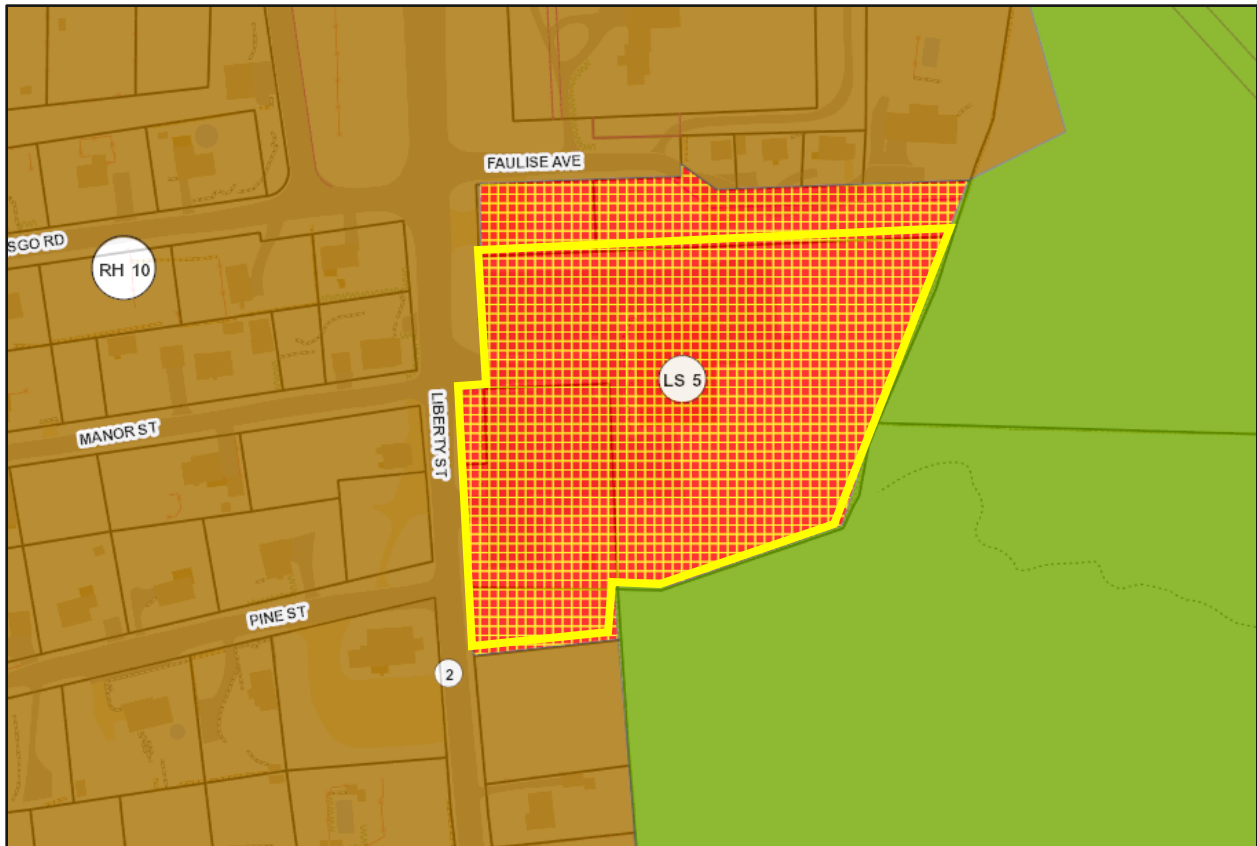
## Purpose

This application for a 102 dwelling unit attached housing project is made under the State Affordable Housing Appeals Act (C.G.S. Section 8-30g). The Act is intended to encourage the development and adequate supply of affordable housing in the State of Connecticut. This proposal consists of 102 single-family three-bedroom townhomes with parking, stormwater features, and associated site improvements. The units are accessed by internal roads which connect to Liberty Street (State Route 2).

## Zoning and Context

The site is located in the LS-5 Zone. Under C.G.S. Section 8-30g, applications are permitted to deviate from the existing zoning regulations of the base zone provided they satisfy the standards established in the Act. This application is not required to conform to the bulk and use requirements for the LS-5 Zone.

## ZONING MAP



North: LS-5 Zone [Use: Residential]

South: RH-10 Zone [Use: Residential]; GB-130 Zone [Use: Educational]

East: GB-130 Zone [Use: Open Space/Educational]

West: RH-10 Zone [Use: Residential]

## Site Access and Traffic

The site is accessed from Liberty Street (State Route 2). The project consists of an internal street network with ingress/egress points to Liberty Street at two locations. A traffic study conducted by BL Companies was provided as part of this application set. The project is subject to review by the Board of Police Commissioners and the Office of the State Traffic Administration (OSTA).

Comments on traffic flow, circulation, and other site access items are included in the Response Summary.

## Environmental Elements

The site is subject to previous disturbance and development and does not contain any known hazards that require remediation. There are wooded areas with mature trees around the northern, eastern, and southern parts of the site, but no known significant environmental features on the site. The site is approximately 1,000 feet west/southwest from the Pawcatuck River and well-removed from any environmental features associated with the river.

The site is located in the Groundwater Protection Overlay District (GPOD) and requires receipt of a Groundwater Protection Permit (GPP) as part of this application. The project is required to meet the standards outlined in ZR §7.2.7 (27<sup>th</sup> Edition). The applicant proposes underground treatment and infiltration systems under the paved interior road network to treat and convey stormwater. A critical element of concern for the site will be stormwater quality and the impact of stormwater on the Pawcatuck Basin Aquifer System, a Sole Source Aquifer (SSA), and the Rhode Island Wellhead Protection Area (WHPA) – see attached maps.

The site is not located within 100 feet of and Inland Wetland or Watercourse, therefore no Inland Wetland and Watercourses Commission (IWWC) approval is required. The site is not located in a Coastal Area Management Overlay District (CAMOD); therefore, no Coastal Area Management (CAM) approval is required.

## Utilities

The site is serviced by public water and sewer. Water is serviced by Westerly Water Company and sanitary sewer is managed by the Water Pollution Control Authority (WPCA). Adequate service capacity has been verified by both agencies and is included in the Response Summary.

Electric and communication is provided via overhead utility lines along Liberty Street. The proposed development will consist of underground electric from the existing utility pole(s). Final location will be coordinated with the appropriate utility companies prior to construction.

Natural gas is located along the Liberty Street corridor. The Project Narrative states that the owner will determine if that service will be provided pending coordination with the Eversource and specific needs of the residential units. Further discussion is captured in the Response Summary and Town Planner Comments.

## Waivers Requested

The following requirements and waivers are requested:

Item	Provided	Waiver Requested
Impact Statement in Accordance with Section 8.8. (ZR 6.1.2.1)	X	
Site Plan in Accordance with Section 8.3 (ZR 6.1.2.2)	X	
Architectural Elevation Drawings and Landscape Plan Per Section 2.6 (ZR 6.1.2.3)	X	
Water Impact Study (ZR 6.1.2.4.1)	X	
Sanitary Sewer Impact Study (ZR 6.1.2.4.2)	X	
Site Drainage Analysis (ZR 6.1.2.4.3)	X	
Erosion Control Report (ZR 6.1.2.4.4)	X	
Traffic Impact Study (ZR 6.1.2.4.5)	X	
Archaeological Study (ZR 6.1.2.4.6)		W
Soils Report, Test Pit Data and Mapping (ZR 6.1.2.4.8)	X	
Shadow Plan (ZR 6.1.2.5 & ZR 7.14.2)	X	
3-D Model for Projects Which Fall Under Criteria of Section 6.2 (ZR 6.1.2.6.1)		W
Flood Hazard Reports (ZR 6.1.2.6.2)		W
School Impact Evaluation Report (ZR 6.12.6.3)	TBC	
Application Fee Per Section 8.7 (ZR 6.1.2.7)	X	
Legal Description of Property/Site (ZR 6.1.2.8)	X	
Phasing Requirements for Projects Over 24 Dwelling Units (ZR 6.1.2.9)	X	
Written Waiver Request(s) at the Time of Application Submission (ZR 6.1.2.10)	X	

## Response Summary

The application was routed to the following agencies/agents of the Town. Responses are shown below:

**BUILDING OFFICIAL** – Awaiting comment.

**POLICE COMMISSION** – Excerpt from draft meeting minutes below [Dated: 11/9/23]:

“...many concerns raised by both the Commissioners, and Chief DelGrosso, which included safety for children going to and from school, adequate safety within the complex, and the amount of volume on the department. The applicant, and the presenters that spoke were advised by the Police Commission to take the suggestions given and return next month.”

**TOWN ENGINEER** – See attached memorandum [Dated: 11/12/23].

**WATER POLLUTION CONTROL AUTHORITY** – Comments below [Dated: 10/6/23]:

The WPCA has reviewed the above referenced P&Z application and offers the following:

The WPCA has no objection to the above referenced application as submitted. There is sufficient capacity in the Pawcatuck collection system and treatment facility to accommodate the proposed flows (50,850 GPD Peak and 25,425 GPD average) for this project.

Please be advised of the Rules and Regulations of the Water Pollution Control Authority, specifically Article XII, Hookups.

12.03 No sewer construction work shall begin until detailed plans and specifications have been reviewed and approved by the Director of Water Pollution Control. This shall include a plan and profile sheet. (Scale 1" = 40' horizontal, 1" = 4' vertical)

12.04 Plans, specifications, and construction shall conform to the Town's Technical Standards for Sanitary Sewers.

12.05 Construction shall be carried out only in the presence of an authorized representative of the Water Pollution Control Authority.

12.06 Within 30 days following completion of construction, applicant shall furnish record drawings as prescribed.

12.08 The proposed system of sewers constitutes a "community sewerage system" as defined by CGS, Sec. 7-245. As such all properties served by the system are required to be members of the Common Interest Community. As provided under CGS, Sec. 7-246f, the community must enter into an agreement with the Town of Stonington Water Pollution Control Authority that ensures the effective design, construction, and management of the system as well as ensuring that funds are available for its operation and maintenance.

12.09 All properties are subject to hook-up charges as prescribed in the section. Connection fee has been provided to the property owner and shall be paid in full or a payment plan in place before a sewer connection permit will be issued.



**ZONING ENFORCEMENT OFFICER** – Comments below [Dated 10/6/23]:

1. One hundred thirteen (113) individual garbage containers seems like the beginning of an enforcement issue. Applicant should consider multiple enclosed dumpster areas.
2. Centralized mailbox area should be considered.

**FIRE DISTRICT MARSHAL (PAWCATUCK)** – Comments below [Dated 10/11/23]:

Below is a list of concerns and requests by the Engineers of the Pawcatuck Fire District.

Issue:

1. No spare parking for visitors.
2. Not enough space to pile snow.
3. 4 Fire Hydrants shall be location the property.
4. 2 Fire Alarm pull boxes shall be installed.
5. Who will make repairs to lighting.
6. Will fire apparatus be able to maneuver the curves and corners.

Questions:

1. Who will maintain the property.
2. Who will remove snow and ice.
3. Where will residents' visitor's park.
4. If the garage is used for storage where will the tenants park.
5. Who will overall maintain care for the property.

**WATER COMPANY (WESTERLY WATER CO.)** – Awaiting comment.

## Town Planner Comments

This application was initially filed as a Special Use Permit application consistent with the requirements of ZR §6.3 under **PZ2322SUP & GPP Fair Housing of Connecticut, LLC (M. Ranelli)**. The application was accepted by the Commission at its regular meeting on September 19, 2023. However, in consultation with the applicant and the Town's legal counsel, it was determined that the project shall be reviewed as a Site Plan Application consistent with the requirements of C.G.S. Section 8-30g. The legal opinion was attached to the report dated November 21, 2023.

This application is made under the State Affordable Housing Appeals Act (C.G.S. Section 8-30g) and is categorized as a "set-aside development" as defined in C.G.S. Section 8-30g(6). Therefore, this application requires 15% of the units to be sold or rented at prices deemed affordable for persons less than or equal to 80% of the area median income (AMI) and 15% of the units to be sold or rented at prices deemed affordable for persons less than or equal to 60% AMI. In total, this application proposes to create 31 affordable housing units.

Projects considered under C.G.S. Section 8-30g are permitted to deviate from the existing zoning regulations of the base zone provided they satisfy the standards established in the Act. The Commission therefore must review the application against the Statute and not the Stonington Zoning Regulations. In the absence of standard review criteria, the Commission is only permitted to deny such an application if: 1) the decision is necessary to protect substantial public interests in health, safety or other matters which

the commission may legally consider; and 2) such public interests clearly outweigh the need for affordable housing (C.G.S. Section 8-30g(g)).

This application went before the Architectural Design Review Board (ADRB) at its regular meetings on October 16, 2023 and December 11, 2023. The ADRB did not render a decision on this application pending additional requested site plan revisions. At this time, the Department of Planning does not believe additional review by the ADRB will result in a favorable recommendation for the application due to inherent design conflicts.

The Department of Planning provided comment provided substantial commentary on this application in the report dated November 21, 2023. The revised application set was submitted to the Town on January 11, 2024 with a *Response to Comments* letter (see attached). However, Town staff has not had the time to verify those responses. In addition to reaffirming the comments, questions, and concerns raised in the previous report, the Town Planner offers the following comments:

Application:

- The revised application set does not provide an Affordability Plan as required under C.G.S. Section 8-30g(b)(1). It is recommended that the applicant provide the Commission with an Affordability Plan as required under the aforementioned section.
- The applicant proposes to create a homeowners' association (HOA) or equivalent for the ownership, inspection, and maintenance, and, if necessary, the repair or replacement, of infrastructure and site amenities. It is recommended that the applicant provide the Commission with deed restriction language and bylaws establishing the HOA.
- The revised application set addressed Town staff comment and provided a Sign Summary on Sheet C-3 and may be considered an adequate Signage Plan consistent with ZR §8.4.2.4.
- The revised application set addressed Town staff comment and provided Lighting Plan consistent with ZR §8.4.2.5.
- The revised application set includes an *Evaluation of Potential Impacts and Mitigation* within the GPOD. Town staff has not had adequate time to review the report and requests the Commission consider extending the public hearing to allow for adequate review time.
- The revised application set includes an updated *Stormwater, Erosion Control, and Operation and Maintenance Report*. Town staff has not had adequate time to review the report and requests the Commission consider extending the public hearing to allow for adequate review time.

Open Space and Landscaping:

- The revised application set includes an updated Landscape Plan which shows roughly 0.25 AC in recreation space. This increase in recreation space corresponds with the reduction of total units from 113 to 102. However, Town staff notes there are connectivity issues that may impact the accessibility of the open space.

People, Children, and Pedestrians:

- The applicant stated that a School Impact Evaluation Report will be submitted as part of the revised application set. However, at the time of writing this report, Town staff has not received the report.

- The proposed pedestrian circulation is not sufficient to safely move pedestrians around the community. The application proposes a stamped/painted pathway around the front of the townhomes. This is also the location of the proposed third parking spot – parallel and in front of the garage. The pedestrian way would then be blocked, forcing pedestrians to walk on the internal road network. Furthermore, the proposed “alley” pedestrian path behind the dwelling units creates a bottleneck with two points of ingress/egress in the event of a public safety concern. Overall, the pedestrian network creates numerous pedestrian-vehicular or pedestrian-pedestrian conflicts and does not offer a safe and viable alternative.
  - Furthermore, the 4-foot-wide “alley” reduces individual backyards to 8 feet. Town staff questions the quality of these backyards due to their confines and inability to create privacy between adjacent units.

#### Vehicular Movement:

- The application states it provides enough parking spaces for three vehicles per unit – two in the garage; one parallel to the garage. The garage provides a 16-foot door and space for two compact vehicles (width of 6-feet and under), but could not reasonably fit two vehicles of larger size. For reference, the average width of a pickup truck is between 6-7 feet. In reality, there is no feasible accommodation for three vehicles per dwelling unit.
- The application provides a 24-foot-wide drive aisle between dwelling units, increasing to 36 feet of distance door-to-door with 6-foot-wide pedestrian pathways as noted above. Vehicular movement within the drive aisles is constrained by multiple factors, most notably: vehicular ingress/egress from the garage; parallel parking against along the pedestrian pathway; pedestrian movement out of the front door and along the pathway; and cross-lane maneuverability to avoid said constraints. For context, it is the opinion of the Town Planner that this vehicular movement pattern resembles a big box store parking lot more than a residential development.

#### Construction Phasing:

- The site and scale of development poses significant phasing concerns, as captured in the Town Engineer’s comments. The applicant has not provided a detailed Phasing Plan to alleviate the concerns of Town staff.
  - The Phasing Plan should include a schedule of activities to ensure there will be no damage or infiltration of the stormwater system during construction. Due to the site’s location above a Sole Source Aquifer (SSA), the project creates a heightened risk of irreparable damage to the aquifer.

#### Environmental:

- Town staff has not had adequate time to review *Evaluation of Potential Impacts and Mitigation* and requests the Commission consider extending the public hearing to allow for adequate review time.

## Town Planner Recommendation

The revised application set was submitted to the Town on January 11, 2024. Town staff and the general public have not had adequate time to review and comment on the updated application. The Town Planner

requests the applicant and the Commission extend the public hearing to allow for proper review of the application materials.

If considering approval of this project, the Commission should look towards the existing legislation in C.G.S. Section 8-30g and the requirements for approval for a Site Plan Application in ZR §8.3.

If considering denial of this project, the Commission must provide sufficient evidence in the record to make such a denial, as outlined in C.G.S. Section 8-30g(g). This would require the Commission to develop objective criteria to assess public health and safety concerns and the Commission must develop findings of fact that would support such a denial.

## Recommended Stipulations

Should the Commission decide to approve this application, the Town Planner recommends the following stipulations of approval:

1. Final plans shall be reviewed to the satisfaction of the Town Engineer, Pawcatuck Fire District, and Town Planner.
2. Final plans shall be recorded in the Town's Land Evidence Records.
3. Prior to the issuance of a Zoning Permit, the final plans shall be signed by the Commission and recorded.
4. The applicant shall post an Erosion and Sedimentation Control Bond prior to the issuance of a Zoning Permit. The bond shall be either in the form of a certified check or irrevocable letter of credit meeting the requirements of ZR 8.6.3. The bond amount shall be established by the Town Engineer after an estimate of the costs of installing and maintaining appropriate erosion and sedimentation control measures is provided by the applicant and approved by the Town Engineer. Work shall remain bonded for a minimum of one year from the date of Zoning Compliance.
5. The applicant shall provide the final Affordability Plan to the Town Planner.
6. Alterations to the proposed site plan following comments from CTDOT/OSTA shall be reviewed and approved by the Town Engineer and the Commission, as necessary.
7. Transportation related off-site improvements that are approved by CTDOT/OSTA shall be completed prior to issuance of a Certificate of Zoning Compliance.

## Commission Action Required

The Commission is required to make a determination on the following items:

- A decision concerning the Site Plan Application (SPA)
- A decision concerning the Groundwater Protection Permit (GPP) application



**CHERENZIA  
& ASSOCIATES, LTD.**

Civil Engineers • Land Surveyors  
Land Use Planners • Environmental Consultants

Raymond F. Cherenzia, P.E., L.S., Founder  
Sergio F. Cherenzia, P.E., President

January 11, 2024

Clifton J. Iler, AICP, Town Planner  
Town of Stonington  
152 Elm Street  
Stonington, CT 06378

**Subject:** Response to Comments- PZ2322SPA & GPP Fair Housing of Connecticut, LLC  
Special Use Permit Application & Site Plan Application  
Proposed Residential Housing Development  
Liberty Street, 207 Liberty Street & 215 Liberty Street  
Pawcatuck, Connecticut  
Map 16 Block 4 Lots 12, 12A & 13

Dear Mr. Iler:

Cherenzia & Associates, Ltd. (Cherenzia) has reviewed the above-referenced Planner comments, Town Engineer Comments dated November 12, 2023, and WPCA comments dated October 6, 2023, and offers our responses to these comments below. Revised and supplemental documents included with this resubmittal and are listed below:

1. Ten (10) copies of the following:
  - a. Project Narrative, prepared by Cherenzia & Associates, Ltd., dated September 8, 2023, revised January 10, 2024.
2. Two (2) copies of the following:
  - a. Stormwater, Erosion Control, and Operation & Maintenance Report, prepared by Cherenzia and Associates, Ltd., revised January 2024.
  - b. Lighting Specs
  - c. Evaluation of Potential Impacts & Mitigation Groundwater Protection Overlay District for Beachway Estates Residential Development prepared by Robert Ferrari dated January 10, 2024.
  - d. Traffic Study prepared by BL Companies dated August 2023, revised December 2023.
3. Three (3) full size (24"x36") and seven (7) reduced size (11"x17") copies of each of the following:
  - a. Autoturn Sketch titled "Beachway Estates Residential Development," Sheet FIG-1, prepared by Cherenzia & Associates, Ltd., revised January 9, 2024.
  - b. Landscape Plans, titled "Rosalinis Proposed Residential Development," prepared by BL Companies, dated September 8, 2023, revised October 20, 2023.
  - c. Site Plans, titled "Beachway Estates Residential Development," Sheets C-0 through C-11, dated October 24, 2023 revised January 10, 2024, and Existing Conditions Plan, titled "Existing Conditions Survey," prepared by Cherenzia & Associates, Ltd., dated September 6, 2023 revised October 2, 2023.

In addition to the comment responses noted below, the plan has been updated to reduce the number of buildings and increase the amount of landscape areas and guest parking based on comments received during the town meetings.

**PLANNER COMMENTS:**

**APPLICATION COMMENTS:**

1. *The application set does not provide an Affordability Plan as required under C.G.S. Section 8-30g(b)(1). It is recommended that the applicant provide the Commission with an Affordability Plan as required under the aforementioned section.*

Response to Comment: A draft Affordability Plan has been submitted. Attorney Ranelli shall submit revision under separate cover.

2. *The applicant proposes to create a homeowners' association (HOA) or equivalent for the ownership, inspection, and maintenance, and, if necessary, the repair or replacement, of infrastructure and site amenities. It is recommended that the applicant provide the Commission with deed restriction language and bylaws establishing the HOA.*

Response to Comment: This will be provided prior to final plan.

3. *The application does not provide a Signage Plan consistent with ZR §8.4.2.4.*

Response to Comment: Signage is provided on C-3, Details on C-8.

4. *The application does not provide a Lighting Plan consistent with ZR §8.4.2.5.*

Response to Comment: Lighting is shown on sheet C-3 and specs are provided. A photometric plan shall be provided prior to final plan.

**OPEN SPACE AND LANDSCAPING COMMENTS:**

1. *The lack of open space poses significant environmental and public health risks. Urban green spaces are known to help reduce urban heat island effects, offset greenhouse gas emissions, and attenuate stormwater. Furthermore, green space provides public health benefits, including exercise, recreation, social interaction, and more. At the density proposed (26 dwelling units per acre), a project devoid of this essential element could severely impact the health of its residents as well as have negative impacts on the local environment.*

*Reasonable solutions to create open space include potential partnerships with the Town of Stonington through an abutting property (West Vine Street School). However, this poses a practical public safety concern. In the opinion of Town staff, any easement on the Town's land would also require design elements including fencing, lighting, cameras, and/or Crime Prevention Through Environmental Design (CPTED) measures.*

Response to Comment: Eleven (11) units have been removed from the project scope to create additional onsite landscape and recreation/social areas and guest parking spaces. This space is left unprogrammed so that the homeowners can decide it highest and best use. There are public parks within 6 minutes or less driving time. Stonington Highschool/Spellman Park 2.4 miles, White Rock Fields and Skate Park 1.1 miles, Wilcox Park 1.4 miles.

2. *The Landscape Plan (Sheet LL-1) does not provide sufficient variety and density of plant cover. The applicant has stated the dearth of landscaping is due to competing utility and stormwater infrastructure that forces utilities under green spaces. Although practical from a design point of view, the lack of landscaping, coupled with the amount impervious area proposed, has a negative impact on the environment as well as the quality of life of the residents.*

Response to Comment: Updated landscape plan is included.

### **PEOPLE, CHILDREN, AND PEDESTRIANS COMMENTS:**

1. *The applicant has requested a waiver of the School Impact Evaluation Report typically required under a Special Use Permit. This application is not required to provide this evaluation. However, it would be false to assume the project "is not anticipated that the project will materially change the number of school children in the public schools" considering the project constructs 113 three-bedroom townhomes dedicated specifically to families and first-time homebuyers. The Commission could choose to require additional information from the applicant on the project's potential impact on schools.*

Response to Comment: Attorney Ranelli shall provide under separate cover. The number of units has been decreased to 102.

2. *The site plan does not include a pull-off area for school buses nor a gathering location for children while they wait for the school bus. This area should be delineated on the site plan and away from residential dwelling units.*

Response to Comment: A bus pull off area and sidewalks have been added to the plan. Minimal landscaping and the sidewalk in this area provides gathering areas to waiting for buses. This area is subject to DOT permitting.

3. *The proposed pedestrian circulation is not sufficient to safely move pedestrians around the community. The application proposes a stamped/painted pathway around the front of the townhomes. This is also the location of the proposed third parking spot – parallel and in front of the garage. The pedestrian way would then be blocked, forcing pedestrians to walk on the internal road network. Furthermore, the proposed "alley" pedestrian path behind the dwelling units creates a bottleneck with two points of ingress/egress in the event of a public safety concern. Overall, the pedestrian network creates numerous pedestrian-vehicular or pedestrian-pedestrian conflicts and does not offer a safe and viable alternative.*

*Furthermore, the 4-foot-wide "alley" reduces individual backyards to 8 feet. Town staff questions the quality of these backyards due to their confines and inability to create privacy between adjacent units.*

Response to Comment: Walkways have been added throughout the site and sidewalks have been added along Liberty Street to provide pedestrian circulation. Although the back yards are reduced for the walkway, additional open space has been provided by removing 11 of the units.

### **VEHICULAR MOVEMENT COMMENTS:**

1. *The application states it provides enough parking spaces for three vehicles per unit – two in the garage; one parallel to the garage. The garage provides a 16-foot door and space for two compact vehicles (width of 6-feet and under), but could not reasonably fit two vehicles of larger size. For*

*reference, the average width of a pickup truck is between 6-7 feet. In reality, there is no feasible accommodation for three vehicles per dwelling unit.*

Response to Comment: Not all units have a parallel guest parking space in front of them. Additional guest parking is provided on the western side of the site. One guest parking space per four units is required per zoning code which the proposed plan exceeds.

- 2. The application provides a 24-foot-wide drive aisle between dwelling units, increasing to 36 feet of distance door-to-door with 6-foot-wide pedestrian pathways as noted above. Vehicular movement within the drive aisles is constrained by multiple factors, most notably: vehicular ingress/egress from the garage; parallel parking against along the pedestrian pathway; pedestrian movement out of the front door and along the pathway; and cross-lane maneuverability to avoid said constraints. For context, it is the opinion of the Town Planner that this vehicular movement pattern resembles a big box store parking lot more than a residential development.*

Response to Comment: An autoturn sketch has been provided that shows that the garage access is feasible with a guest parking in the adjoining unit and all fire truck turning movements are feasible.

- 3. The Fire Truck Autoturn Sketch (FIG-1) shows the radius required for precise turning of the fire apparatus on the site. The plan shows that 20 of 113 dwelling units are prohibited from using the third parallel parking space to accommodate emergency vehicle turning. The applicant should clarify whether or not residents are allowed to use that parking space and whether or not those spaces were removed from the overall parking calculation.*

Response to Comment: The parking chart on sheet C-3 states how many parallel guest parking spaces are accounted for in front of units. This table also demonstrates that sufficient guest parking is provided on the west side of the project for the units that cannot be parked in front of (17 units) and the units without garages (11 units) at a rate of 1 guest spot per 4 units based on the zoning code. The plan identifies where the no parking areas are which will be a colored or painted stamped asphalt different from other stamped areas.

#### **CONSTRUCTION PHASING COMMENTS:**

- 1. The site and scale of development poses significant phasing concerns, as captured in the Town Engineer's comments. The applicant has not provided a detailed Phasing Plan to alleviate the concerns of Town staff.*

*The Phasing Plan should include a schedule of activities to ensure there will be no damage or infiltration of the stormwater system during construction. Due to the site's location above a Sole Source Aquifer (SSA), the project creates a heightened risk of irreparable damage to the aquifer.*

Response to Comment: The project phasing has been updated on sheet C-7 for the revised layout. Plan sheets for individual phases shall be provided prior to final plan.

#### **ENVIRONMENTAL COMMENTS:**

- 1. The Project Narrative states that the owner will determine if natural gas service will be provided pending coordination with the Eversource and specific needs of the residential units. Proposed natural*



gas lines are not shown on the Utility Plan (Sheet C-3) or on the Architectural Plans (Sheets A.1 – A.9). It is recommended the applicant include proposed natural gas service in the plan set.

Response to Comment: Gas lines are shown on the utility plan, sheet C-6.

2. *The Pawcatuck Basin Aquifer System was designated as a SSA on May 13, 1988 by the Environmental Protection Agency (EPA) under 53 FR 17108. A SSA is defined as an aquifer that supplies at least 50% of the drinking water for its service area and have no reasonable alternative drinking water source should it be contaminated. Region 1: EPA New England states the following requirements under Project Review:*

*“EPA Region I is working with the Federal agencies most likely to provide financial assistance to projects in the project review area. Interagency procedures and Memoranda of Understanding have been developed through which EPA will be notified of proposed commitments by Federal agencies to projects which could contaminate the Pawcatuck Basin Aquifer System. EPA will evaluate such projects and, where necessary, conduct an in-depth review, including soliciting public comments when appropriate. Should the Regional Administrator determine that a project may contaminate the aquifer through its recharge zone so as to create a significant hazard to public health, no commitment for Federal financial assistance may be entered into. However, a commitment for Federal financial assistance may, if authorized under another provision of law, be entered into to plan or design the project to ensure that it will not contaminate the aquifer. Included in the review of any Federal financially assisted project will be the coordination with state and local agencies and the project's developers. Their comments will be given full consideration and EPA's review will attempt to complement and support state and local ground water protection measures. Although the project review process cannot be delegated, EPA will rely to the maximum extent possible on any existing or future state and/or local control measures to protect the quality of ground water in the Pawcatuck Basin Aquifer System.”*

*Should the Commission request that the EPA Regional Administrator evaluate this project due to its location within the Pawcatuck Basin Aquifer System, special consideration should be given to the potential significant hazard to public health should the proposed stormwater system fail.*

Response to Comment: A report titled Evaluation of Potential Impacts & Mitigation Groundwater Protection Overlay District for Beachway Estates Residential Development prepared by Robert Ferrari is included with this submittal which addresses the aquifer.

3. *Should the EPA Regional Administrator choose to evaluate this project, the Commission would likely be unable to review this project within the required timeframe established under C.G.S. Section 8-7d(a). Additional legal opinion may be required to determine how this project would proceed under external review.*

Response to Comment: The applicant shall accommodate additional State or Federal review if required by law.

4. *Should the applicant seek State or Federal financial assistance due to the application being submitted under C.G.S. Section 8-30g, the application should include sufficient evidence that the EPA Regional Administrator has made a determination regarding the risk of contamination of the SSA.*

Response to Comment: A report addressing Evaluation of Potential Impacts & Mitigation for the Groundwater Protection Overlay District has been provided. All relevant review and approvals shall be pursued as appropriate and required by law.

**SOLID WASTE COMMENTS:**

1. *The applicant proposes individual solid waste facilities for each dwelling unit. The site plan, nor the project narrative, state where individual solid waste bins shall be stored. Furthermore, Unit Type B (without garage) does not have interior storage capacity for solid waste bins without locating them in the primary living space. Town staff highlights this as a significant public health concern.*

Response to Comment: Trash enclosures have been added for type B units. Its understanding of the applicant that Town Solid Waste Dept. shall provide this service through their trash removal contract.

2. *The applicant has not provided an autoturn sketch for the solid waste trucks. It is recommended that the applicant provide the Commission with an autoturn sketch and a detailed narrative on solid waste removal procedures on site.*

Response to Comment: An autoturn sketch demonstrating that a fire ladder truck can sufficiently maneuver around the site. Solid waste trucks are smaller than a ladder truck so they should not have any issues moving around the project. If turning movements of the town's waste removal trucks are still required, Cherenzia will coordinate with the town on the required truck size and can provide an additional plan showing its movements.

**ENGINEERING COMMENTS DATED 11/12/2023**

**GENERAL PLAN COMMENTS:**

1. *The allocated snow storage area (Sheet C-3) remains inadequate, therefore additional area and/or a snow removal plan should be incorporated for the site. DPW has indicated they will not participate in snow plowing and/or removal for the site.*

Response to Comment: Snow shall be stored on the south west portion of the site in the landscaped areas. Equipment will be needed to move snow into this area. If this area becomes full or inaccessible, snow shall be removed from the site.

2. *The Cherenzia letter dated indicates the Unit B style residences have 12 square feet of storage, however they don't have a garage, therefore specify the intended storage location of the waste containers if individual containers are issued.*

Response to Comment: Exterior trash enclosures are now identified for these units.

3. *Provide illustration of the turning movement associated with a vehicle exiting a garage compounded with a neighboring "visiting" vehicle(s) parked parallel across from the unit.*

Response to Comment: The Autoturn Sketch has been updated for the revised layout and to also include vehicles entering and exiting the garages. Backing into and pulling out of the garages will not impact neighboring parked guests. Pulling into and backing out of will require 3-point turns to not impact neighboring parked guests.

4. *In accordance with the Traffic Report, provide note that the Office of the State Traffic Administration (O.S.T.A.) will be required to review the project. Additionally, provide note requiring DOT permits for any improvements proposed within the State R.O.W.*

Response to Comment: These notes have been added to sheet C-1 under DOT Permitting Note.

5. *Provide note that any property marker damaged to be replaced by a CT Land Surveyor.*

Response to Comment: Layout and Materials Note #4 on sheet C-1 has been edited to state that any disturbed or damaged property bounds or monumentation shall be replaced or reset by a CT licensed surveyor.

6. *Both the drainage report (test pits) and existing base survey indicate ledge. Review potential areas requiring blasting and provide applicable plan as may be required.*

Response to Comment: Areas requiring potential ledge removal shall be provided prior to construction.

7. *Revise the southerly entrance grade in accordance with technical standards section 5.4.3.*

Response to Comment: Grades at both entrances have been adjusted to be in accordance with Technical Standard section 5.3.3.

8. *Provide high point at entrance and/or regrade to intercept site run-off from entering roadway.*

Response to Comment: A high point is provided approximately 40-50 feet from the edge of the road. Due to site grades and needing to meet technical standard section 5.3.3 (above comment), the high point cannot be closer to the road.

#### **EROSION CONTROL COMMENTS:**

1. *Provide note that the applicant will be responsible for providing an Erosion & Sediment control bond to the Town of Stonington in an amount to be approved by the Town Engineer after review of an estimate for all E&S measures are provided by the applicants engineer.*

Response to Comment: Note #1 under Town Erosion Control Requirements has been added to sheet C-1.

2. *This is a compact site with competing construction activities, therefore revise the E&S plan to clearly depict the phasing and schedule of BMP's to include dewatering, Temporary Sediment basins, stock piles (ring with silt fence, hay bales and seed), temporary swales and check dams. Clearly indicate the location of each BMP for each Phase of the E&S plan, provide details.*

Response to Comment: The project phasing has been updated on sheet C-7 for the revised layout. Plan sheets for individual phases shall be provided prior to final plan.

3. *Provide a second construction entrance for the northerly access point of the site.*

Response to Comment: A second construction entrance has been added to the northern driveway entrance.

4. *Provide note to include "Temporary Seeding" for any disturbed area left idle for 30 days.*

Response to Comment: Erosion control note #11 on sheet C-7 states that any exposed soils intended to remain for more than 14 days shall be stabilized with mulch or temporary seed and watered to encourage vegetation.

5. *Provide a Stormwater and Erosion Control maintenance schedule outlining all BMP's, criteria for inspection, maintenance and replacement as required.*

Response to Comment: Stormwater maintenance is described in the Operation and Maintenance notes on sheet C-1. This sheet also included copies of the stormwater O+M checklists. Erosion control note #10 states that the contractor shall inspect erosion controls weekly and within 12 hours a rainfall event. This note states that any damage shall be immediately repaired and accumulated sediment shall be removed. Erosion control note #17 has been added stating that any required dewatering shall be pumped to the temporary sediment trap.

6. *Provide name and phone of emergency contact responsible for E&S controls on plan.*

Response to Comment: The site contractor will be responsible for the erosion controls and will be the emergency contact but a contractor has not been hired for the project yet. The property owner/applicant's phone number has been added to the plan. Contact information for the future contractor can be provided once one is hired for construction.

7. *Provide silt fence and haybales along the southerly property line in lieu of straw wattles.*

Response to Comment: Silt fence and straw bales are now proposed along the southern property line.

8. *Sheet C-1, revise note: "Operation and Stormwater Maintenance" to include – "Ultimately the property owner is responsible for all stormwater maintenance AND maintenance log inspection reports".*

Response to Comment: The note on sheet C-1 has been updated accordingly.

9. *Sheet C-1, "Erosion Controls/Construction Sequencing", Note 4 (add), "...to meet the requirements of all related permits for the project, and/or at the notification from T.O.S., D.O.T. & DEEP staff."*

Response to Comment: The note on sheet C-1 and C-7 has been adjusted as noted.

10. *Ref: Sheet C-1, Provide note: Contractor to provide Temporary Seed to graded/excavated areas left dormant in excess of 3 weeks. Provide seed type/application rate for temporary seed.*

Response to Comment: Erosion control note #11 has been amended with three different options for temporary seed types with application rates.

11. *Ref: Sheet C-1, Note 1 (add) The owner shall coordinate a Pre-Construction meeting amongst Town Staff and contractor to review E&S BMP's, phasing schedule, monitoring, etc.*

Response to Comment: Erosion control note #1 on sheet C-1 and C-7 has been modified as noted.

#### **DRAINAGE COMMENTS:**

1. *Drainage Certification: Provide note on the plans indicating: "The design engineer of record shall provide inspection services and certify to the construction of the stormwater management basin (and related drainage appurtenances) to ensure compliance with design specifications. Certifications will include but not limited to: soil material specification and testing, basin material installation (elevation*

*& thickness), all drainage structure inverts, berms. As-built drawings shall be provided for the basin(s) and the engineer shall confirm the stage-storage discharge design parameters have been met."*

Response to Comment: The stormwater note on sheet C-1 has been modified as noted.

2. *With the site located in the GPP zone (Ref: 7.2.7.2) roof water may connect directly to the underground storage systems; however, the remaining site drainage will require pretreatment from a "Type II" structural measure (i.e. HDS - Hydrodynamic separator or equal) given the prolific expanse of impervious surface proposed. Stormtech "isolator" rows in combination with HDS systems should clearly outline intended location of Impervious Geomembrane Lining, especially in areas of suspected seasonal high groundwater. It's encouraged that Roof Water be staged/stored in areas "F,G,H, and I" where high ground water exists as stated in the report. Additionally, a maintenance plan (chart) shall be included in the plans outlining the schedule, treatment for each BMP.*

Response to Comment: The stormwater system has been modified to separate roof and pavement runoff. Pavement runoff is collected in catch basins and piped to hydrodynamic separators and then the Stormtech isolator rows. Bypass manholes are used to direct larger storms to the remainder of the Stormtech system. Roof runoff is directly piped into the remainder of the Stormtech system. Only Stormtech areas G & H have impervious lining which is indicated on the plan. Stormwater maintenance is described in the Operation and Stormwater Maintenance notes on sheet C-1. The O+M checklists are also included on this sheet.

3. *Provide reference to the Rhode Island Pollutant loading rates, backup data, formulas,*

Response to Comment: The pollutant loading was performed as described in sections 8.36-8.38 of the RIDEM stormwater rules (250-RICR-150-10-8). The stormwater report has been updated to include the reference in the pollutant loading calculations in Appendix D.3. The entire referenced sections of the RIDEM rules have also been added to this section of the report for convenience.

4. *Provide all referenced "Drainage Maps" in a measurable scale, i.e. 1"=30' etc.*

Response to Comment: In the updated stormwater report, the Existing Drainage Figure, Proposed Drainage Figure, and Catch Basin Drainage Figure have been resized to 24"x36" pages and 30 scale.

5. *Provide note that an engineer will conduct perc and/or infiltration tests to verify infiltration rates of the soil prior to construction activities. Drainage modifications may ensue.*

Response to Comment: This note has been added to sheet C-10.

6. *Provide table indicating maximum water elevation (per design storm) and maximum outflow for each proposed storage system. (time, flow, volume, elevation).*

Response to Comment: Hydrograph tables are provided in Appendix C.6 of the stormwater report.

7. *Modify dimensions of level spreader to increase width of surface run-off at property line.*

Response to Comment: The level spreader has been increased in length to 44 feet or eleven 4x4 galleys (previously 32 feet or 8 galleys).

**WATER POLLUTION CONTROL AUTHORITY COMMENTS DATED 10/6/2023**

*12.03 No sewer construction work shall begin until detailed plan and specification have been reviewed and approved by the Director of Water Pollution Control. This shall include a plan and profile sheet. (Scale 1"=40' horizontal, 1"=4' vertical)*

Response to Comment: Sheet C-6 of the planset show all the utilities including all sewer structures and their invert information. Sheet C-8 has sewer details. Plan and profiles of the proposed sewer lines can be provided prior to Water Pollution Control Authority approval if required for this project.

*12.04 Plan, specifications, and construction shall conform to the Town's Technical Standards for Sanitary Sewers.*

Response to Comment: Sewer note #1 has been added to sheet C-6 stating that construction shall conform to the Town's Technical Standards for sanitary sewers. Details for the sewer structures and trenches provided on sheet C-8 of the planset are from the Town Technical Standards.

*12.05 Construction shall be carried out only in the presence of an authorized representative of the Water Pollution Control Authority.*

Response to Comment: Sewer note #2 has been added to sheet C-6 stating that the construction shall be carried out in the presence of an authorized representative of the Town of Stonington Water Pollution Control Authority. The contractor shall coordinate with the WPCA during construction.

*12.06 Within 30 days following completion of construction, applicant shall furnish record drawings as prescribed.*

Response to Comment: Sewer note #3 has been added to sheet C-6 noting this requirement.

*12.08 The proposed system of sewers constitutes a "community sewerage system" as defined by CGS, Sec. 7-245. As such all properties served by the system are required to be members of the Common Interest Community. As provided under CGS, Sec. 7-2246f, the community must enter into an agreement with the Town of Stonington Water Pollution Control Authority that ensures the effective design, construction and management of the system as well as ensuring the at funds are available for its operation and maintenance.*

Response to Comment: This has been added as sewer note #4 on sheet C-6.

*12.09 All properties are subject to hook-up charges as prescribed in the section. Connection fee has been provided to the property owner and shall be paid in full or a payment plan in place before a sewer connection permit will be issued.*

Response to Comment: The applicant will coordinate paying the sewer connection fee with WPCA before the permit will be issued.

I trust that these responses adequately address the comments received. Should you have any additional questions or concerns, please do not hesitate to contact me at 860-629-6500.

Sincerely,



Sergio F. Cherenzia, P.E.  
President

# BEACHWAY ESTATES RESIDENTIAL DEVELOPMENT

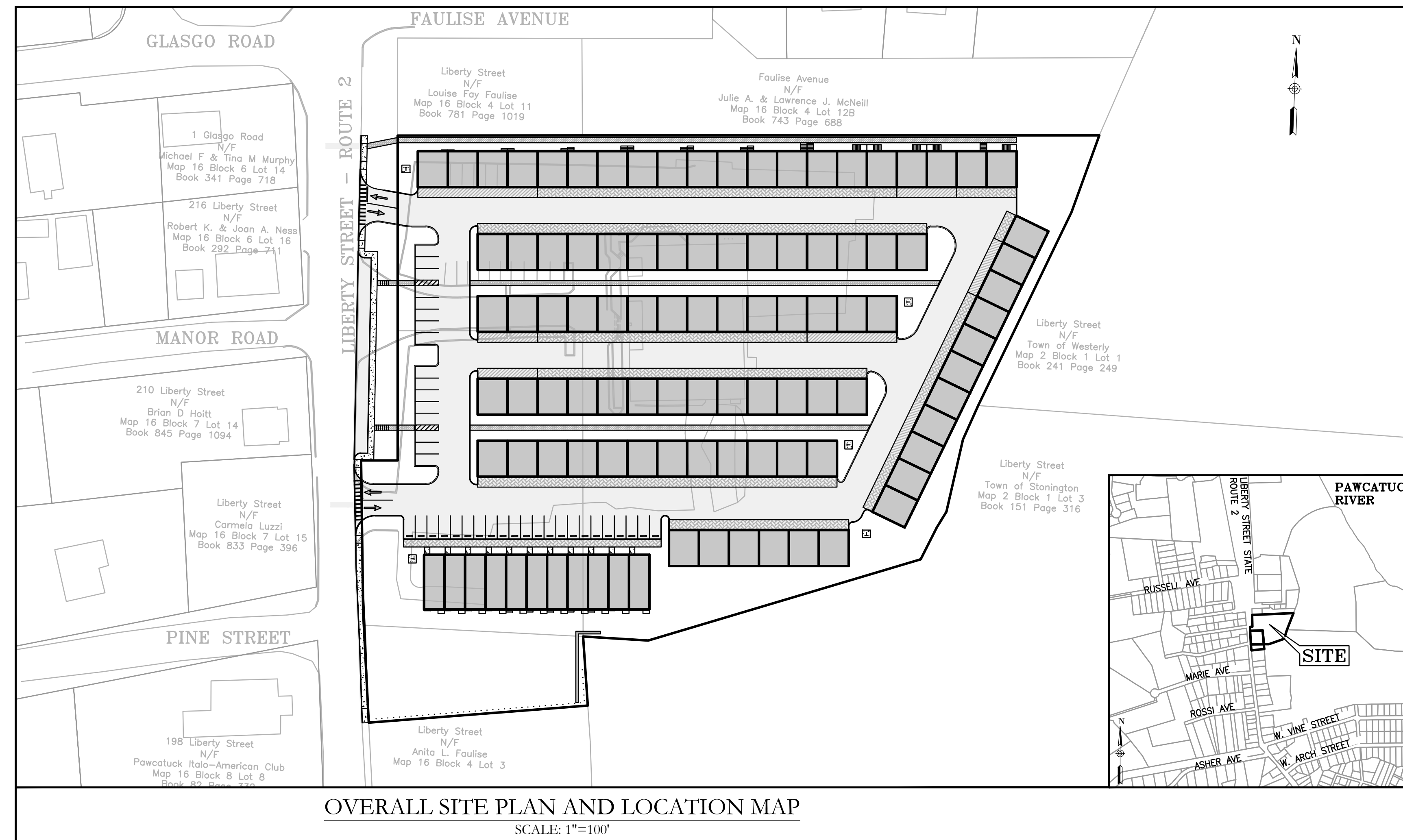
207 & 215 LIBERTY STREET  
STONINGTON, CONNECTICUT  
MAP 16 BLOCK 4 LOT 12A, 12, & 13

ISSUED FOR PERMITTING

PREPARED FOR  
**FAIR HOUSING OF CONNECTICUT LLC**  
C/O GENE ARGANESE

LATEST DATE ISSUED: JANUARY 10, 2024

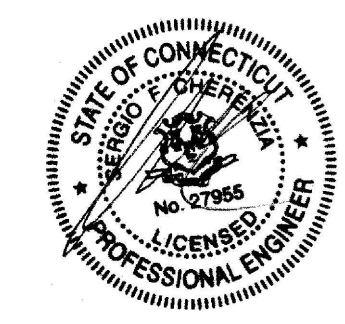
INDEX TO SHEETS	
No.	SHEET TITLE
C-0	COVER SHEET
C-1	LEGEND AND GENERAL NOTES
C-2	OVERALL PLAN
C-3	LAYOUT & MATERIALS PLAN
C-4	GRADING PLAN
C-5	DRAINAGE PLAN
C-6	UTILITY PLAN
C-7	SOIL EROSION & SEDIMENTATION CONTROL PLAN
C-8	DETAILS SHEET 1
C-9	DETAILS SHEET 2
C-10	DETAILS SHEET 3
C-11	DETAILS SHEET 4
SUPPLEMENTAL SHEETS	
SV-1	PROPERTY BOUNDARY & TOPOGRAPHIC SURVEY



OWNER/APPLICANT:  
FAIR HOUSING OF CONNECTICUT LLC  
C/O GENE ARGANESE  
53 PARKWAY DRIVE  
TRUMBULL, CT 06611-4123  
203-650-6288

ISSUED FOR PERMITTING

APPLICANT/OWNER  
FAIR HOUSING OF CONNECTICUT LLC  
c/o GENE ARGANESE  
53 PARKWAY DRIVE,  
TRUMBULL, CT 06611-4123



BEACHWAY ESTATES  
RESIDENTIAL DEVELOPMENT  
207 & 215 LIBERTY STREET  
MAP 16 BLOCK 4 LOT 12A, 12, & 13  
STONINGTON, CONNECTICUT  
CA JOB #223034

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Land Surveyors  
Land Use Planners  
Environmental Engineers

www.cherenzia.com



**LEGEND**

EXIST	PROP	EXIST	PROP
27.05 TC 27.15 BC	27.05 TC 27.15 BC	TOP/BOTTOM CURB ELEVATION	SUBJECT PROPERTY LINE
21.25X	21.25X	SPOT GRADE	ABUTTERS PROPERTY LINE
SB-1	SB-1	SOIL BORING LOCATION	EASEMENT
TH-1	TH-1	TEST HOLE LOCATION	BUILDING SETBACK
MM-1	MM-1	MONITORING WELL	CURB
BM #1	BM #1	BENCHMARK	LIMIT OF CURB TYPE
DMH	DMH	DRAIN MANHOLE	SAWCUT
CB	CB	CATCH BASIN	MATCHLINE
DCB	DCB	DOUBLE CATCH BASIN	STOP BAR
FES	FES	FLARED END SECTION	GUARD RAIL
DL	DL	DRAINAGE LINE	STONE DUST PATH
UP	UP	UNDERDRAIN PIPE	TREE LINE
ST	ST	STONE TRENCH	FENCE
OW	OW	OVERHEAD WIRE	STONE WALL
W	W	WATER LINE	RETAINING WALL
FP	FP	FIRE PROTECTION LINE	SILT FENCE
G	G	GAS LINE	STRAW WATTLE
E	E	UNDERGROUND ELECTRIC	LIMIT OF DISTURBANCE
UT	UT	UNDERGROUND TELEPHONE	LOT STAKE
FA	FA	FIRE ALARM	MINOR CONTOUR
CA	CA	CABLE TV	MAJOR CONTOUR
PLUG/STUB	PLUG/STUB	PLUG/STUB	BUILDING
SMH	SMH	SEWER MANHOLE	BUILDING DOOR
S	S	GRAVITY SEWER LINE	BOLLARD
FM	FM	FORCE MAIN SEWER LINE	DUMPSTER PAD
WG	WG	WATER GATE	SIGN
TSV	TSV	TAPPING SLEEVE, VALVE, & BOX	DOUBLE SIGN
FR	FR	FIRE HYDRANT	PARKING COUNT
WELL	WELL	WELL	CONC. PAVEMENT
GA	GA	GAS GATE	PERMEABLE PAVERS
EMH	EMH	ELECTRIC MANHOLE	GRAVELPAVE/GRASSPAVE
SLP	SLP	SINGLE LIGHT POLE	ADA PARKING
TMH	TMH	TELEPHONE MANHOLE	100 FT UPLAND REVIEW AREA
UPAD	UPAD	UTILITY PAD	WETLAND FLAG
UPOLE	UPOLE	UTILITY POLE	WETLAND EDGE
GUY	GUY	GUY POLE	WETLAND SYMBOL
			DRAINAGE DIVIDE DURING CONSTRUCTION
			ALLOWABLE STAGING/STOCKPILING AREA
			FLOW DIRECTION

**ABBREVIATIONS**

ABAN	ABANDON	MAX	MAXIMUM
ADJ	ADJUST	MIN	MINIMUM
ASSF	AREA SUBJECT TO STORM FLOWAGE	MCC	MONOLITHIC CONCRETE CURB
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	MH	MANHOLE
ADA	AMERICANS WITH DISABILITIES ACT	NTS	NOT TO SCALE
APPROX	APPROXIMATE	OC	ON CENTER
BIT	BITUMINOUS	PVC	POLYVINYLCHLORIDE PIPE
BCLC/BCC	BITUMINOUS CONCRETE CURB	PCC	PRECAST CONCRETE CURB
BW	GRADE AT THE BOTTOM OF THE WALL	PL	PROPERTY LINE
BWL	BROKEN WHITE LINE	PROP	PROPOSED
BYL	BROKEN YELLOW LINE	R	RADIUS
CB	CAPE COD BERM	RCP	REINFORCED CONCRETE PIPE
CB	CATCH BASIN	R&D	REMOVE AND DISPOSE
CMF	CORRUGATED METAL PIPE	R&R	REMOVE AND RESET
COL	COLUMN	R&S	REMOVE AND STORE
CONC	CONCRETE	SMH	SEWER MANHOLE
CONST	CONSTRUCTION	SESC	SOIL EROSION SEDIMENT CONTROL
CPP	CORRUGATED PLASTIC PIPE	SWL	SINGLE WHITE LINE
CY	CUBIC YARD	SWCL	SINGLE WHITE CHANNELIZING LINE
DBL	DOUBLE	SYL	SINGLE YELLOW LINE
DCB	DOUBLE CATCH BASIN	SYCL	SINGLE YELLOW CHANNELIZING LINE
DYL	DOUBLE YELLOW LINE	SF	SQUARE FEET
DMH	DRAIN MANHOLE	STD	STANDARD
DI	DUCTILE IRON	SDR	STANDARD DIMENSION RATIO
DIPS	DUCTILE IRON PIPE SIZE	STA	STATION
ELEV	ELEVATION	TMH	TELECOMMUNICATION MANHOLE
EOP	EDGE OF PAVEMENT	TSV	TAPPING SLEEVE, VALVE AND BOX
EXIST	EXISTING	TF	TOP OF FRAME
FT	FEET	TRANS	TRANSITION
FES	FLARED END SECTION	TW	ELEVATION OF TOP OF THE WALL
GDE	GARAGE DOOR ELEVATION	TYP	TYPICAL
HDPE	HIGH DENSITY POLYETHYLENE	UP	UTILITY POLE
HYD	HYDRANT	VGC	VERTICAL GRANITE CURB
INV	INVERT ELEVATION	WG	WATER GATE
LA	LANDSCAPE AREA	WF	WETLAND FLAG
LOD	LIMIT OF DISTURBANCE		

**GENERAL NOTES**

- THESE PLANS AND THEIR CORRESPONDING ELECTRONIC DOCUMENTS, INCLUDING CAD FILES FOR THE PROJECT, ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL NOT BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE THAN THE DEVELOPMENT OF THIS PROJECT UNLESS THE EXPRESSED, WRITTEN CONSENT OF CHERENZIA & ASSOCIATES, LTD. ANY UNAUTHORIZED USE, RE-USE, ALTERATION, OR MODIFICATION OF THIS DATA SHALL BE AT THE USER'S RISK WITH NO LIABILITY ON THE PART OF CHERENZIA.
- UPON AWARD OF THE CONTRACT AND PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND BONDS AND PAYING ALL STATE AND LOCAL FEES RELATING TO THE WORK SHOWN ON THESE DRAWINGS, THE CONSTRUCTION SPECIFICATIONS, AND CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL NOTIFY DIG-SAFE AT LEAST 72 BUSINESS HOURS PRIOR TO INITIATING ANY EXCAVATION WORK.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. WHERE SITE SPECIFICATIONS ARE NOT FURNISHED, THE CONTRACTOR SHALL ADHERE TO LOCAL MUNICIPAL STANDARDS OR THE CONNECTICUT DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AS APPLICABLE. WORK WITH LOCAL RIGHTS-OF-WAY SHALL ADHERE TO LOCAL MUNICIPAL STANDARDS; WORK WITHIN STATE RIGHTS-OF-WAY SHALL ADHERE TO STATE HIGHWAY STANDARDS. WHERE A DISCREPANCY EXISTS, THE MORE RESTRICTIVE STANDARD SHALL APPLY.
- REFERENCE MADE TO "STATE HIGHWAY STANDARDS," "STATE STANDARD SPECIFICATIONS," "STANDARD SPECIFICATIONS," OR "CONNDOT STANDARDS" SHALL MEAN AND BE DEFINED AS "CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS".
- ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE REMOVED IMMEDIATELY AND REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE SECURITY AND JOB SAFETY AND SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING ANY REQUIRED POLICE PROTECTION, ANY REQUIRED TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
- THE CONTRACTOR SHALL NOT OBSTRUCT PUBLIC ROADWAYS, SIDEWALKS, OR FIRE HYDRANTS WITHOUT FIRST OBTAINING THE NECESSARY PERMITS TO DO SO.
- ADA ACCESSIBLE ROUTES, PARKING SPACES, SIDEWALKS, AND RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FEDERAL "AMERICANS WITH DISABILITIES ACT (ADA)" AND LOCAL AND STATE STANDARDS. WHERE A DISCREPANCY EXISTS, THE MORE RESTRICTIVE STANDARD SHALL APPLY.
- THE LIMITS-OF-WORK (A.K.A. "LIMIT OF DISTURBANCE") SHALL BE AS SHOWN ON THESE PLANS. AREAS DISTURBED BEYOND THESE DEFINED LIMITS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. LANDSCAPE AREAS SHALL BE RESTORED WITH 4 INCHES OF LOAM AND SEED.
- SHOULD THE CONTRACTOR ENCOUNTER SUSPECTED UNSTABILIZED SOIL, GROUNDWATER, OR OTHER MATERIAL DURING EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE SUSPECTED AREA AND NOTIFY THE OWNER SO THAT APPROPRIATE ACTIONS AND TESTING CAN TAKE PLACE.
- UNLESS OTHERWISE NOTED ON THE PLANS, ALL UNPAVED/LANDSCAPE AREAS SHALL RECEIVE FOUR (4) INCHES OF LOAM AND SEED WITHIN THE LIMITS OF WORK SHOWN ON THESE PLANS. LOAM SHALL BE EVENLY SPREAD, SMOOTHED, AND COMPACTED PRIOR TO SEEDING.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT THEIR PROPOSED INTERFACE WITH PROPOSED PAVEMENTS TO ENSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
- HORIZONTAL AND VERTICAL DATUMS ARE PROVIDED ON THE SURVEY PLANS.

**UTILITIES:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES AND WORK TRADES ASSOCIATED WITH THE WORK SHOWN ON THESE PLANS.
- PRIVATE UTILITIES
  - SERVICES SHALL BE APPROVED BY AND CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF PRIVATE UTILITY SERVICE PROVIDERS (WATER, SEWER, GAS, TELEPHONE, ELECTRIC, FIRE ALARM, CABLE, FIOS, ETC.)
  - THE GAS COMPANY SHALL INSTALL ALL GAS LINES AND APPURTENANCES; THE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR EXCAVATION AND BACKFILL OF GAS TRENCHES IN ACCORDANCE WITH GAS COMPANY REQUIREMENTS.
  - CONTRACTOR SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ALL ELECTRIC WORK. THE CONTRACTOR SHALL ALSO FURNISH AND INSTALL CONCRETE ENCASMENT FOR DUCT BANKS, IF REQUIRED BY THE ELECTRIC COMPANY. PULLING OF ELECTRICAL CONDUIT SHALL BE BY THE ELECTRIC COMPANY.
- EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION, SIZE, MATERIAL(S), AND ELEVATION OF ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK PRIOR TO ORDERING OR INSTALLING THESE MATERIALS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- WHERE AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED WORK, OR WHERE EXISTING CONDITIONS DIFFER FROM THE INFORMATION SHOWN ON THESE PLANS, SUCH THAT THE WORK CAN NOT BE COMPLETED AS INTENDED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER WITH THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY IN CONFLICT. THE CONTRACTOR SHALL NOT CONTINUE WORK IN THIS AREA UNTIL THE APPROPRIATE REMEDIAL ACTION IS AGREED UPON BY THE OWNER AND ENGINEER.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO OVERHEAD AND/OR UNDERGROUND UTILITIES, WHETHER OR NOT SHOWN ON THESE PLANS THROUGHOUT WORK ON THIS PROJECT.
- UTILITY PIPING SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS, UNLESS OTHERWISE NOTED ON THE PLANS:
  - SANITARY SEWER PIPES SHALL BE SD35 POLYVINYL CHLORIDE (PVC)
  - STORM DRAINAGE PIPES SHALL BE HIGH-DENSITY POLYETHYLENE (HDPE)
- ALL DRAINAGE AND SANITARY SEWER MANHOLE DIAMETERS SHALL BE A MINIMUM OF FOUR (4) FEET AND AS DETERMINED BY THE MANHOLE MANUFACTURER(S), BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS.
- ALL STRUCTURES UNDER PAVED AREAS SHALL BE DESIGNED TO MEET HS-20 TRUCK LOAD.
- WATER LINES SHALL BE COORDINATED WITH THE PAWCATUCK FIRE DEPARTMENT, THE WESTERLY WATER DEPARTMENT AND MEP.
- IF A GROUND MOUNTED TRANSFORMER SHALL BE REQUIRED IT SHALL BE SCREENED IN ACCORDANCE WITH THE TOWN REGULATIONS AND ADEQUATE ACCESS FOR THE UTILITY COMPANY SHALL BE PROVIDED.

**LAYOUT AND MATERIALS NOTES**

- THE CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THE ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

- DIMENSIONS ARE TO/FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED ON THESE PLANS.
- PROPOSED BOUNDS AND ANY OTHER EXISTING PROPERTY LINE MONUMENTATION DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED, SET, OR RESET BY A CT PROFESSIONAL LICENSED SURVEYOR.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY BITUMINOUS PATCH FOR ANY TRENCH WORK WITHIN PAVEMENT OR SIDEWALK AREAS IN PUBLIC RIGHTS-OF-WAY UNTIL PERMANENT PATCHING IS INSTALLED.
- CURBING SHALL BE BITUMINOUS CONCRETE CURB (BCC) WITH A 3'-FT RADIUS (3'R), UNLESS OTHERWISE NOTED ON THE PLANS.

**DEMOLITION**

- WITHIN THE LIMIT OF WORK/DISTURBANCE, THE CONTRACTOR SHALL CLEAR AND GRUB ALL EXISTING VEGETATION AND STOCKPILE AND SCREEN TOPSOIL FOR RE-USE IN LANDSCAPE AREAS. THE CONTRACTOR SHALL ALSO REMOVE AND DISPOSE OF ALL EXISTING MANMADE FEATURES, INCLUDING BUT NOT LIMITED TO BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, WALLS, FENCES, UTILITIES (BOTH OVERHEAD AND UNDERGROUND), SIGNS, ETC., EXCEPT AS OTHERWISE NOTED ON THESE PLANS.
- WITHIN THE PROPOSED BUILDING ENVELOPE AND TO A DISTANCE OF 10 FEET AROUND THE BUILDING PERIMETER, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL UNSUITABLE MATERIALS AND SHALL FURNISH AND INSTALL GRAVEL FILL TO THE PROPOSED BUILDING SUBGRADE.
- THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE EXTENT OF DEMOLITION DEPICTED ON THESE PLANS IS INTENDED TO AID THE CONTRACTOR IN BIDDING THE PROJECT AND IS NOT NECESSARILY INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE FULL EXTENTS OF THE DEMOLITION WORK PRIOR TO CONTRACT AWARD AND SHALL NOT BE COMPENSATED FOR UNFORESEEN CONDITIONS ONCE THE WORK HAS COMMENCED.
- EXISTING UTILITIES SHALL BE TERMINATED IN CONFORMANCE WITH APPLICABLE FEDERAL, STATE, LOCAL, AND SERVICE PROVIDER REQUIREMENTS.
- UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THESE PLANS, THE ENGINEER HAS NOT PREPARED PLANS FOR THE DISCOVERY, REMOVAL, ABATEMENT, OR DISPOSAL OF ANY HAZARDOUS OR TOXIC MATERIALS STORED DURING CONSTRUCTION.

**OPERATION AND STORMWATER MAINTENANCE:**

- THE FOLLOWING MAINTENANCE AND OPERATION PLAN APPLIES TO THE PROPOSED SITE DEVELOPMENT FOR SOURCE CONTROL AND POLLUTION PREVENTION AND TO ASSURE THAT THE BMPs CONTINUE TO FUNCTION TO REMOVE OIL AND GREASE, FLOATABLE DEBRIS, AND TSS. THE GOAL OF THIS SECTION IS TO INFORM PROPERTY MANAGERS ABOUT SYSTEM OPERATIONS AND WHAT MAINTENANCE IS NECESSARY TO PROTECT CRITICAL AREAS FROM POLLUTANTS POTENTIALLY ASSOCIATED WITH STORMWATER RUNOFF FROM THE SITE. THE PROPERTY OWNERS OR THEIR ASSIGNED AGENT WILL BE RESPONSIBLE FOR MAINTAINING THE STORMWATER MANAGEMENT SYSTEM. ULTIMATELY, THE PROPERTY OWNER IS RESPONSIBLE FOR ALL STORMWATER MAINTENANCE AND MAINTENANCE LOG INSPECTION REPORTS.
- SYSTEM COMPONENTS**

THE STORMWATER MANAGEMENT SYSTEM HAS SEVERAL MAJOR COMPONENTS; EACH DESIGNED IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS TO TREAT STORMWATER RUNOFF QUANTITY AND QUALITY, AS FOLLOWS AND SHOWN ON THE PLAN SET:

**UNDERGROUND ISOLATOR ROWS AND STORMTRENCH INFILTRATION SYSTEM** ARE UNDERGROUND CHAMBERS THAT WHICH CREATE A VOLUME THAT TEMPORARILY STORES STORM WATER DURING STORM EVENTS. THE SYSTEM FUNCTIONS TO REDUCE PEAK DISCHARGE RATES AND PROTECT DOWNSTREAM PROPERTIES AND NATURAL FEATURES FROM POTENTIAL ADVERSE WATER QUALITY THROUGH TREATMENT OF THE FIRST FLUSH FROM RAINFALL EVENTS AND MANAGEMENT OF LARGER STORM FLOWS. FOR THIS PROJECT, THE ISOLATOR ROWS PROVIDES PRETREATMENT PRIOR TO THE REMAINDER OF THE UNDERGROUND STORMTRENCH SYSTEM.

**HYDRODYNAMIC SEPARATORS** ARE PROPRIETARY STORMWATER DEVICES THAT PROVIDES STORMWATER TREATMENT BEFORE STORMWATER ENTERS OTHER STORMWATER BMPs. TREATMENT IS PROVIDED BY REMOVING TOTAL SUSPENDED SOLIDS.
  - SYSTEM MAINTENANCE**
    - PRETREATMENT DEVICES SHOULD BE INSPECTED AND CLEANED AT LEAST TWICE A YEAR.
    - FOR THE FIRST TWO MONTHS AFTER CONSTRUCTION, STORMWATER STRUCTURES SHOULD BE INSPECTED AFTER EVERY MAJOR STORM. INSPECTIONS SHOULD FOCUS ON THE DURATION OF STANDING WATER, PONDING WATER AFTER 48 HOURS, MANUAL SWEEPERS TO REMOVE SOIL THAT HAS BEEN DEPOSITED OR TRACKED ONTO THE PAVEMENT, ON UNPAVED TRAVELWAYS AND TEMPORARY HAUL ROADS, USE ROAD CONSTRUCTION STABILIZATION MEASURES AND/OR WATER AS NEEDED TO KEEP SURFACE DAMP. STATIONARY SOURCES OF DUST SHALL USE FINE WATER SPRAYS TO CONTROL DUST. IF WATER IS EXPECTED TO BE NEEDED FOR DUST CONTROL, IDENTIFY THE SOURCE OF WATER IN ADVANCE.
    - THE CONTRACTOR SHALL IDENTIFY AND ADDRESS SOURCES OF WIND GENERATED DUST. CONTRACTOR SHALL PROVIDE SPECIAL CONSIDERATION TO HILL TOPS AND LONG REACHES OF OPEN GROUND WHERE SLOPES MAY BE EXPOSED TO HIGH WINDS. CONSIDER BREAKING UP LONG REACHES WITH TEMPORARY WINDBREAKS CONSTRUCTED FROM BRUSH PILES, GEOTEXTILE SILT FENCES OR HAY BALES. SLOPES SHALL BE STABILIZED EARLY, WHEN USED, MULCH FOR SEED SHALL REQUIRE ANCHORING.
    - THE CONTRACTOR SHALL CONSIDER WATER QUALITY WHEN SELECTING THE METHOD AND/OR MATERIALS USED FOR DUST CONTROL.
    - THE CONTRACTOR SHALL CONTROL CONSTRUCTION STORMWATER RUNOFF IN SUCH A MANNER AS TO PREVENT DAMAGE TO DOWN-GRADE PROPERTIES; ANY PROPERTIES SO DAMAGED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
    - THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND WITHIN 12 HOURS AFTER A RAINFALL EVENT. THE CONTRACTOR SHALL IMMEDIATELY REPAIR DAMAGED DEVICES AND SHALL REMOVE ACCUMULATED SEDIMENTS IN ACCORDANCE WITH LOCAL REQUIREMENTS AND PERMITS, WHEN APPLICABLE. ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM THE SITE OR PLACED AWAY FROM WETLANDS AND CLOSED DRAINAGE SYSTEMS.
    - THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PERFORM EARTHWORK IN PHASES THAT ALLOW FOR STABILIZATION OF THESE AREAS IN A RELATIVELY SHORT TIME PERIOD AND TO DISCOURAGE EROSION AND SEDIMENTATION. ANY EXPOSED SOILS INTENDED TO REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH MULCH, OR TEMPORARY SEED AND WATERED TO ENCOURAGE VEGETATION. TEMPORARY SEED SHALL CONSIST OF ANNUAL RYEGRASS 160 LBS/ACRE, PERENNIAL RYEGRASS 160 LBS/ACRE, OR WATER RYE 75 LBS/ACRE OR AS DIRECTED BY OWNER OR LANDSCAPE ARCHITECT.
    - THE CONTRACTOR SHALL INSTALL PERMANENT SEEDING BETWEEN APRIL 15TH AND JUNE 15TH AND/OR AUGUST 15TH TO OCTOBER 15TH. PERMANENT SEEDING SHALL BE AS DIRECTED BY LANDSCAPE ARCHITECT.
    - THE CONTRACTOR SHALL APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN SEVEN (7) DAYS OF ESTABLISHING FINAL GRADE.
    - THE CONTRACTOR SHALL PERFORM A FINAL INSPECTION OF ALL EXISTING CATCH BASINS, DRAINAGE PIPING, AND ASSOCIATED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS TO ENSURE THAT ALL SEDIMENTS HAVE BEEN REMOVED BEFORE WORK IS DEEMED COMPLETE. A FORMAL FINAL INSPECTION REPORT SHALL BE FURNISHED TO TOWN STAFF.
    - ANY AND ALL DEFERRED MAINTENANCE SHALL BE ADDRESSED PRIOR TO THE CLOSE OF CONSTRUCTION (CLEARING OF DEBRIS, REMOVAL OF ACCUMULATED SEDIMENT, REMOVAL OF TREES AND VEGETATION, ANY RECONSTRUCTION REQUIRED, ETC.).
    - THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL SESS MEASURES ONLY AFTER FINAL PAVEMENT IS PLACED AND VEGETATION IN LANDSCAPE AREAS IS WELL ESTABLISHED.
    - ANY DEWATERING REQUIRED DURING CONSTRUCTION SHALL BE PUMPED TO THE TEMPORARY SEDIMENT TRAP.

**STORMWATER NOTE**

- THE DESIGN ENGINEER OF RECORD SHALL PROVIDE INSPECTION SERVICES AND CERTIFY TO THE CONSTRUCTION OF STORMWATER MANAGEMENT BASINS AND RELATED DRAINAGE APPURTENANCES TO ENSURE COMPLIANCE WITH DESIGN SPECIFICATIONS. CERTIFICATIONS SHALL INCLUDE BUT NOT LIMITED TO:
  - SOIL MATERIAL SPECIFICATION AND TESTING
  - BASIN MATERIAL INSTALLATIONS (ELEVATION & THICKNESS)
  - ALL DRAINAGE STRUCTURE INVERTS, BERMS
- AS-BUILT DRAWINGS SHALL BE PROVIDED FOR THE BASIN(2) AND THE ENGINEER SHALL CONFIRM THE STAGE-STORAGE DISCHARGE DESIGN PARAMETERS HAVE BEEN MET.

**DOT PERMITTING NOTE**

- THE OFFICE OF THE STATE TRAFFIC ADMINISTRATION (O.S.T.A) WILL BE REQUIRED TO REVIEW THE PROJECT.
- DOT PERMITS ARE REQUIRED FOR IMPROVEMENTS PROPOSED WITHIN THE STATE RIGHT OF WAY.

**EROSION CONTROLS/CONSTRUCTION SEQUENCING**

- THE OWNER SHALL COORDINATE A PRE-CONSTRUCTION MEETING AMONGST TOWN STAFF AND CONTRACTOR TO REVIEW EAS CONTROL, PHASING SCHEDULE, MONITORING, AND PRIOR TO THE START OF ANY ON-SITE WORK. PRIOR TO THE START OF CONSTRUCTION OF ANY EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE AGENCIES AND AGENCIES WITH EROSION CONTROL MEASURES SHOWN ON THESE PLANS IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL PERMITS PERTAINING TO THIS PROJECT. AS PART OF THE TOWN PERMITS IN PUBLIC RIGHTS-OF-WAY UNTIL PERMANENT PATCHING IS INSTALLED.
- THE CONTRACTOR SHALL KEEP A COPY OF THE "SOIL EROSION AND SEDIMENTATION CONTROL PLAN" (SESC) AND THE APPROVED PLAN SET AT THE CONSTRUCTION SITE AT ALL TIMES.
- THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES SHOWN ON THE PLAN SET IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL".
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND/OR UPGRADE THESE MEASURES, AS NECESSARY, THROUGHOUT CONSTRUCTION TO MEET THE REQUIREMENTS OF ALL RELATED PERMITS FOR THE PROJECT AND/OR AT THE NOTIFICATION FROM THE TOWN OF STONINGTON, DOT, OR DEEP STAFF.
- THE CONTRACTOR SHALL PREPARE AND MAINTAIN A RED-LINED COPY OF THE SESC PLAN SHOWING INTERIM MEASURES FOR STAGING, STOCKPILING, WASHOUT, SOLID WASTE CONTAINMENT, CONSTRUCTION ENTRANCE/EXIT AND TEMPORARY SEDIMENTATION CONTROL AREAS. ALL SUCH AREAS SHALL BE LOCATED OUTSIDE OF REGULATED WETLAND AREAS OR AREAS INTENDED FOR INFILTRATION PRACTICES.
- EROSION CONTROL DEVICES
  - AT LEAST ONE STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED FOR ACCESS TO THE PROJECT BY CONSTRUCTION VEHICLES. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED BEFORE CONSTRUCTION VEHICLES WILL BE ALLOWED TO ENTER THE CONSTRUCTION SITE. ADDITIONAL ENTRANCES/EXITS SHALL BE INSTALLED, IF MORE THAN ONE ACCESS POINT IS ANTICIPATED BY THE CONTRACTOR. A WASH OUT PAD MAY ALSO BE INSTALLED TO WASH CONSTRUCTION VEHICLES EXITING THE SITE.
  - ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH WORK DAY.
  - TEMPORARY SEDIMENT TRAPS MAY BE EXCAVATED OR BERMED/HAYBALED AND SHALL BE SIZED IN ACCORDANCE WITH THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" DISCHARGE LOCATION FROM THESE BASINS SHALL BE STABILIZED TO PREVENT EROSION.
  - STRAW WATTLE AND/OR SILT SACKS SHALL BE INSTALLED AT ALL DOWN-GRADE CATCH BASINS WITHIN THE LIMIT OF WORK TO CONTROL EROSION AND SEDIMENTATION AND TO PROTECT OFF-SITE AREAS. THESE DEVICES SHALL BE INSTALLED AS SHOWN ON THE CONSTRUCTION CONTROL PLAN PRIOR TO INITIATION OF MAJOR SITE WORK ACTIVITIES AND SHALL BE MAINTAINED/REPAIRED UNTIL FINAL STABILIZATION OF ALL DISTURBED AREAS.
  - SILT FENCE SHALL BE INSTALLED AROUND ALL EARTH STOCKPILES.
  - ALL OTHER EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL".

- THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE INTENDED TO BE THE MINIMUM NECESSARY AT THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND SUPPLEMENT THESE EROSION CONTROLS, AS NECESSARY THROUGHOUT CONSTRUCTION TO PREVENT DAMAGE TO WETLANDS AND/OR SURROUNDING PROPERTIES.
- THE CONTRACTOR SHALL PREVENT DUST, DEBRIS, OR SEDIMENTS FROM LEAVING THE SITE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE TO CLEAN UP OR TAKE OTHER CORRECTIVE ACTION IMMEDIATELY OR NO LATER THAN 24 HOURS AFTER ANY ISSUE ARISES.
- THE CONTRACTOR SHALL LIMIT THE AMOUNT OF EXPOSED SOIL BY PHASING CONSTRUCTION AS NECESSARY TO REDUCE THE AREA OF LAND DISTURBED AT A TIME AND UTILIZE STABILIZATION MEASURES AS SOON AS POSSIBLE.

- THE CONTRACTOR SHALL MAINTAIN AS MUCH OF THE NATURAL VEGETATION AS PRACTICABLE.
- THE CONTRACTOR SHALL IDENTIFY AND ADDRESS SOURCES OF DUST GENERATED BY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL LIMIT CONSTRUCTION TRAFFIC TO PREDETERMINED ROUTES. PAVED SURFACES REQUIRE PERMANENT SWEEPERS TO REMOVE SOIL THAT HAS BEEN DEPOSITED OR TRACKED ONTO THE PAVEMENT, ON UNPAVED TRAVELWAYS AND TEMPORARY HAUL ROADS, USE ROAD CONSTRUCTION STABILIZATION MEASURES AND/OR WATER AS NEEDED TO KEEP SURFACE DAMP. STATIONARY SOURCES OF DUST SHALL USE FINE WATER SPRAYS TO CONTROL DUST. IF WATER IS EXPECTED TO BE NEEDED FOR DUST CONTROL, IDENTIFY THE SOURCE OF WATER IN ADVANCE.
- THE CONTRACTOR SHALL IDENTIFY AND ADDRESS SOURCES OF WIND GENERATED DUST. CONTRACTOR SHALL PROVIDE SPECIAL CONSIDERATION TO HILL TOPS AND LONG REACHES OF OPEN GROUND WHERE SLOPES MAY BE EXPOSED TO HIGH WINDS. CONSIDER BREAKING UP LONG REACHES WITH TEMPORARY WINDBREAKS CONSTRUCTED FROM BRUSH PILES, GEOTEXTILE SILT FENCES OR HAY BALES. SLOPES SHALL BE STABILIZED EARLY, WHEN USED, MULCH FOR SEED SHALL REQUIRE ANCHORING.
- THE CONTRACTOR SHALL CONSIDER WATER QUALITY WHEN SELECTING THE METHOD AND/OR MATERIALS USED FOR DUST CONTROL.

- THE CONTRACTOR SHALL CONTROL CONSTRUCTION STORMWATER RUNOFF IN SUCH A MANNER AS TO PREVENT DAMAGE TO DOWN-GRADE PROPERTIES; ANY PROPERTIES SO DAMAGED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND WITHIN 12 HOURS AFTER A RAINFALL EVENT. THE CONTRACTOR SHALL IMMEDIATELY REPAIR DAMAGED DEVICES AND SHALL REMOVE ACCUMULATED SEDIMENTS IN ACCORDANCE WITH LOCAL REQUIREMENTS AND PERMITS, WHEN APPLICABLE. ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM THE SITE OR PLACED AWAY FROM WETLANDS AND CLOSED DRAINAGE SYSTEMS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PERFORM EARTHWORK IN PHASES THAT ALLOW FOR STABILIZATION OF THESE AREAS IN A RELATIVELY SHORT TIME PERIOD AND TO DISCOURAGE EROSION AND SEDIMENTATION. ANY EXPOSED SOILS INTENDED TO REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH MULCH, OR TEMPORARY SEED AND WATERED TO ENCOURAGE VEGETATION. TEMPORARY SEED SHALL CONSIST OF ANNUAL RYEGRASS 160 LBS/ACRE, PERENNIAL RYEGRASS 160 LBS/ACRE, OR WATER RYE 75 LBS/ACRE OR AS DIRECTED BY OWNER OR LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL INSTALL PERMANENT SEEDING BETWEEN APRIL 15TH AND JUNE 15TH AND/OR AUGUST 15TH TO OCTOBER 15TH. PERMANENT SEEDING SHALL BE AS DIRECTED BY LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN SEVEN (7) DAYS OF ESTABLISHING FINAL GRADE.
- THE CONTRACTOR SHALL PERFORM A FINAL INSPECTION OF ALL EXISTING CATCH BASINS, DRAINAGE PIPING, AND ASSOCIATED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS TO ENSURE THAT ALL SEDIMENTS HAVE BEEN REMOVED BEFORE WORK IS DEEMED COMPLETE. A FORMAL FINAL INSPECTION REPORT SHALL BE FURNISHED TO TOWN STAFF.
- ANY AND ALL DEFERRED MAINTENANCE SHALL BE ADDRESSED PRIOR TO THE CLOSE OF CONSTRUCTION (CLEARING OF DEBRIS, REMOVAL OF ACCUMULATED SEDIMENT, REMOVAL OF TREES AND VEGETATION, ANY RECONSTRUCTION REQUIRED, ETC.).
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL SESS MEASURES ONLY AFTER FINAL PAVEMENT IS PLACED AND VEGETATION IN LANDSCAPE AREAS IS WELL ESTABLISHED.
- ANY DEWATERING REQUIRED DURING CONSTRUCTION SHALL BE PUMPED TO THE TEMPORARY SEDIMENT TRAP.

**Isolator Row® Operation, Maintenance, and Management Inspection Checklist**

MAINTENANCE ITEM	SATISFACTORY/ UNSATISFACTORY	COMMENTS
1. Debris Cleanout (Semi-annually, After Major Storms)		
Contributing areas clean of debris		
No dumping of yard wastes into practices		
Litter (branches, etc.) have been removed		
2. Sediment Deposition (Semi-annually, After Major Storms)		
Sedimentation noted		
Sediment cleanout when depth of sediments reaches 3 inches		
3. Flow Diversion Manhole (Semi-annually, After Major Storms)		
Good condition, no need for repair		
No evidence of any blockages		

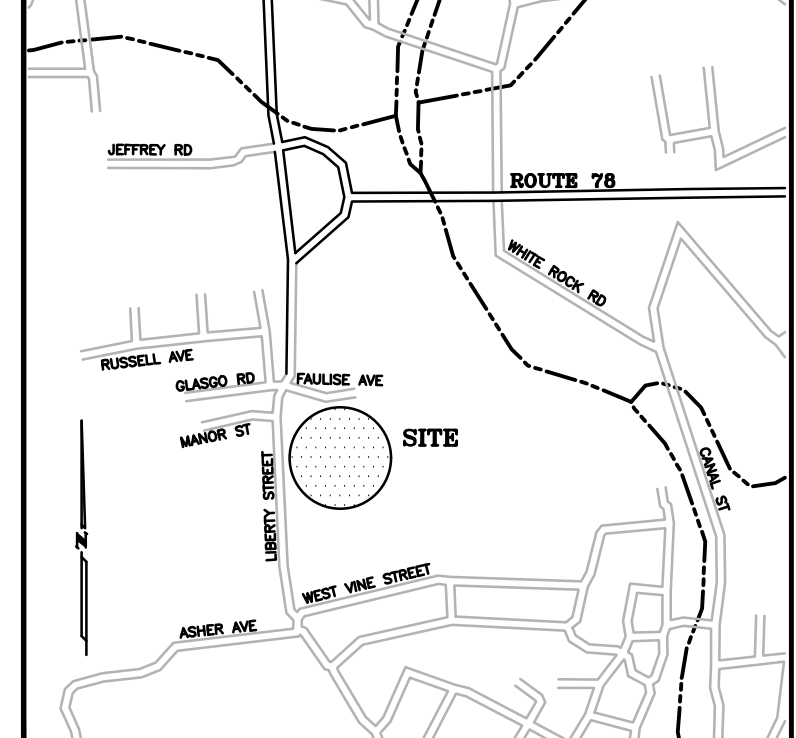
**Infiltration System Operation, Maintenance, and Management Inspection Checklist**

MAINTENANCE ITEM	SATISFACTORY/ UNSATISFACTORY	COMMENTS
1. Debris Cleanout (Annual)		
Trench/chamber or basin surface clear of debris		
Inflow pipes clear of debris		
Overflow spillway clear of debris		
Inlet area clear of debris		
2. Sediment Traps or Forebays (Annual)		
Obviously trapping sediment		
Greater than 50% of storage volume remaining		
3. Dewatering (Annual)		
Trench/chamber or basin dewaterers between storms		
4. Sediment Cleanout of Trench/Chamber or Basin (Annual)		
No evidence of sedimentation in trench/chamber or basin		
Sediment accumulation doesn't yet require cleanout		
5. Inlets (Annual)		
Good condition		
No evidence of erosion		
6. Outlet/Overflow Spillway (Annual)		
Good condition, no need for repair		
No evidence of erosion		
7. Aggregate Repairs (Annual)		
Surface of aggregate clean		
Top layer of stone does not need replacement		
Trench/Chamber or basin does not need rehabilitation		

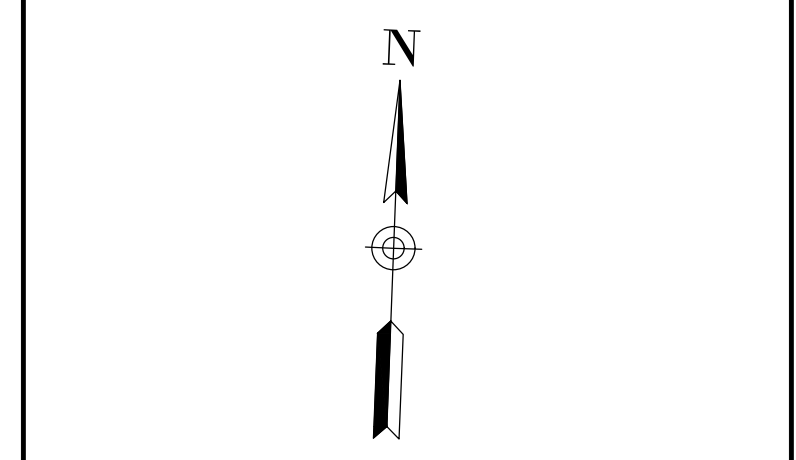
**CHERENZIA & ASSOCIATES, LTD.**  
 99 Mechanic St. Pawcatuck, CT 06379  
 Civil Engineers Land Surveyors Land Use Planners Environmental Engineers  
 P.O. Box 513 Westerly, RI 02891  
 Tel: 860.629.6500 Fax: 860.599.6900  
 www.cherenzia.com

OWNER/APPLICANT:  
 FAIR HOUSING OF CONNECTICUT LLC  
 C/O GENE ARGANESE  
 53 PARKWAY DRIVE  
 TRUMBULL CT 06611-4123  
 203-650-6288

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LOCATION MAP (NTS)



OWNER/APPLICANT:  
 FAIR HOUSING OF CONNECTICUT LLC  
 C/O GENE ARGANESE  
 53 PARKWAY DRIVE  
 TRUMBULL, CT 06611-4123  
 203-650-6288

PLAN REVISIONS

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	12/7/23	UPDATED LAYOUT	AKG	SFC
2	1/10/24	UPDATED LAYOUT & TOWN COMMENTS	AKG	SFC

SCALE: 1" = 30'  
 CA JOB # 223034  
 OCTOBER 24, 2023

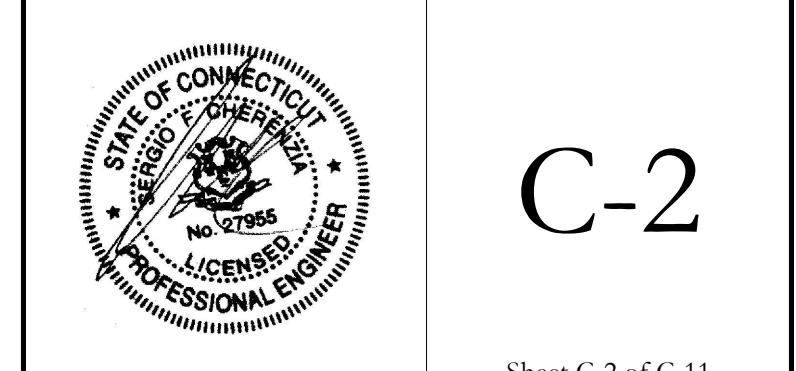
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 CHECK BY: SFC

ISSUED FOR PERMITTING

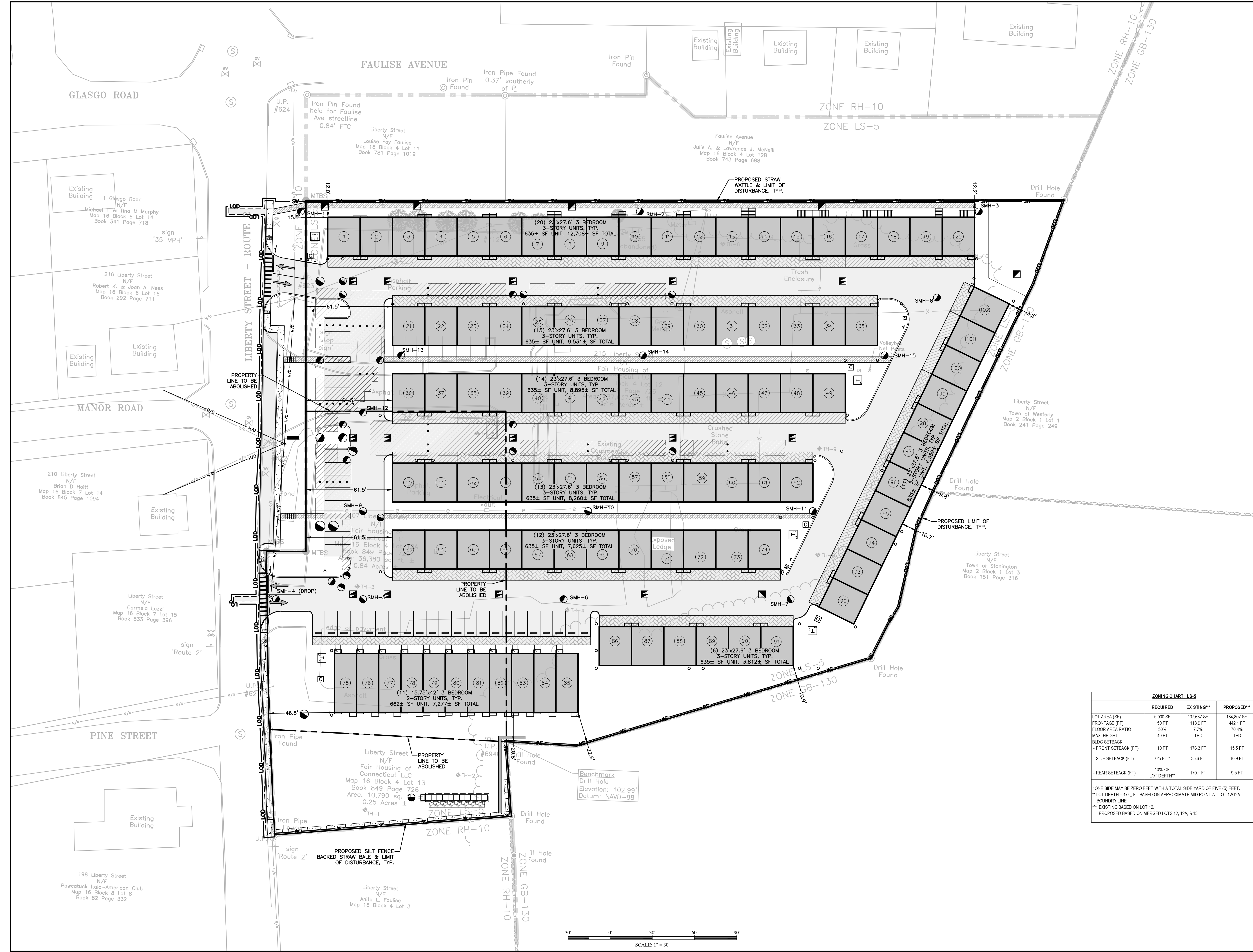
OVERALL PLAN

BEACHWAY ESTATES  
 RESIDENTIAL DEVELOPMENT  
 207 & 215 LIBERTY STREET  
 MAP 16 BLOCK 4 LOT 12A, 12, & 13  
 STONINGTON, CONNECTICUT

PREPARED FOR  
 GENE ARGANESE



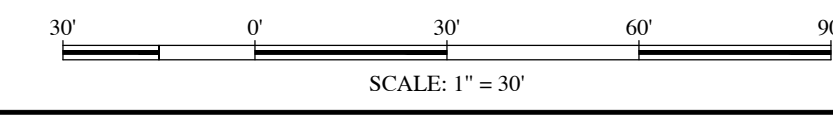
C-2

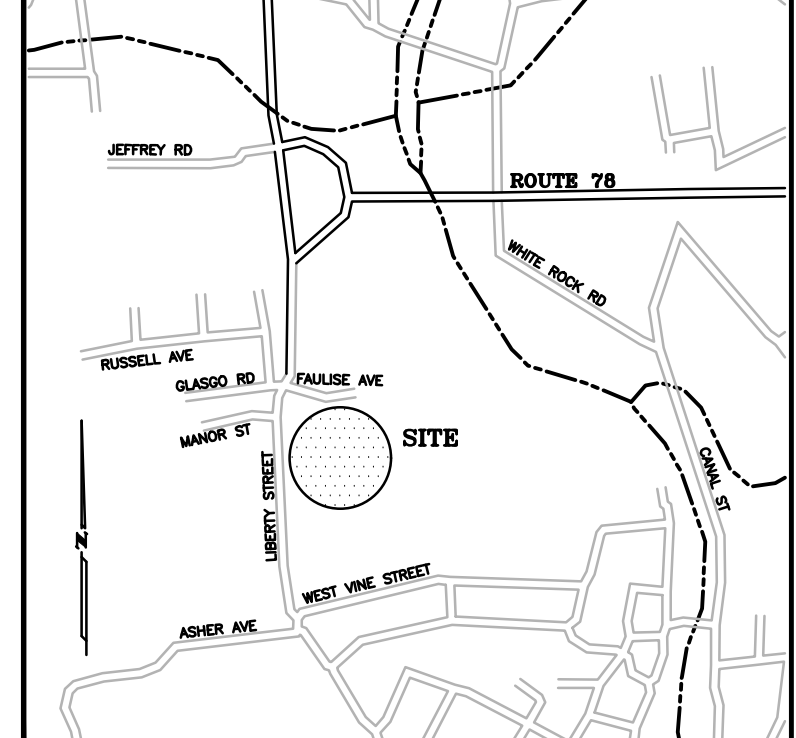


ZONING CHART: LS-5

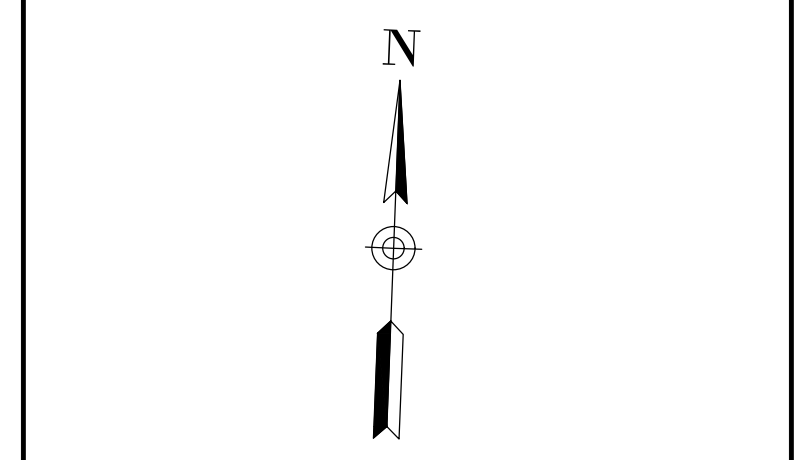
	REQUIRED	EXISTING**	PROPOSED**
LOT AREA (SF)	5,000 SF	137,637 SF	184,807 SF
FRONTAGE (FT)	50 FT	113.9 FT	442.1 FT
FLOOR AREA RATIO	50%	7.7%	70.4%
MAX. HEIGHT	40 FT	TBD	TBD
BLDG SETBACK			
- FRONT SETBACK (FT)	10 FT	176.3 FT	15.5 FT
- SIDE SETBACK (FT)	0.5 FT *	35.6 FT	10.9 FT
- REAR SETBACK (FT)	10% OF LOT DEPTH**	170.1 FT	9.5 FT

\* ONE SIDE MAY BE ZERO FEET WITH A TOTAL SIDE YARD OF FIVE (5) FEET.  
 \*\* LOT DEPTH = 474.2 FT BASED ON APPROXIMATE MID POINT AT LOT 12/12A  
 \*\*\* EXISTING BASED ON LOT 12  
 PROPOSED BASED ON MERGED LOTS 12, 12A, & 13.





LOCATION MAP (NTS)



Liberty Street  
 N/F  
 Town of Westerly  
 Map 2 Block 1 Lot 1  
 Book 241 Page 249

Liberty Street  
 N/F  
 Town of Stonington  
 Map 2 Block 1 Lot 3  
 Book 151 Page 316

OWNER/APPLICANT:  
 FAIR HOUSING OF CONNECTICUT LLC  
 C/O GENE ARGANESE  
 53 PARKWAY DRIVE  
 TRUMBULL, CT 06611-4123  
 203-650-6288

PLAN REVISIONS

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	12/7/23	UPDATED LAYOUT	AKG	SFC
2	1/10/24	UPDATED LAYOUT & TOWN COMMENTS	AKG	SFC

SCALE: 1" = 20'  
 CA JOB # 223034  
 OCTOBER 24, 2023

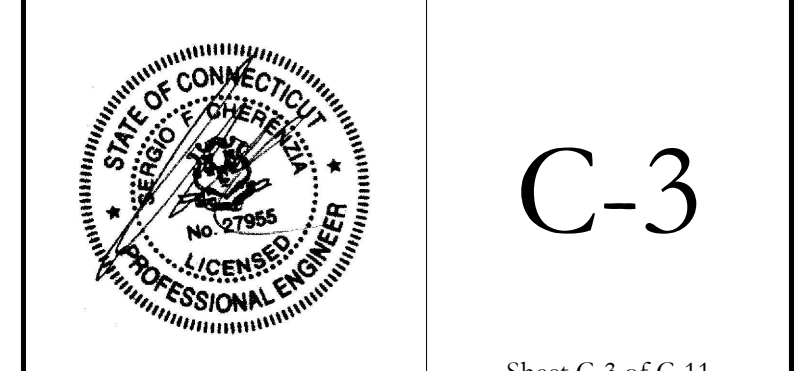
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 CHECK BY: SFC

ISSUED FOR PERMITTING

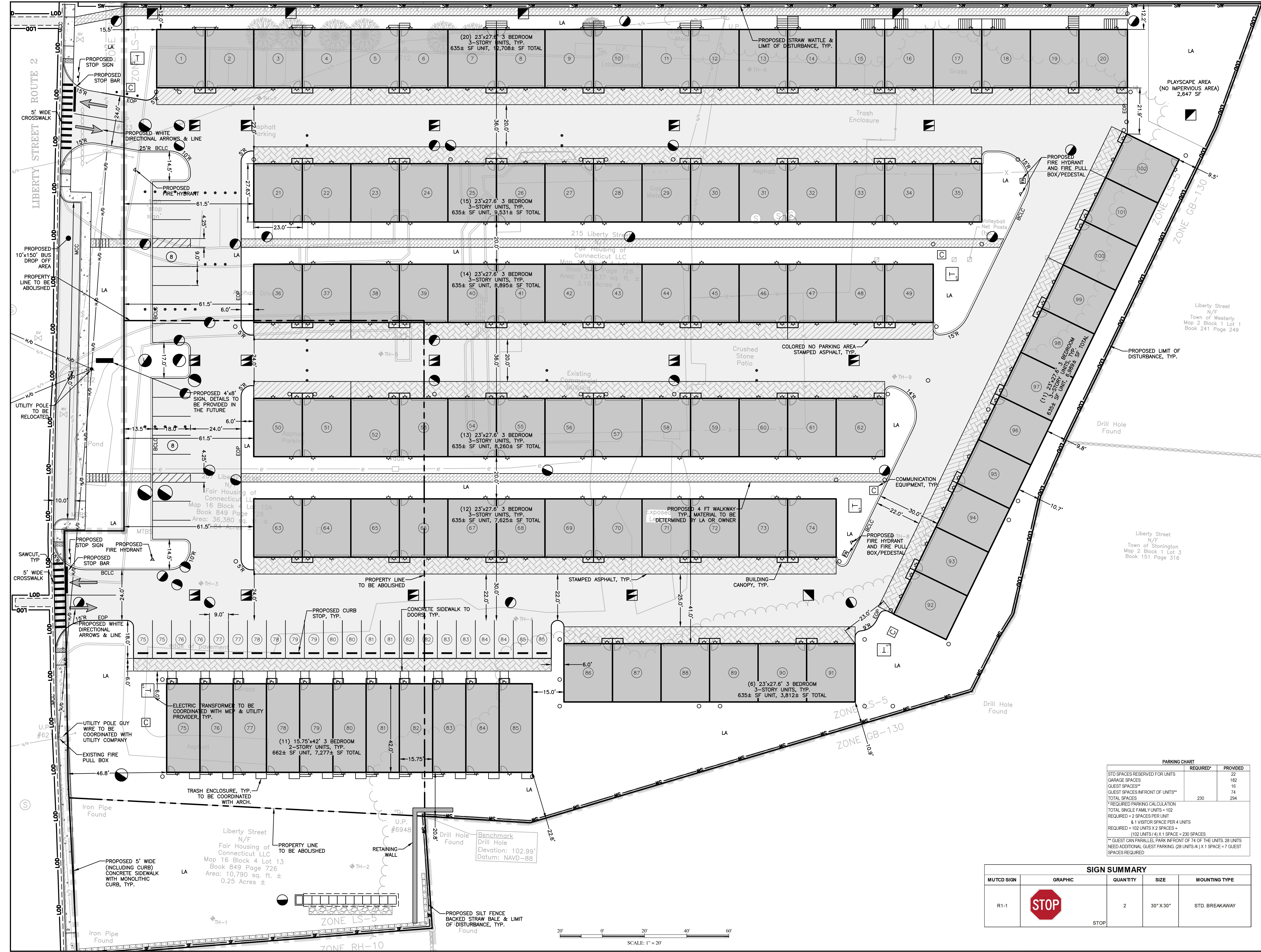
LAYOUT & MATERIALS PLAN

BEACHWAY ESTATES  
 RESIDENTIAL DEVELOPMENT  
 207 & 215 LIBERTY STREET  
 MAP 16 BLOCK 4 LOT 12A, 12, & 13  
 STONINGTON, CONNECTICUT

PREPARED FOR  
 GENE ARGANESE



C-3



PARKING CHART

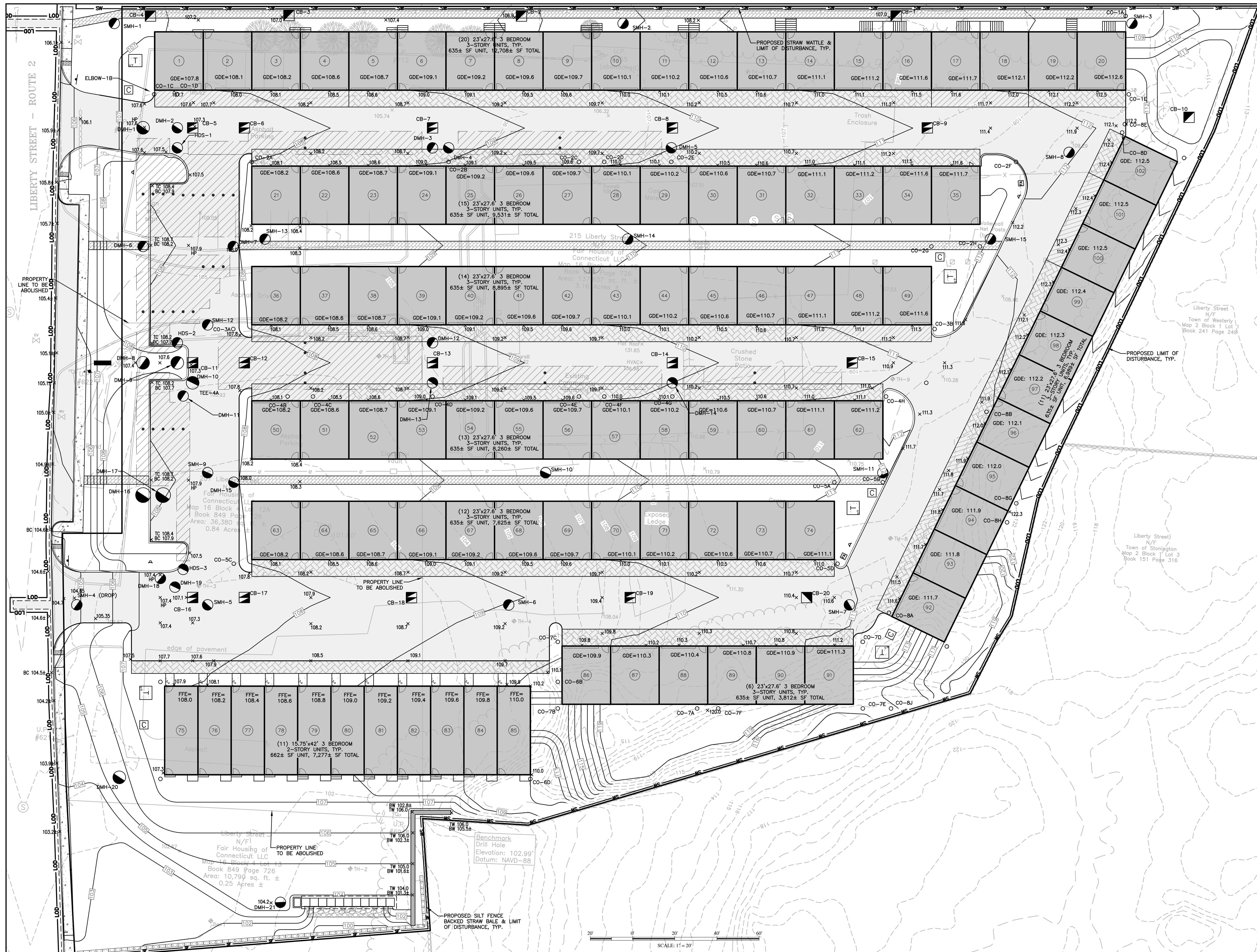
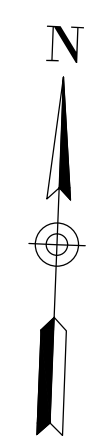
STANDARD SPACES RESERVED FOR UNITS	REQUIRED*	PROVIDED
GARAGE SPACES	182	22
GUEST SPACES**	16	16
GUEST SPACES IN FRONT OF UNITS**	74	74
TOTAL SPACES	230	294

\*REQUIRED PARKING CALCULATION  
 TOTAL SINGLE FAMILY UNITS = 102  
 REQUIRED = 2 SPACES PER UNIT  
 & 1 VISITOR SPACE PER 4 UNITS  
 REQUIRED = 102 UNITS X 2 SPACES =  
 (102 UNITS / 4) X 1 SPACE = 230 SPACES  
 \*\* GUEST CAN PARALLEL PARK IN FRONT OF 74 OF THE UNITS. 28 UNITS  
 NEED ADDITIONAL GUEST PARKING. (28 UNITS / 4) X 1 SPACE = 7 GUEST  
 SPACES REQUIRED

SIGN SUMMARY

MUTCD SIGN	GRAPHIC	QUANTITY	SIZE	MOUNTING TYPE
R1-1		2	30" X 30"	STD. BREAKAWAY

SCALE: 1" = 20'



OWNER/APPLICANT:  
 FAIR HOUSING OF CONNECTICUT LLC  
 C/O GENE ARGANESE  
 53 PARKWAY DRIVE  
 TRUMBULL, CT 06611-4123  
 203-650-6288

PLAN REVISIONS			
REV. NO.	DATE	DESCRIPTION	DWN. BY / CHK. BY.
1	12/7/23	UPDATED LAYOUT	AKG / SFC
2	1/10/24	UPDATED LAYOUT & TOWN COMMENTS	AKG / SFC

SCALE: 1" = 20'  
 CA JOB # 223034  
 OCTOBER 24, 2023

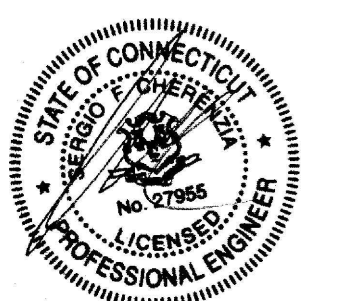
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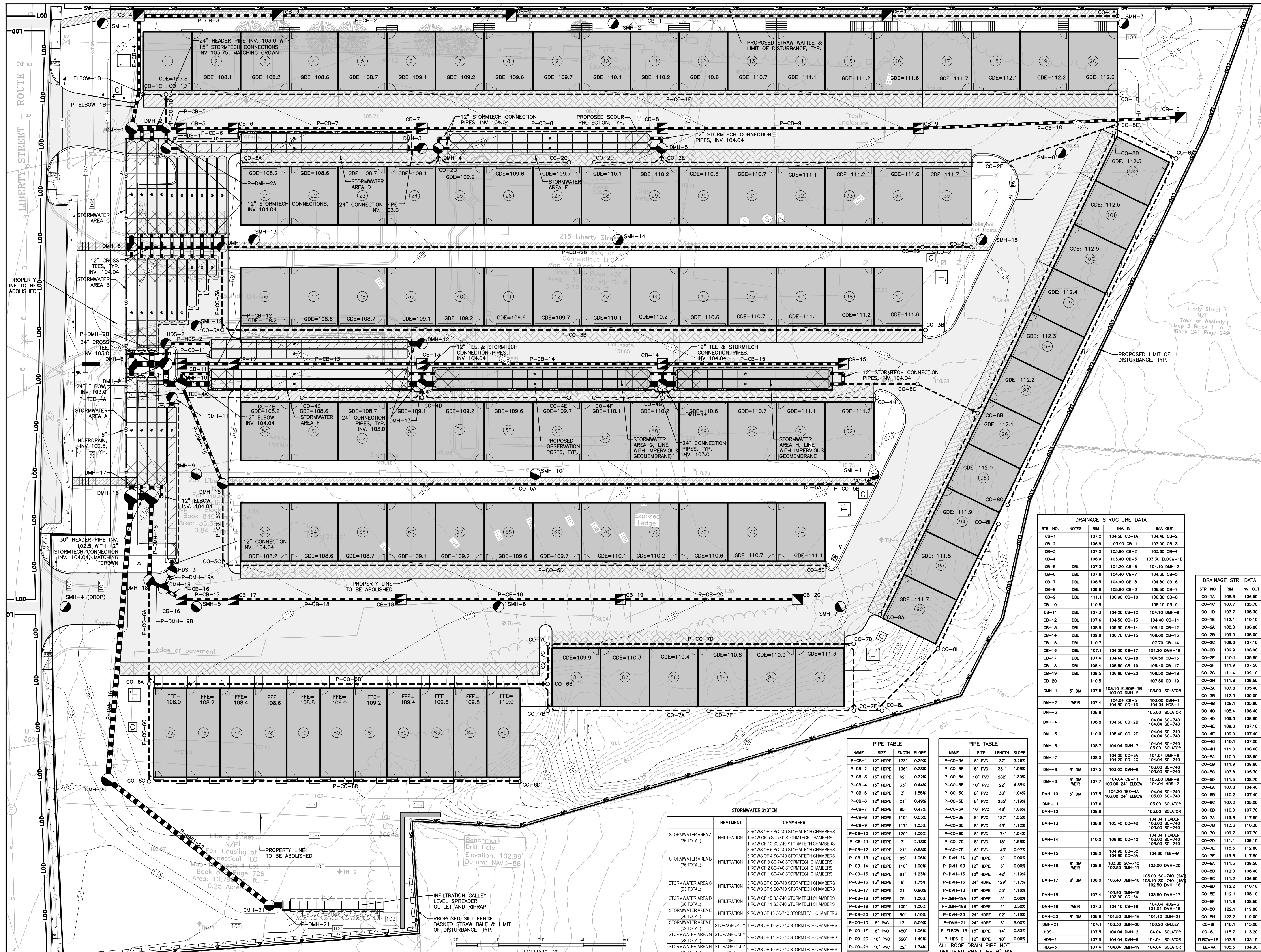
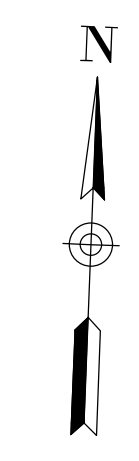
GRADING PLAN

BEACHWAY ESTATES  
 RESIDENTIAL DEVELOPMENT  
 207 & 215 LIBERTY STREET  
 MAP 16 BLOCK 4 LOT 12A, 12, & 13  
 STONINGTON, CONNECTICUT

PREPARED FOR  
 GENE ARGANESE



C-4



**LEGEND**

- STORMTECH ISOLATOR ROW
- STORMTECH INLET SCOUR PROTECTION
- IMPERVIOUS GEOMEMBRANE LINING

**STORMTECH SYSTEM INVERTS**  
 BOTTOM OF STONE = 102.5  
 BOTTOM OF CHAMBER = 103.0  
 30" HEADER PIPE = 102.5  
 24" CHAMBER CONNECTING PIPE = 103.75  
 12" CHAMBER CONNECTING PIPE = 104.04  
 TOP OF CHAMBER = 105.5  
 TOP OF STONE = 106.0

**OWNER/APPLICANT:**  
 FAIR HOUSING OF CONNECTICUT LLC  
 C/O GENE ARGANESE  
 53 PARKWAY DRIVE  
 TRUMBULL, CT 06611-4123  
 203-650-6288

**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	12/7/23	UPDATED LAYOUT	ARG	SFC
2	1/10/24	UPDATED LAYOUT & TOWN COMMENTS	ARG	SFC

SCALE: 1" = 20'  
 CA JOB # 223034  
 OCTOBER 24, 2023

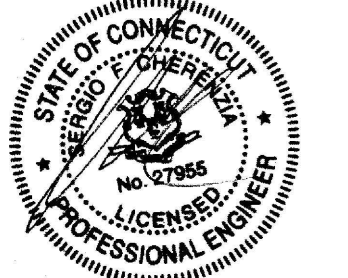
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 CHECK BY: S.F.C.

ISSUED FOR PERMITTING

**DRAINAGE PLAN**

**BEACHWAY ESTATES  
 RESIDENTIAL DEVELOPMENT**  
 207 & 215 LIBERTY STREET  
 MAP 16 BLOCK 4 LOT 12A, 12, & 13  
 STONINGTON, CONNECTICUT

PREPARED FOR  
 GENE ARGANESE



**C-5**

**DRAINAGE STRUCTURE DATA**

STR. NO.	NOTES	RIM	INV. IN	INV. OUT
CB-1		107.2	104.50 CO-1A	104.40 CB-2
CB-2		106.8	103.80 CB-1	103.80 CB-3
CB-3		107.0	103.80 CB-2	103.80 CB-4
CB-4		106.9	103.40 CB-3	103.30 ELBOW-1B
CB-5	DBL	107.3	104.20 CB-5	104.10 DMH-2
CB-6	DBL	107.6	104.40 CB-7	104.30 CB-5
CB-7	DBL	108.5	104.90 CB-8	104.80 CB-8
CB-8	DBL	109.8	105.60 CB-9	105.50 CB-7
CB-9	DBL	111.1	106.90 CB-10	106.80 CB-8
CB-10		110.8	106.70 CB-15	106.60 CB-13
CB-11	DBL	107.3	104.20 CB-12	104.10 DMH-9
CB-12	DBL	107.6	104.50 CB-13	104.40 CB-11
CB-13	DBL	108.5	105.50 CB-14	105.40 CB-12
CB-14	DBL	109.8	106.70 CB-15	106.60 CB-13
CB-15	DBL	110.7	107.70	CB-14
CB-16	DBL	107.1	104.30 CB-17	104.20 DMH-19
CB-17	DBL	107.4	104.60 CB-18	104.50 CB-16
CB-18	DBL	108.4	105.50 CB-19	105.40 CB-17
CB-19	DBL	109.5	106.60 CB-20	106.50 CB-18
CB-20		110.5	107.50	CB-19
DMH-1	5' DIA	107.6	103.10 ELBOW-1B	103.00 ISOLATOR
DMH-2	WEIR	107.4	104.04 CB-5	104.04 DMH-1
DMH-3		108.8	103.00	DMH-1
DMH-4		108.8	104.60 CO-2B	104.04 SC-740
DMH-5		110.0	105.40 CO-2E	104.04 SC-740
DMH-6		108.7	104.04 DMH-7	104.04 SC-740
DMH-7		108.0	104.20 CO-3A	104.04 DMH-6
DMH-8	5' DIA	107.5	103.00 DMH-9	103.00 SC-740
DMH-9	5' DIA	107.7	103.00 CO-11	103.00 SC-740
DMH-10	5' DIA	107.6	104.20 TEE-4A	104.04 SC-740
DMH-11		107.6	103.00 24" ELBOW	103.00 SC-740
DMH-12		108.8	103.00	ISOLATOR
DMH-13		108.8	105.40 CO-4D	104.04 HEADER
DMH-14		110.0	106.60 CO-4G	103.00 SC-740
DMH-15		108.0	104.90 CO-5C	104.80 TEE-4A
DMH-16	6' DIA	108.6	103.00 SC-740	103.00 DMH-20
DMH-17	6' DIA	108.0	103.40 DMH-18	103.10 SC-740 (15' TOTAL)
DMH-18		107.4	103.90 DMH-19	103.80 DMH-17
DMH-19	WEIR	107.3	104.10 CB-16	104.04 HDS-3
DMH-20	5' DIA	105.6	101.50 DMH-20	101.40 DMH-21
DMH-21		105.1	100.30 DMH-20	100.20 GALLEY
HDS-1		107.5	104.04 DMH-9	104.04 ISOLATOR
HDS-2		107.5	104.04 DMH-9	104.04 ISOLATOR
HDS-3		107.4	104.04 DMH-19	104.04 ISOLATOR

**PIPE TABLE**

NAME	SIZE	LENGTH	SLOPE
P-CB-1	12" HDPE	173'	0.28%
P-CB-2	12" HDPE	106'	0.28%
P-CB-3	15" HDPE	82'	0.32%
P-CB-4	15" HDPE	33'	0.44%
P-CB-5	12" HDPE	3'	1.83%
P-CB-6	12" HDPE	21'	0.49%
P-CB-7	12" HDPE	85'	0.47%
P-CB-8	12" HDPE	110'	0.55%
P-CB-9	12" HDPE	117'	1.03%
P-CB-10	12" HDPE	120'	1.00%
P-CB-11	12" HDPE	3'	2.18%
P-CB-12	12" HDPE	21'	0.98%
P-CB-13	12" HDPE	85'	1.06%
P-CB-14	12" HDPE	110'	1.00%
P-CB-15	12" HDPE	81'	1.23%
P-CB-16	15" HDPE	6'	1.75%
P-CB-17	12" HDPE	21'	0.98%
P-CB-18	12" HDPE	75'	1.06%
P-CB-19	12" HDPE	100'	1.00%
P-CB-20	12" HDPE	80'	1.10%
P-CO-10	8" PVC	13'	5.09%
P-CO-1E	8" PVC	450'	1.08%
P-CO-20	10" PVC	328'	1.49%
P-CO-2H	10" PVC	22'	1.74%

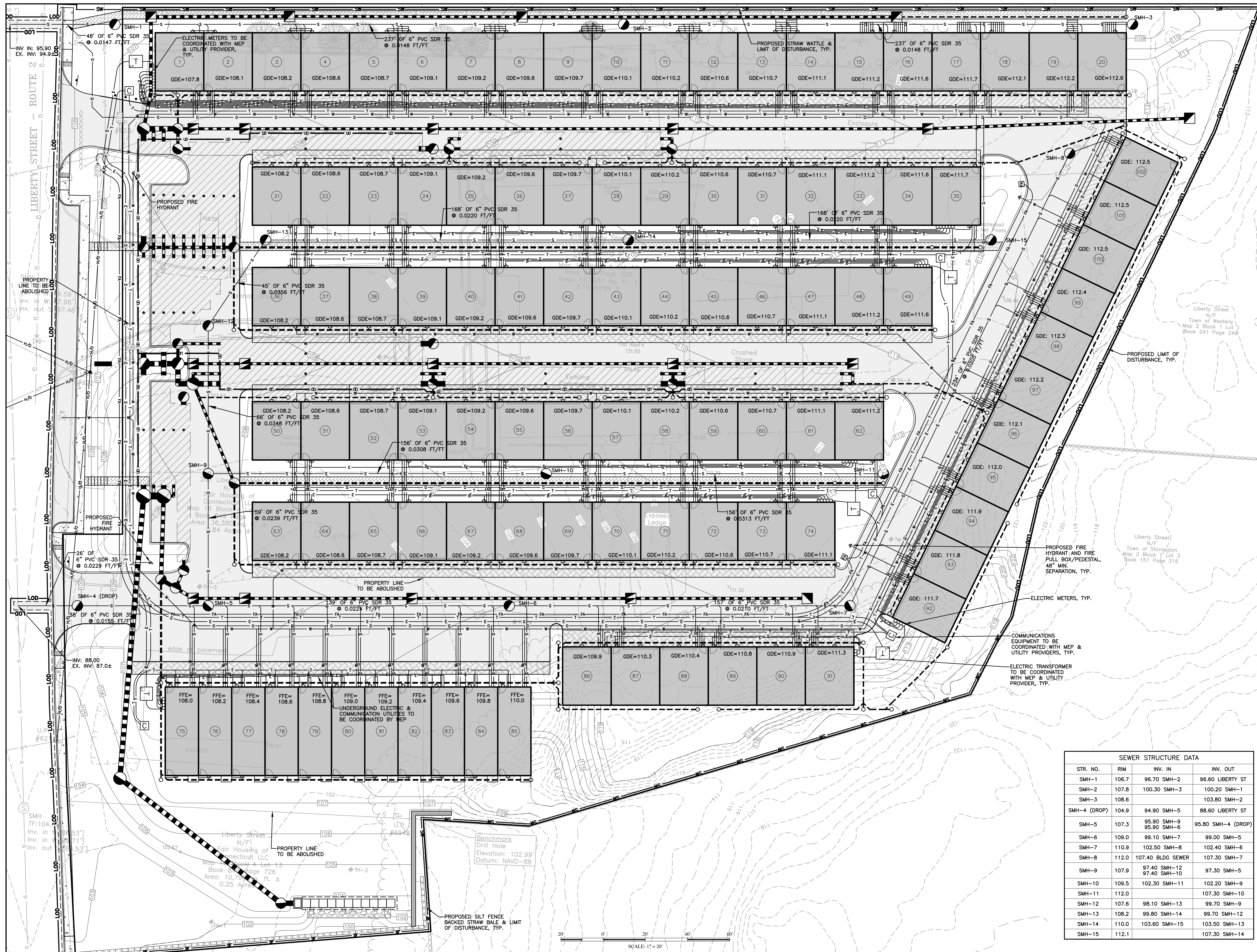
**STORMWATER SYSTEM**

TREATMENT	CHAMBERS
STORMWATER AREA A (36 TOTAL)	3 ROWS OF 7 SC-740 STORMTECH CHAMBERS 1 ROW OF 5 SC-740 STORMTECH CHAMBERS
STORMWATER AREA B (36 TOTAL)	1 ROW OF 10 SC-740 STORMTECH CHAMBERS 3 ROWS OF 6 SC-740 STORMTECH CHAMBERS 1 ROW OF 3 SC-740 STORMTECH CHAMBERS
STORMWATER AREA C (53 TOTAL)	1 ROW OF 2 SC-740 STORMTECH CHAMBERS 1 ROW OF 1 SC-740 STORMTECH CHAMBERS
STORMWATER AREA D (26 TOTAL)	3 ROWS OF 6 SC-740 STORMTECH CHAMBERS
STORMWATER AREA E (52 TOTAL)	1 ROW OF 15 SC-740 STORMTECH CHAMBERS 1 ROW OF 11 SC-740 STORMTECH CHAMBERS
STORMWATER AREA F (25 TOTAL)	2 ROWS OF 13 SC-740 STORMTECH CHAMBERS
STORMWATER AREA G (28 TOTAL)	4 ROWS OF 13 SC-740 STORMTECH CHAMBERS
STORMWATER AREA H (20 TOTAL)	2 ROWS OF 14 SC-740 STORMTECH CHAMBERS 2 ROWS OF 10 SC-740 STORMTECH CHAMBERS

**INfiltration GALLEY LEVEL SPREADER OUTLET AND RIPRAP**

**PROPOSED SILT FENCE BACKED STRAW BALE & LIMIT OF DISTURBANCE, TYP.**

**Benchmark Drill Hole Elevation: 102.99' Datum: NAVD-88**



- SEWER NOTES:**
- CONSTRUCTION SHALL CONFORM TO THE TOWN'S TECHNICAL STANDARDS FOR SANITARY SEWERS.
  - CONSTRUCTION SHALL BE CARRIED OUT IN THE PRESENCE OF AN AUTHORIZED REPRESENTATIVE OF THE TOWN OF STONINGTON WATER POLLUTION CONTROL AUTHORITY (WPCA). THE CONTRACTOR SHALL COORDINATE WITH THE WPCA DURING CONSTRUCTION.
  - WITHIN 30 DAYS FOLLOWING COMPLETION OF CONSTRUCTION, APPLICANT SHALL FURNISH RECORD DRAWINGS AS PRESCRIBED.
  - THE PROPOSED SYSTEM OF SEWERS CONSTITUTES A COMMUNITY SEWERAGE SYSTEM AS DEFINED BY CGS, SEC. 7-245. AS SUCH ALL PROPERTIES SERVED BY THE SYSTEM ARE REQUIRED TO BE MEMBERS OF THE COMMON INTEREST COMMUNITY, AS PROVIDED UNDER CGS, SEC. 7-246F. THE COMMUNITY MUST ENTER INTO AN AGREEMENT WITH THE TOWN OF STONINGTON WPCA THAT ENSURES THE EFFECTIVE DESIGN, CONSTRUCTION, AND MANAGEMENT OF THE SYSTEM AS WELL AS ENSURING THAT FUNDS ARE AVAILABLE FOR ITS OPERATION AND MAINTENANCE.

**OWNER/APPLICANT:**  
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 C/O GENE ARGANESE  
 53 PARKWAY DRIVE  
 TRUMBULL, CT 06611-4123  
 203-650-6288

**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	12/7/23	UPDATED LAYOUT	AKG	SFC
2	1/10/24	UPDATED LAYOUT & TOWN COMMENTS	AKG	SFC

SCALE: 1" = 20'  
 CA JOB # 223034  
 OCTOBER 24, 2023

DRAWN BY: AKG  
 CHECK BY: SFC

ISSUED FOR PERMITTING

UTILITY PLAN

BEACHWAY ESTATES  
 RESIDENTIAL DEVELOPMENT  
 207 & 215 LIBERTY STREET  
 MAP 16 BLOCK 4 LOT 12A, 12, & 13  
 STONINGTON, CONNECTICUT

PREPARED FOR  
 GENE ARGANESE

**SEWER STRUCTURE DATA**

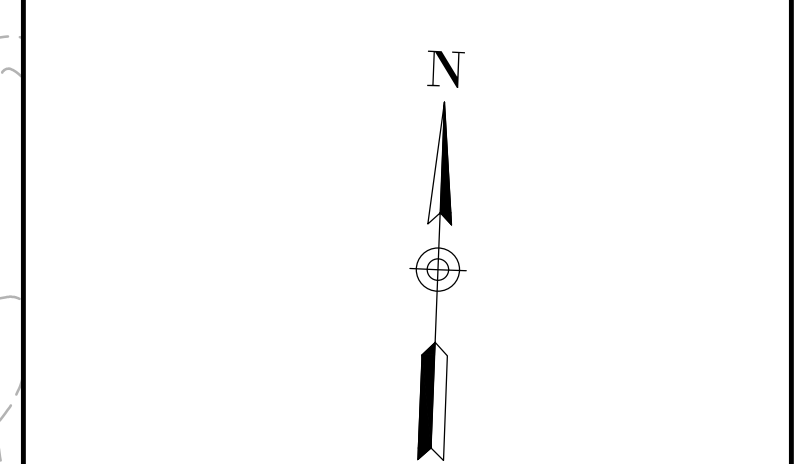
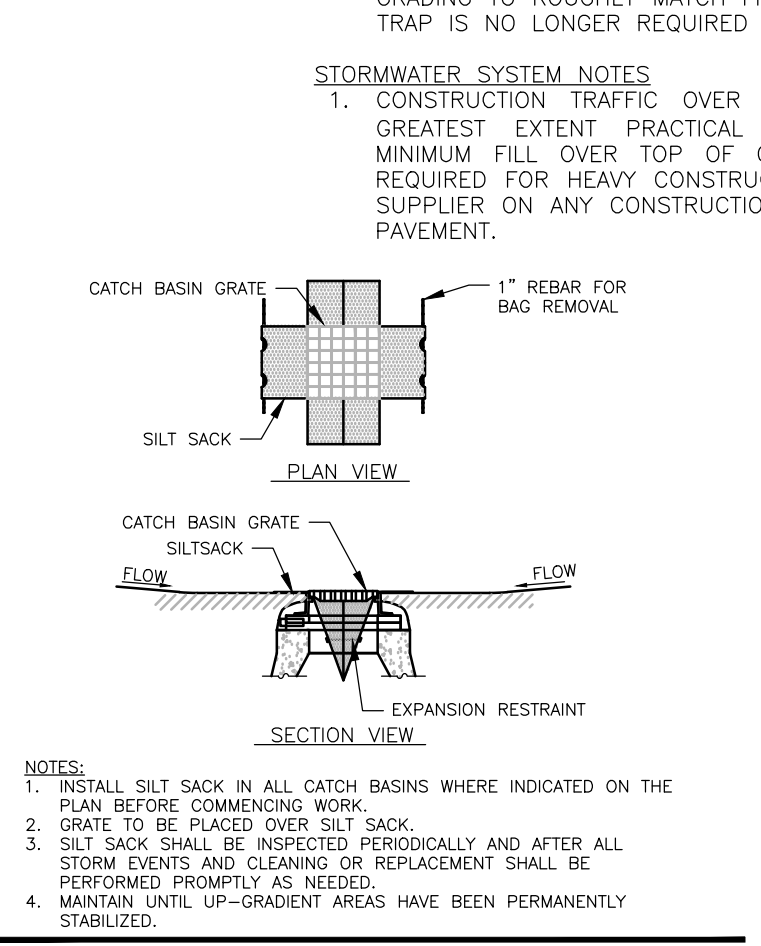
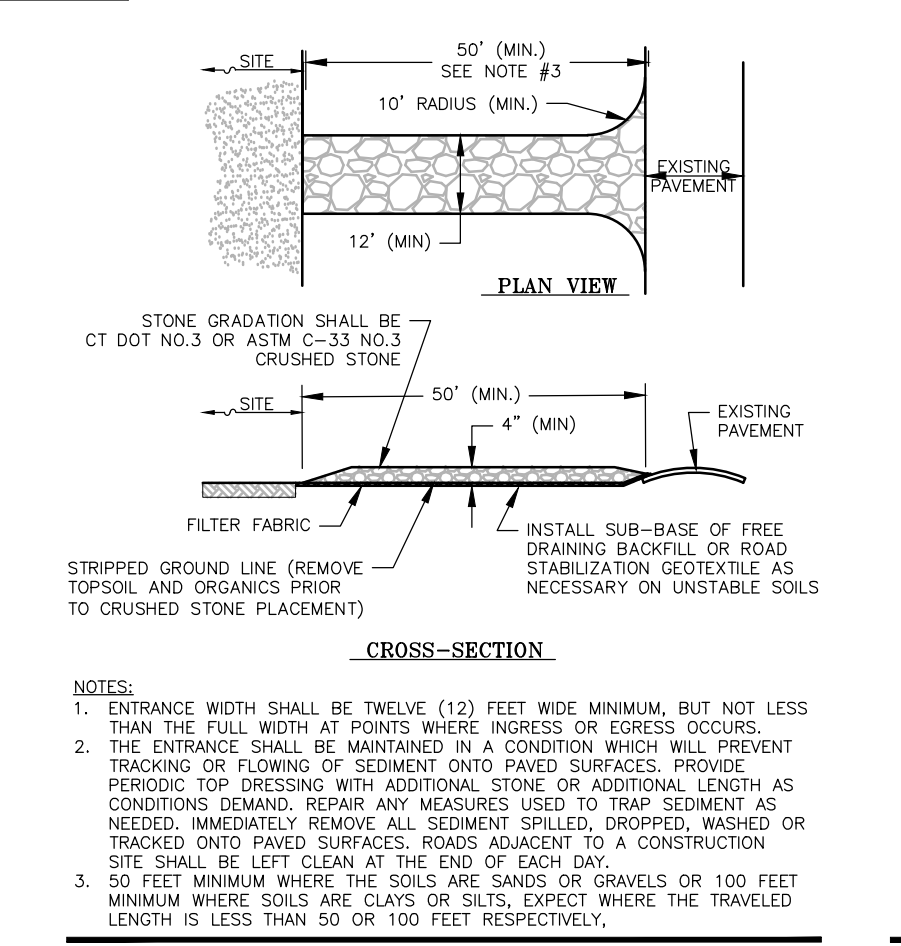
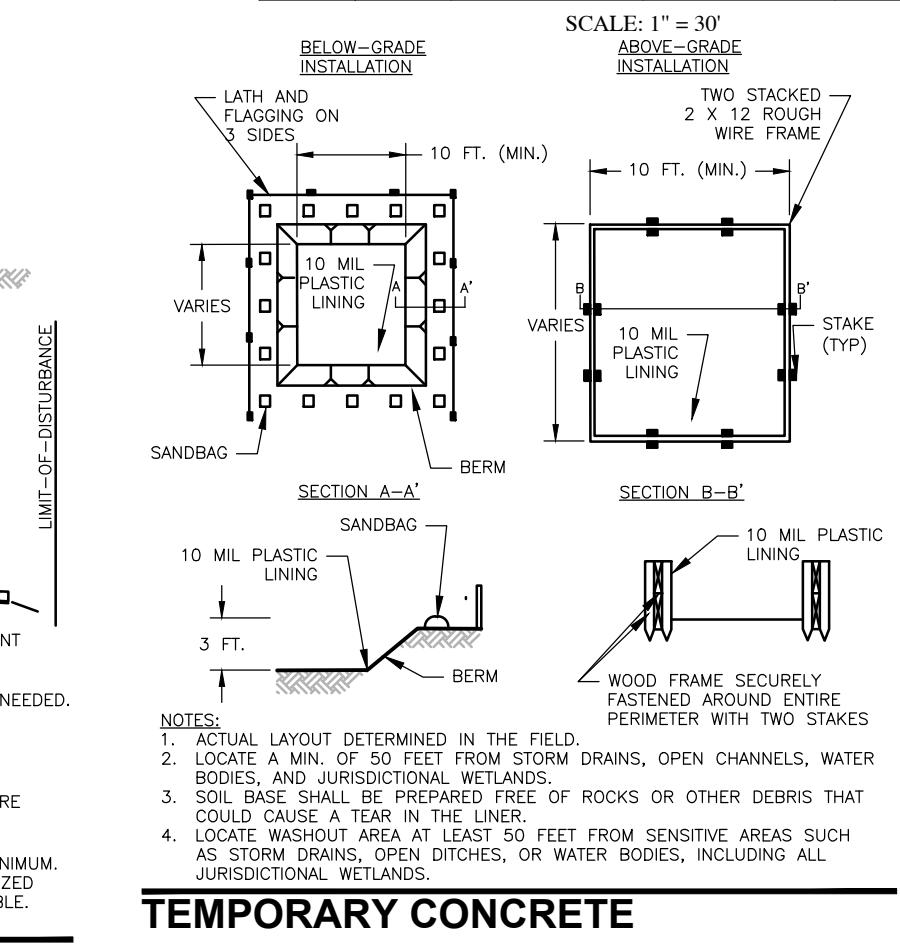
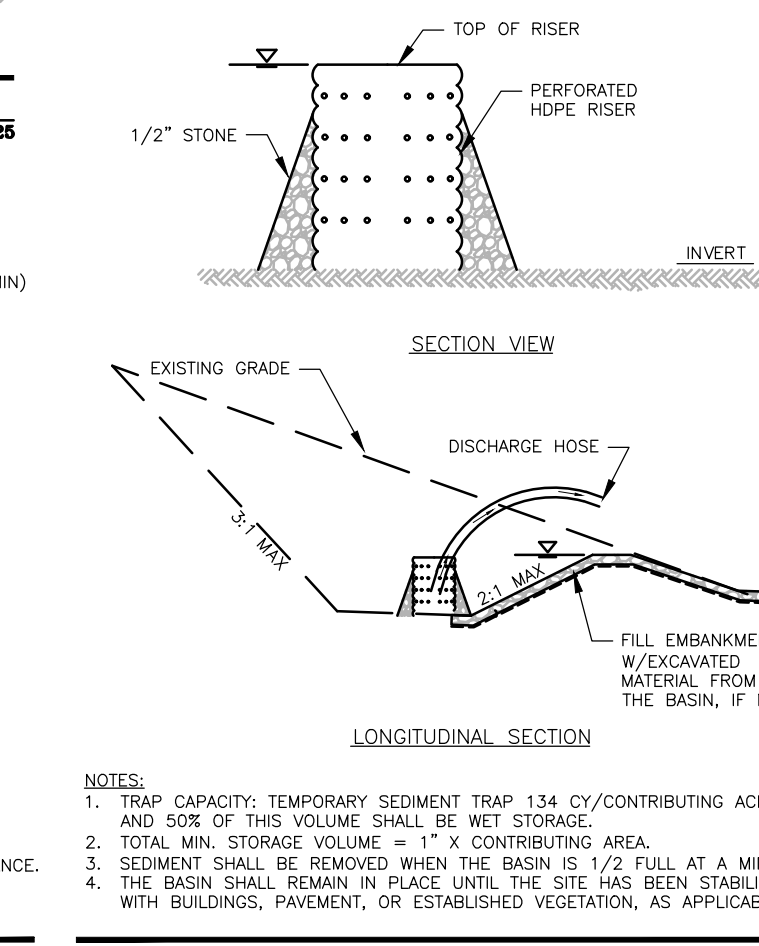
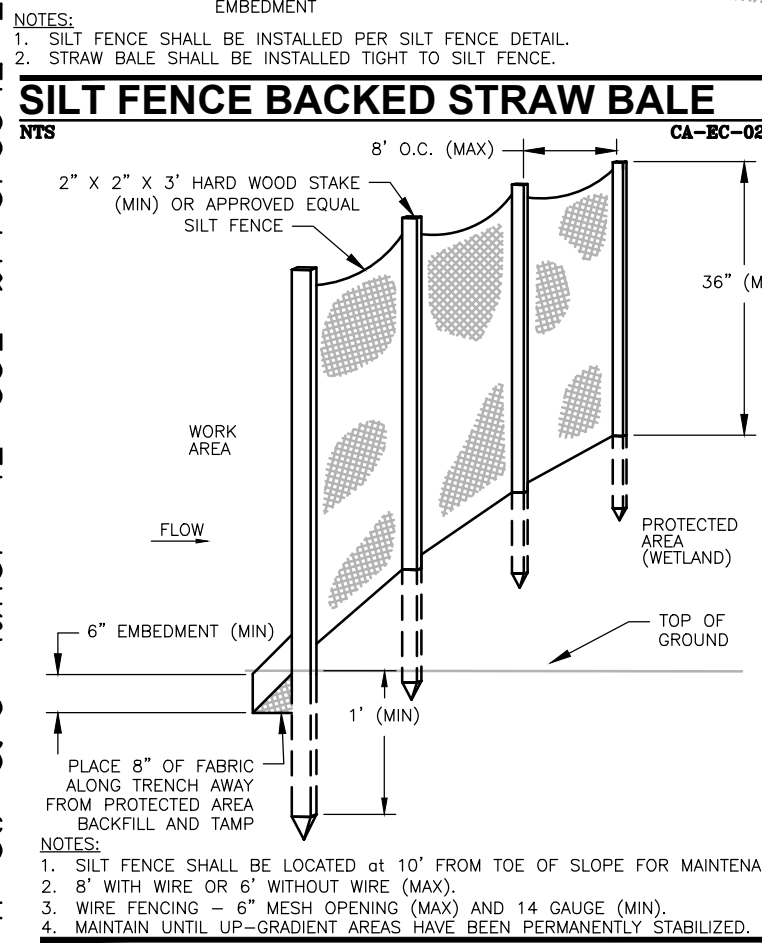
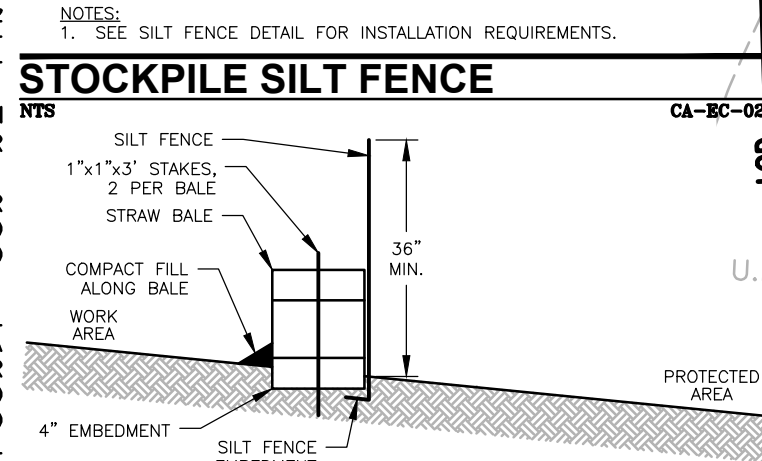
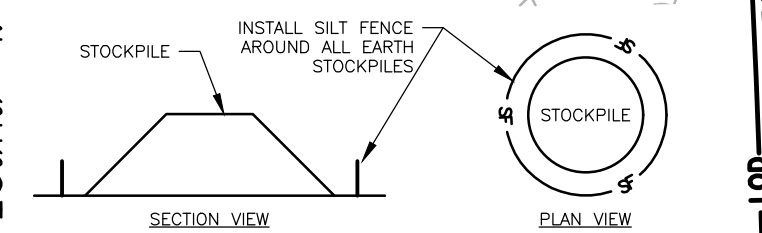
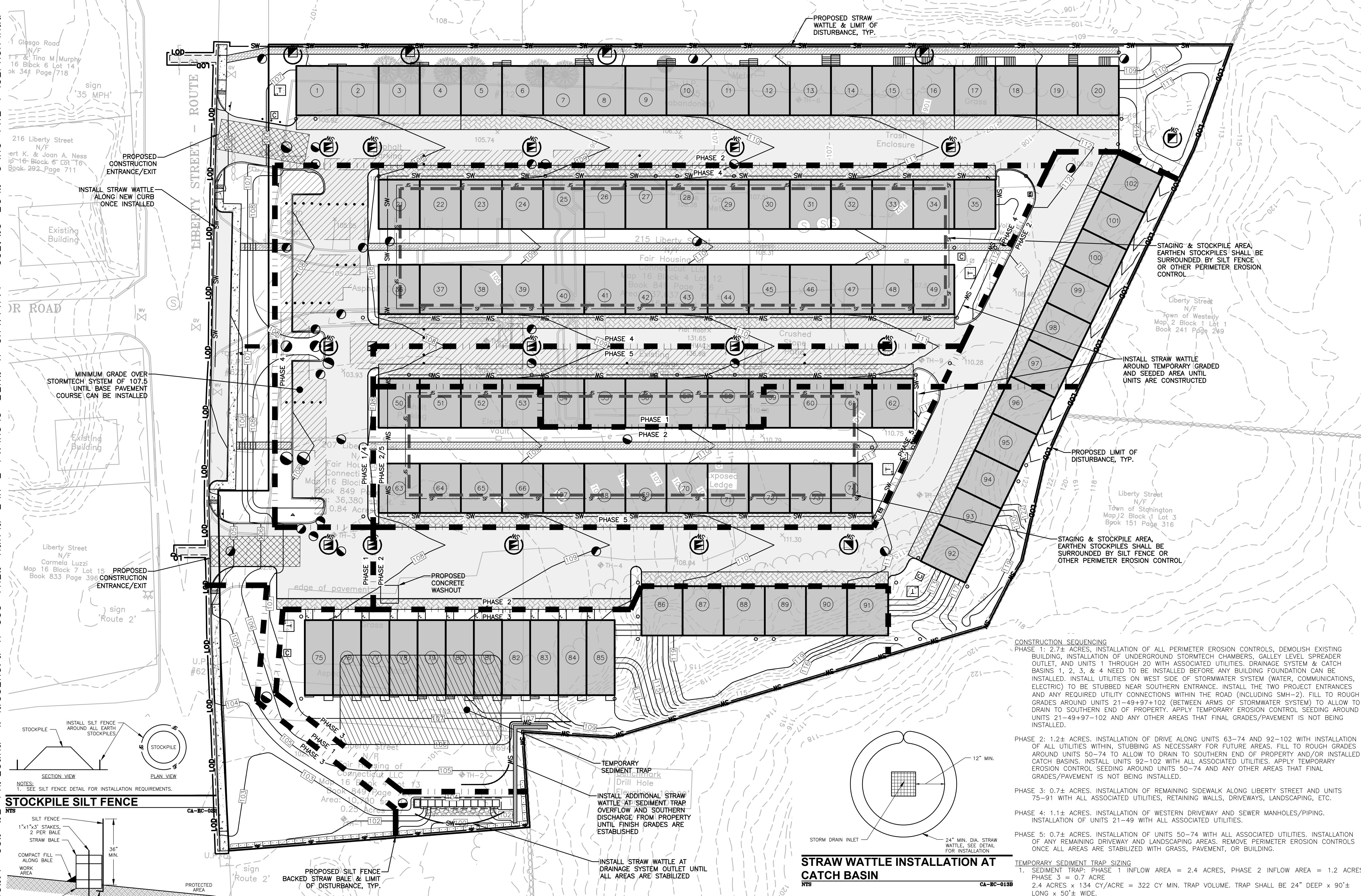
STR. NO.	RIM	INV. IN	INV. OUT
SMH-1	106.7	96.70 SMH-2	96.60 LIBERTY ST
SMH-2	107.8	100.30 SMH-3	100.20 SMH-1
SMH-3	108.6		103.80 SMH-2
SMH-4 (DROP)	104.9	94.90 SMH-5	88.60 LIBERTY ST
SMH-5	107.3	95.90 SMH-9 95.90 SMH-6	95.80 SMH-4 (DROP)
SMH-6	109.0	99.10 SMH-7	99.00 SMH-5
SMH-7	110.9	102.50 SMH-8	102.40 SMH-6
SMH-8	112.0	107.40 BLDG SEWER	107.30 SMH-7
SMH-9	107.9	97.40 SMH-12 97.40 SMH-10	97.30 SMH-5
SMH-10	109.5	102.30 SMH-11	102.20 SMH-9
SMH-11	112.0		107.30 SMH-10
SMH-12	107.6	98.10 SMH-13	99.70 SMH-9
SMH-13	108.2	99.80 SMH-14	99.70 SMH-12
SMH-14	110.0	103.60 SMH-15	103.50 SMH-13
SMH-15	112.1		107.30 SMH-14



C-6

**EROSION CONTROLS/CONSTRUCTION SEQUENCING**

1. THE OWNER SHALL COORDINATE A PRE-CONSTRUCTION MEETING AMONGST TOWN STAFF AND CONTRACTOR TO REVIEW E&S CONTROLS, PHASING SCHEDULE, MONITORING, ETC. PRIOR TO THE START OF ANY ON-SITE WORK. PRIOR TO THE START OF CONSTRUCTION OF ANY EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE AGENCIES AND INSTALL THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL PERMITS PERTAINING TO THIS PROJECT. AS PART OF THE TOWN PERMITS, TOWN OF STONINGTON STAFF SHALL BE NOTIFIED AFTER EROSION CONTROLS ARE INSTALLED PRIOR TO START OF CONSTRUCTION TO INSPECT SEDIMENT/EROSION CONTROL MEASURES.
2. THE CONTRACTOR SHALL KEEP A COPY OF THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN (SESC) AND THE APPROVED PLAN SET AT THE CONSTRUCTION SITE AT ALL TIMES.
3. THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES SHOWN ON THE PLAN SET IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL".
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND/OR UPGRADE THESE MEASURES, AS NECESSARY, THROUGHOUT CONSTRUCTION, TO MEET THE REQUIREMENTS OF ALL RELATED PERMITS FOR THE PROJECT AND/OR AT THE NOTIFICATION FROM THE TOWN OF STONINGTON, DOT, OR DEEP STAFF.
5. THE CONTRACTOR SHALL PREPARE AND MAINTAIN A RED-LINED COPY OF THE SESC PLAN SHOWING INTENDED AREAS FOR STAGING, STOCKPILING, WASHOUT, SOLID WASTE CONTAINMENT, CONSTRUCTION ENTRANCES AND TEMPORARY SEDIMENTATION CONTROL AREAS. ALL SUCH AREAS SHALL BE LOCATED OUTSIDE OF REGULATED WETLAND AREAS OR AREAS INTENDED FOR INFILTRATION PRACTICES.
6. EROSION CONTROL DEVICES
  - a. AT LEAST ONE STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED FOR ACCESS TO THE PROJECT BY CONSTRUCTION VEHICLES. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED BEFORE CONSTRUCTION VEHICLES WILL BE ALLOWED TO ENTER THE CONSTRUCTION SITE. ADDITIONAL ENTRANCES/EXITS SHALL BE INSTALLED IF MORE THAN ONE ACCESS POINT IS ANTICIPATED BY THE CONTRACTOR. A WASH OUT PAD MAY ALSO BE INSTALLED TO WASH CONSTRUCTION VEHICLES EXITING THE SITE.
  - b. ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH WORK DAY.
  - c. TEMPORARY SEDIMENT TRAPS MAY BE EXCAVATED OR BERMED/HAYBALED AND SHALL BE SIZED IN ACCORDANCE WITH THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL". DISCHARGE LOCATION FROM THESE BASINS SHALL BE STABILIZED TO PREVENT EROSION.
  - d. STRAW WATTLE AND/OR SILT SACKS SHALL BE INSTALLED AT ALL DOWN-GRADE CATCH BASINS WITHIN THE LIMIT OF WORK TO CONTROL EROSION AND SEDIMENTATION AND TO PROTECT OFF-SITE AREAS. THESE DEVICES SHALL BE INSTALLED AS SHOWN ON THE SOIL EROSION SEDIMENT CONTROL PLAN PRIOR TO INITIATION OF MAJOR SITE WORK ACTIVITIES AND SHALL BE MAINTAINED/REPAIRED UNTIL FINAL STABILIZATION OF ALL DISTURBED AREAS.
  - e. SILT FENCE SHALL BE INSTALLED AROUND ALL EARTH STOCKPILES.
  - f. ALL OTHER EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH THE "CONNECTICUT GUIDELINES" FOR SOIL EROSION AND SEDIMENTATION CONTROL.
7. THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE INTENDED TO BE THE MINIMUM NECESSARY AT THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND SUPPLEMENT THESE EROSION CONTROLS, AS NECESSARY THROUGHOUT CONSTRUCTION, TO PREVENT DAMAGE TO WETLANDS AND/OR SURROUNDING PROPERTIES.
8. THE CONTRACTOR SHALL PREVENT DUST, DEBRIS, OR SEDIMENTS FROM LEAVING THE SITE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE TO REPAIR, CLEAN UP, OR TAKE OTHER CORRECTIVE ACTION IMMEDIATELY OR NO LATER THAN 24 HOURS AFTER ANY ISSUE ARISES.
  - a. THE CONTRACTOR SHALL LIMIT THE AMOUNT OF EXPOSED SOIL BY PHASING CONSTRUCTION AS NECESSARY TO REDUCE THE AREA OF LAND DISTURBED AT A TIME AND UTILIZE STABILIZATION MEASURES AS SOON AS POSSIBLE.
  - b. THE CONTRACTOR SHALL MAINTAIN AS MUCH OF THE NATURAL VEGETATION AS PRACTICABLE.
  - c. THE CONTRACTOR SHALL IDENTIFY AND ADDRESS SOURCES OF DUST GENERATED BY CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL LIMIT CONSTRUCTION TRAFFIC TO PREDETERMINED ROUTES. PAVED SURFACES REQUIRE MECHANICAL SWEEPERS TO REMOVE SOIL THAT HAS BEEN DEPOSITED OR TRACKED ONTO THE PAVEMENT. ON UNPAVED TRAVELWAYS AND TEMPORARY HALL ROADS, ROAD CONSTRUCTION STABILIZATION MEASURES AND/OR WATER AS NEEDED TO KEEP SURFACE DAMP. STATIONARY SOURCES OF DUST SHALL USE FINE MIST SPRAYS TO CONTROL DUST. IF WATER IS EXPECTED TO BE NEEDED FOR DUST CONTROLS, IDENTIFY THE SOURCE OF WATER IN ADVANCE.
  - d. THE CONTRACTOR SHALL IDENTIFY AND ADDRESS SOURCES OF WIND GENERATED DUST. CONTRACTOR SHALL PROVIDE SPECIAL CONSIDERATION TO HILL TOPS AND LONG REACHES OF OPEN GROUND WHERE SLOPES MAY BE EXPOSED TO HIGH WINDS. CONSIDER BREAKING UP LONG REACHES WITH TEMPORARY WINDBREAKS CONSTRUCTED FROM BRUSH PILES. GEOTEXTILE SILT FENCES OR HAY BALES, SLOPES SHALL BE STABILIZED EARLY. WHEN USED, MULCH FOR SEED SHALL REQUIRE ANCHORING.
9. THE CONTRACTOR SHALL CONSIDER WATER QUALITY WHEN SELECTING THE METHOD AND/OR MATERIALS USED FOR DUST CONTROL.
10. THE CONTRACTOR SHALL CONTROL CONSTRUCTION STORMWATER RUNOFF IN SUCH A MANNER AS TO PREVENT DAMAGE TO DOWN-GRADE PROPERTIES. ANY DAMAGED OR DAMAGED DEVICES AND SHALL REMOVE ACCUMULATED SEDIMENTS IN ACCORDANCE WITH LOCAL REQUIREMENTS AND PERMITS, WHEN APPLICABLE. ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM THE SITE OR PLACED AWAY FROM WETLANDS AND CLOSED DRAINAGE SYSTEMS.
11. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PERFORM EARTHWORK IN PHASES THAT ALLOW FOR STABILIZATION OF THESE AREAS AS SOON AS POSSIBLE. PERIODS OF DISCOURAGED EROSION AND SEDIMENTATION. ANY EXPOSED SOILS INTENDED TO REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH MULCH, OR TEMPORARY SEED AND WATERED TO ENCOURAGE VEGETATION. TEMPORARY SEED SHALL CONSIST OF ANNUAL RYEGRASS 160 LBS/ACRE, PERENNIAL RYEGRASS 160 LBS/ACRE, OR WINTER RYE 75 LBS/ACRE OR AS DIRECTED BY OWNER OR LANDSCAPE ARCHITECT.
12. THE CONTRACTOR SHALL INSTALL PERMANENT SEEDING BETWEEN APRIL 15TH AND JUNE 15TH AND/OR AUGUST 15TH TO OCTOBER 15TH. PERMANENT SEEDING SHALL BE AS DIRECTED BY LANDSCAPE ARCHITECT.
13. THE CONTRACTOR SHALL APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN SEVEN (7) DAYS OF ESTABLISHING FINAL GRADE.
14. THE CONTRACTOR SHALL PERFORM A FINAL INSPECTION OF ALL EXISTING CATCH BASINS, DRAINAGE PIPING, AND ASSOCIATED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS TO ENSURE THAT ALL SEDIMENTS HAVE BEEN REMOVED. WORK IS DEEMED COMPLETE. A FINAL FINAL INSPECTION REPORT SHALL BE FURNISHED TO TOWN STAFF.
15. ANY AND ALL DEFERRED MAINTENANCE SHALL BE ADDRESSED PRIOR TO THE CLOSE OF CONSTRUCTION (CLEARING OF DEBRIS, REMOVAL OF ACCUMULATED SEDIMENT, REMOVAL OF TREES AND VEGETATION, ANY RECONSTRUCTION REQUIRED, ETC.).
16. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL SESC MEASURES ONLY AFTER FINAL PAVEMENT IS PLACED AND VEGETATION IN LANDSCAPE AREAS IS WELL ESTABLISHED.
17. ANY DETERIORATED REQUIRED DURING CONSTRUCTION SHALL BE PUMPED TO THE TEMPORARY SEDIMENT TRAP.



**TOWN EROSION CONTROL REQUIREMENTS**  
 1. THE APPLICANT WILL BE RESPONSIBLE FOR PROVIDING AN EROSION & SEDIMENT CONTROL PLAN TO THE TOWN OF STONINGTON IN AN AMOUNT TO BE APPROVED BY THE TOWN ENGINEER AFTER REVIEW OF AN ESTIMATE FOR ALL E&S MEASURES ARE PROVIDED BY THE APPLICANT'S ENGINEER.

**LEGEND**

- X- TEMPORARY SNOW FENCE
- ▨ PHASE AREAS
- ▨ ALLOWABLE STAGING/STOCKPILING AREA
- LOD- LOD
- SW- STRAW WATTLE / LOD
- SF- SILT FENCE
- ▨ SILT FENCE BACKED STRAW BALE

**OWNER/APPLICANT:**  
 FAIR HOUSING OF CONNECTICUT LLC  
 C/O GENE ARGANESE  
 53 PARKWAY DRIVE  
 TRUMBULL, CT 06611-4123  
 203-650-6288

**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	12/7/23	UPDATED LAYOUT	AKG	SFC
2	1/10/24	UPDATED LAYOUT & TOWN COMMENTS	AKG	SFC

SCALE: 1" = 30'  
 CA JOB # 223034  
 OCTOBER 24, 2023

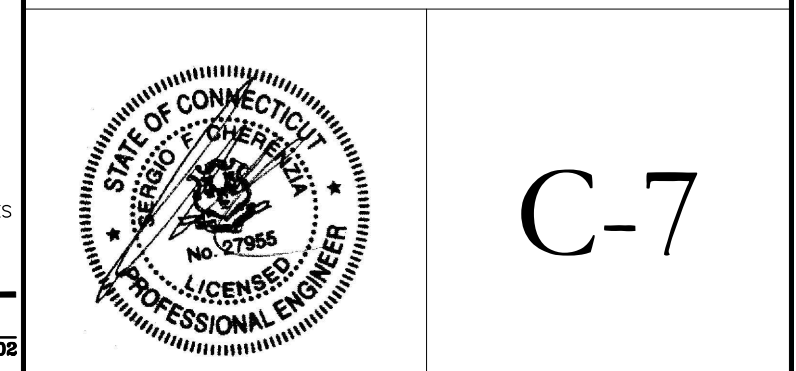
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 CHECK BY: SFC

ISSUED FOR PERMITTING

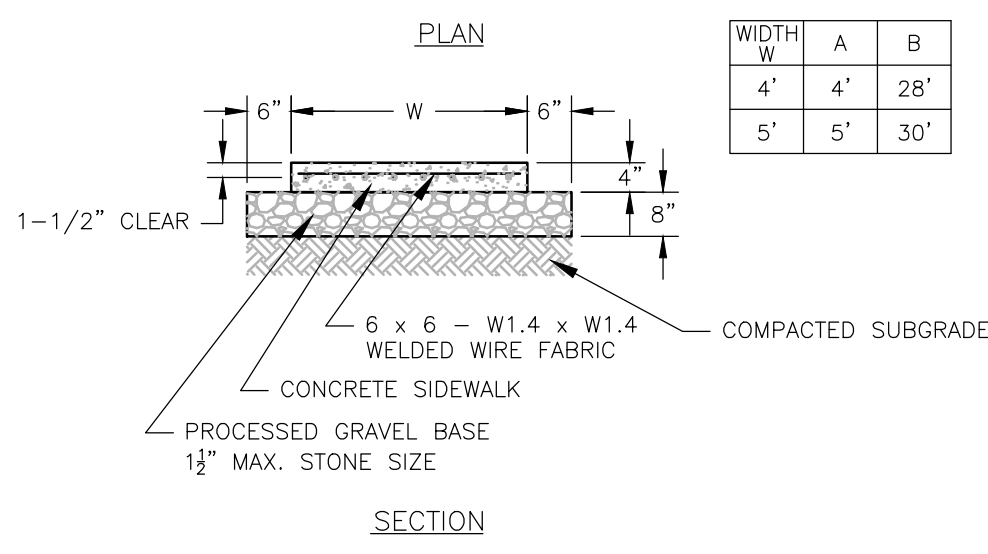
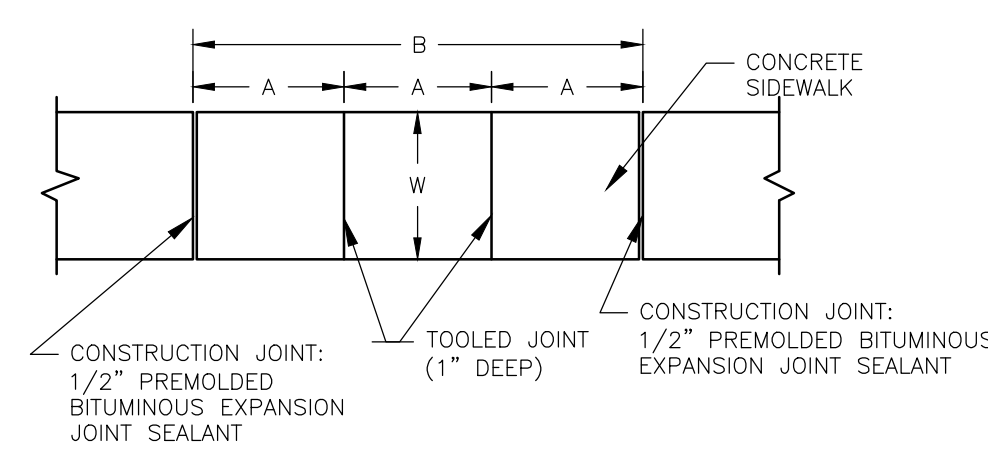
**SOIL EROSION & SEDIMENTATION CONTROL PLAN**

BEACHWAY ESTATES  
 RESIDENTIAL DEVELOPMENT  
 207 & 215 LIBERTY STREET  
 MAP 16 BLOCK 4 LOT 12A, 12, & 13  
 STONINGTON, CONNECTICUT

PREPARED FOR  
 GENE ARGANESE

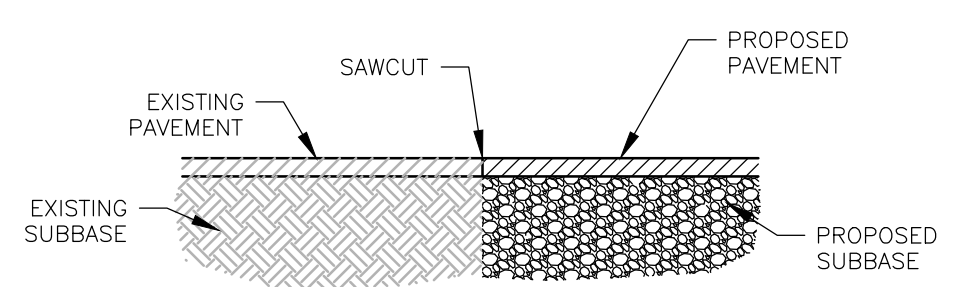


**C-7**



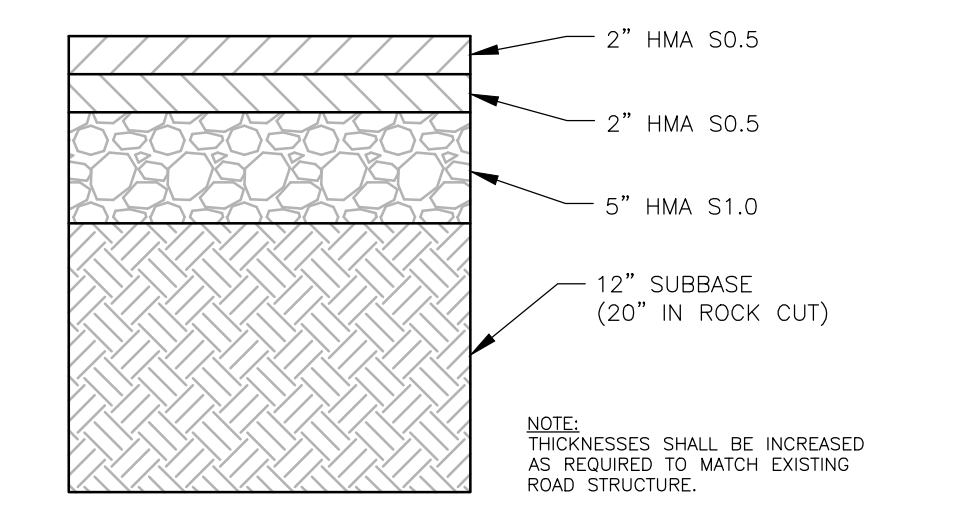
NOTES:  
 1. SIDEWALK SLOPE SHALL BE A MIN. OF 1% AND A MAX. OF <2%.  
 2. CONCRETE SHALL BE MIN. 4,000 P.S.I., TYPE II.  
 3. BROOM FINISH PERPENDICULAR TO CURB OR TRAFFIC PATH.  
 4. PROVIDE A 3\"/>

**CONCRETE SIDEWALK**  
 NTS CA-RD-011A

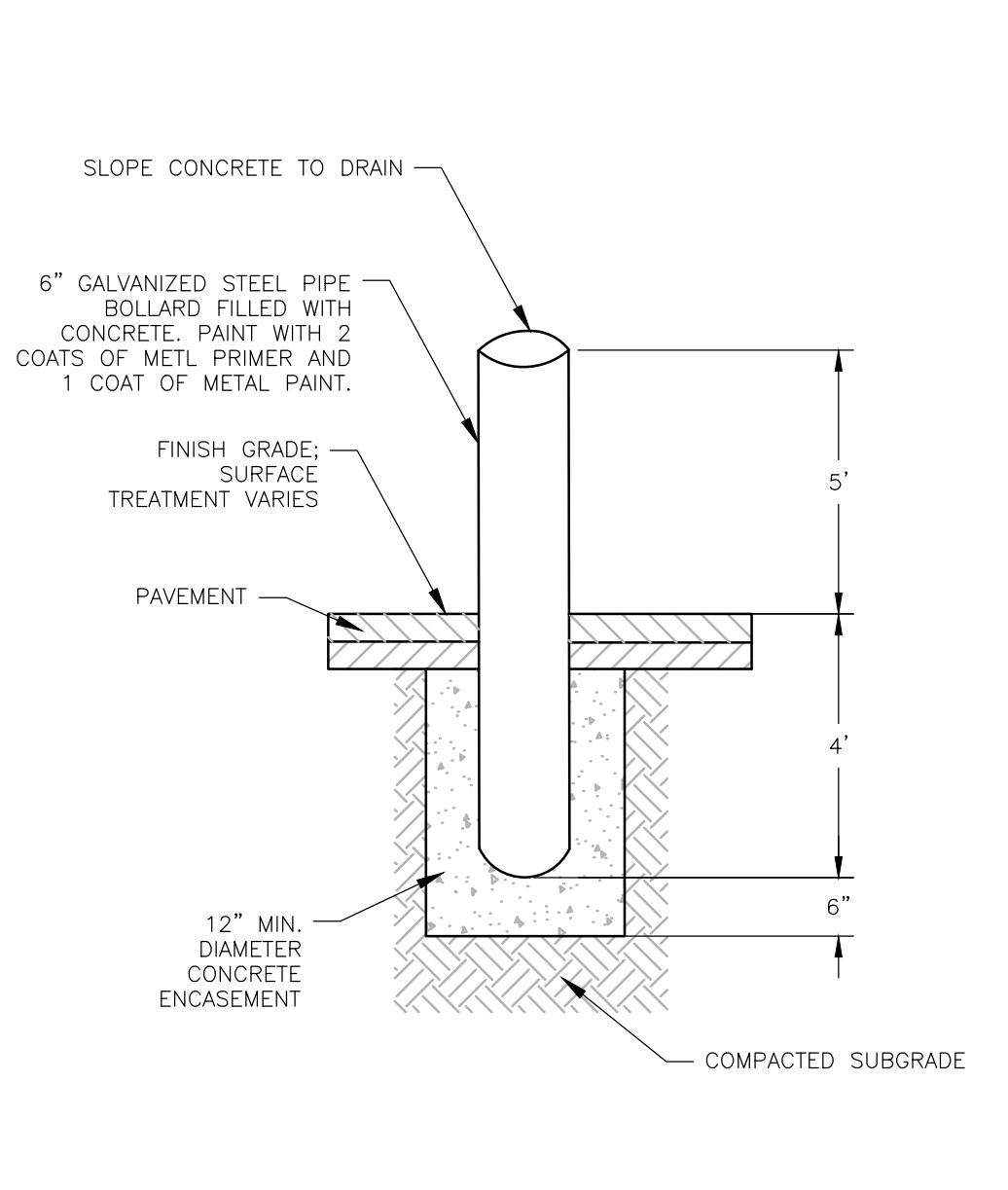


NOTES:  
 1. CLEAN SAWS WITH COMPRESSED AIR.  
 2. APPLY JOINT SEAL MATERIAL FILLING FROM THE BOTTOM UP.  
 3. THE JOINT SEAL MATERIAL SHALL COMPLETELY FILL THE SAWCUT SUCH THAT AFTER COOLING THE LEVEL OF THE SEALER WILL NOT BE GRATER THAN 1/8 INCH BELOW THE PAVEMENT SURFACE.  
 4. CARE SHALL BE TAKE DURING THE SEALING OPERATION TO INSURE THAT THE FINAL APPEARANCE WILL PRESENT A NEAT LINE.

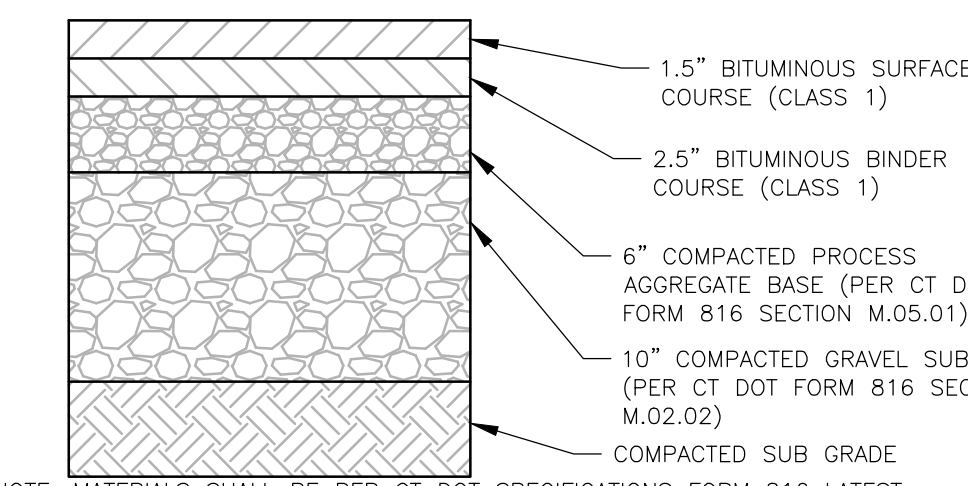
**PAVEMENT SAWCUT**  
 NTS CA-RD-024



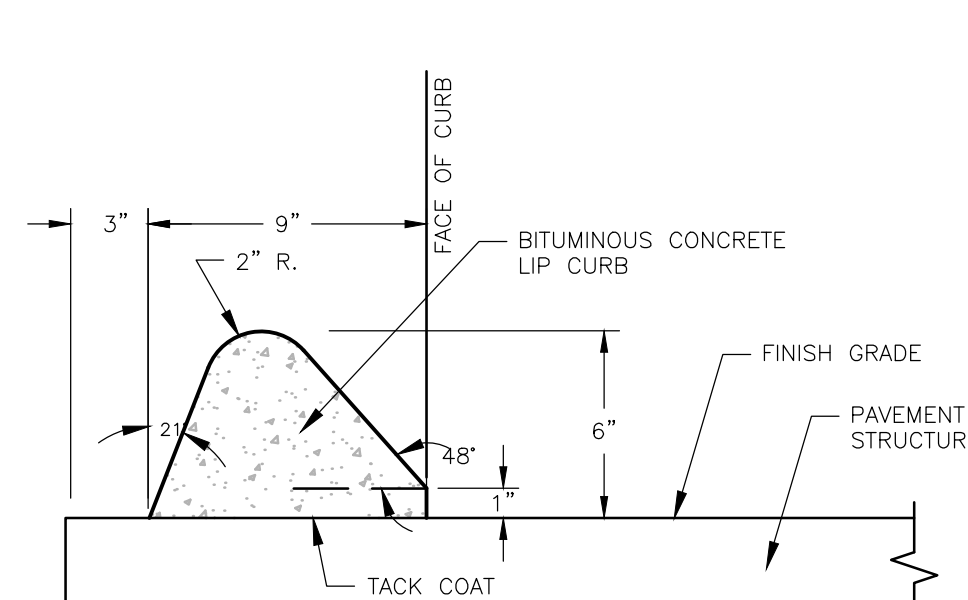
**CDTOT BITUMINOUS PAVEMENT**  
 NTS CA-RD-032



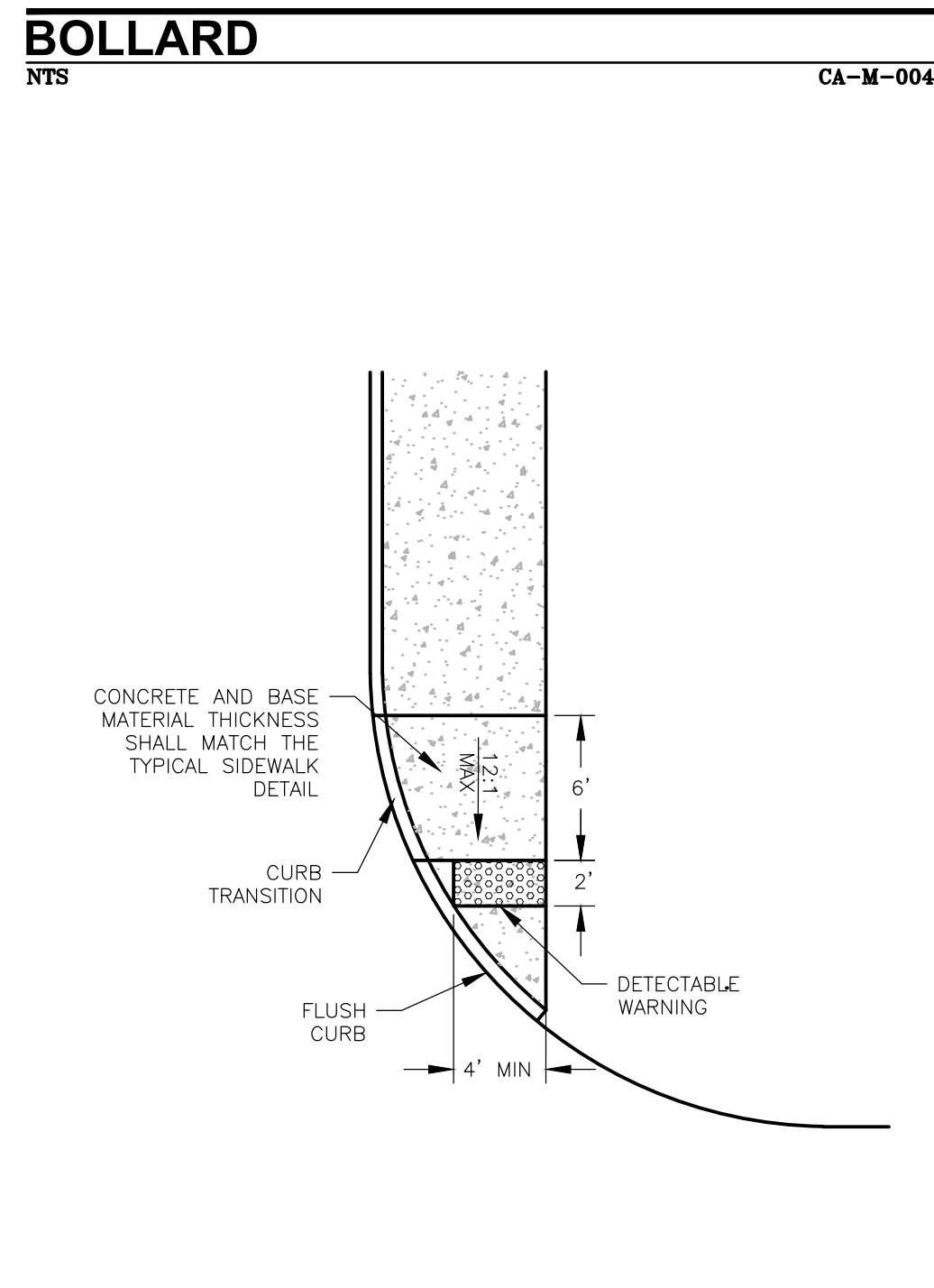
**BOLLARD**  
 NTS CA-M-004



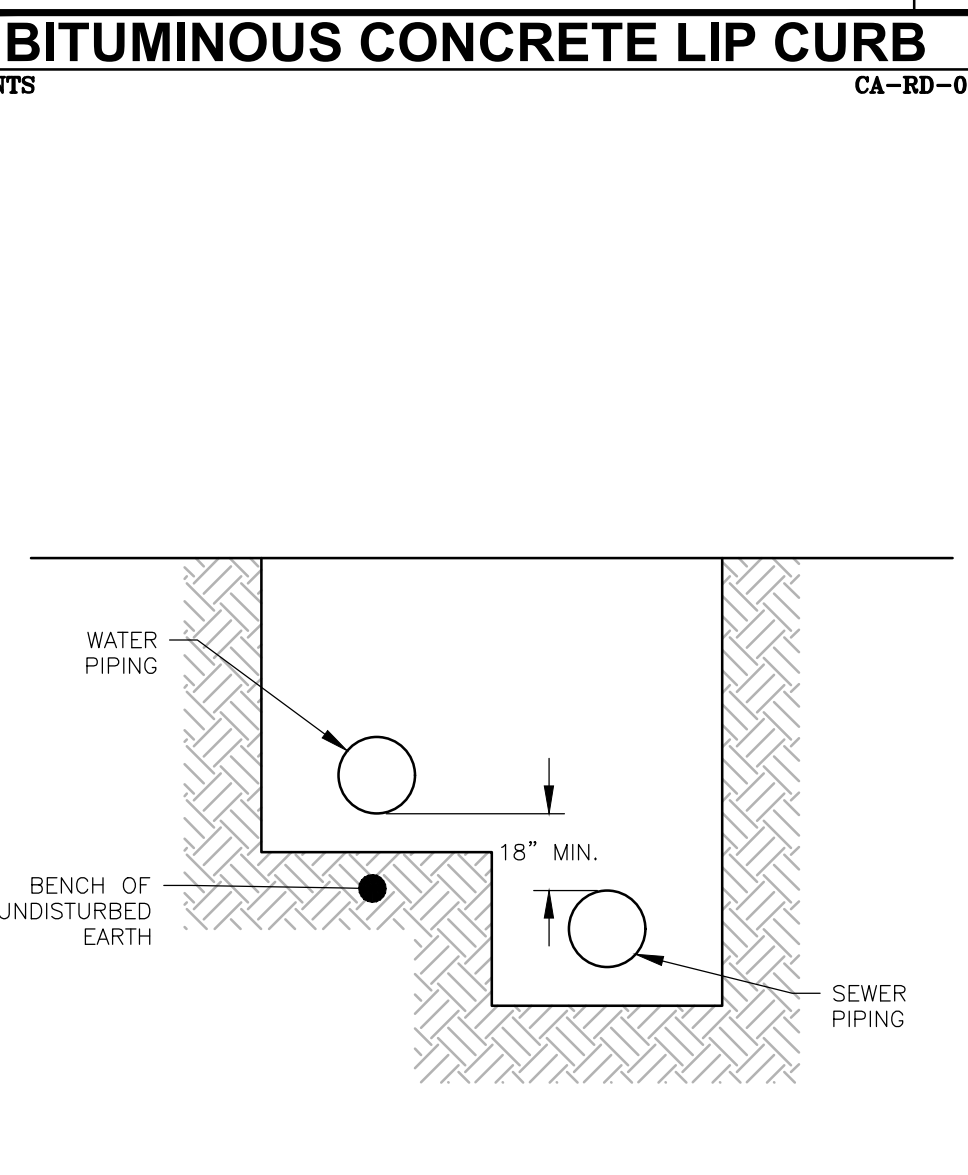
**STANDARD DUTY PAVEMENT**  
 NTS CA-RD-001



**BITUMINOUS CONCRETE LIP CURB**  
 NTS CA-RD-005

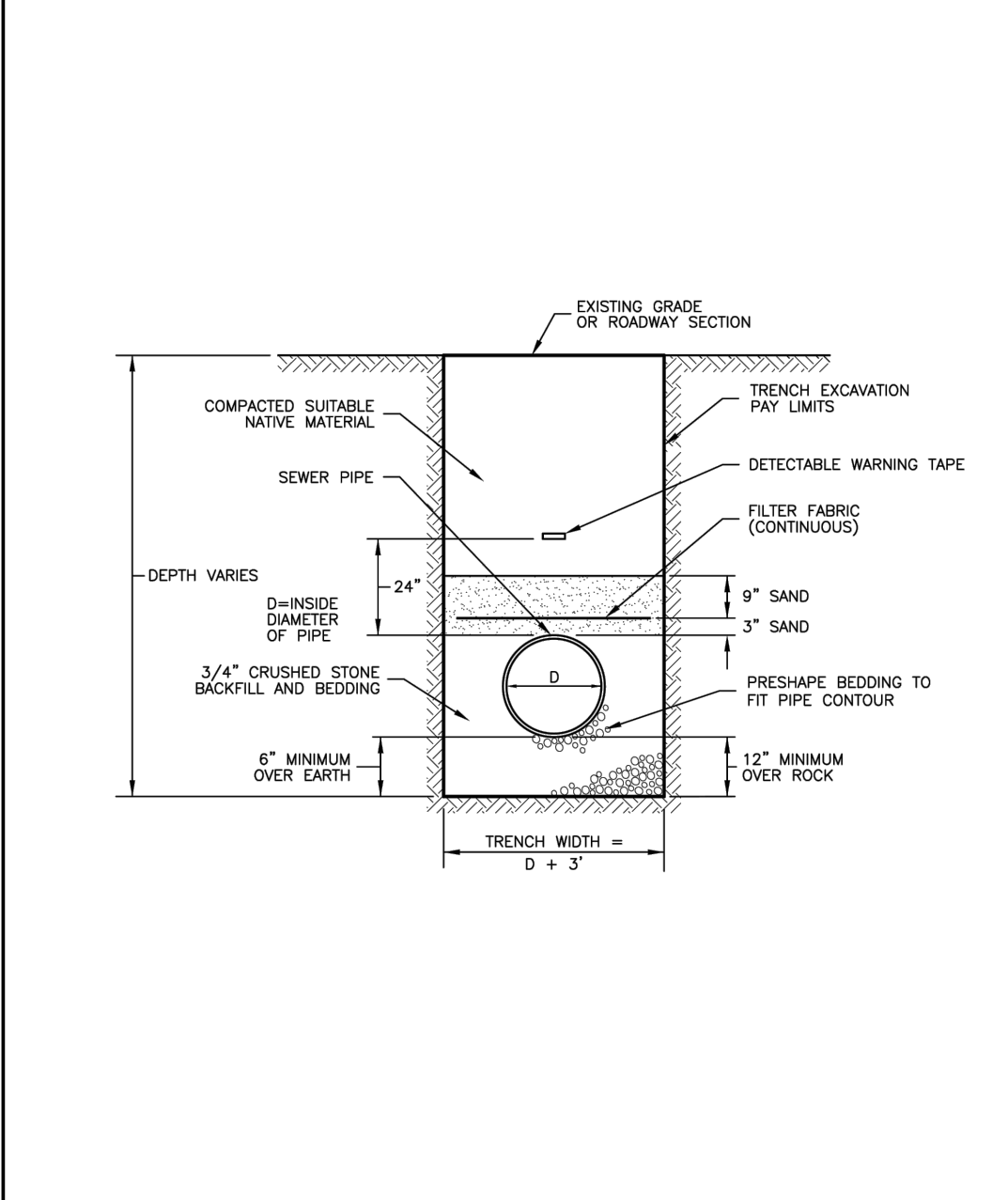


**ADA RAMP**  
 NTS CA-RD-12F

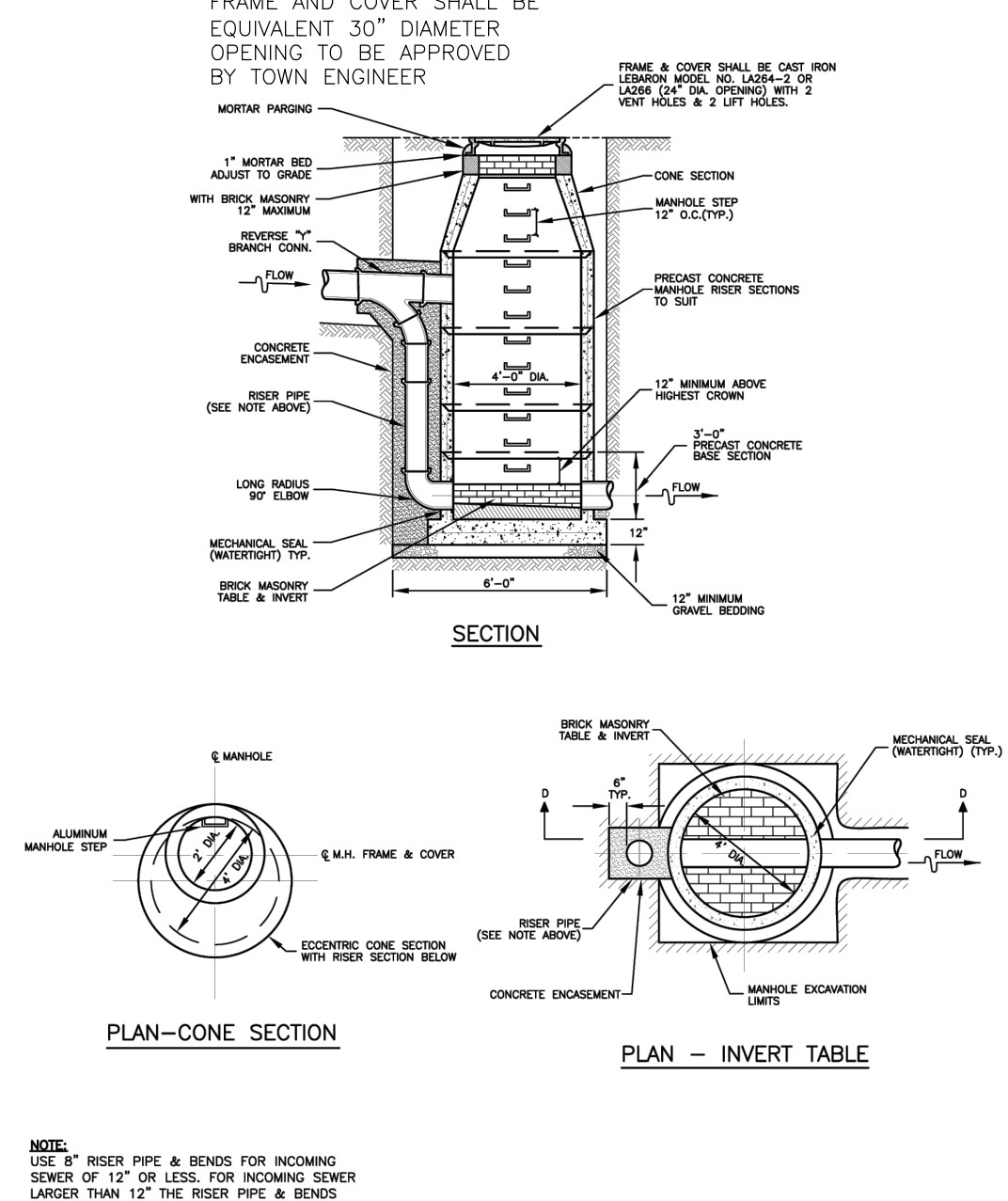


NOTES:  
 1. SEWER SHALL BE LAID AT A MINIMUM OF 10 FEET FROM ANY WATER LINES. IF SEPARATION IS LESS THAN 10 FEET, THE FOLLOWING SHALL APPLY:  
 2. WHEN WATER AND SEWER ARE CLOSER THAN 10 FEET:  
 A. WATER AND SEWER PIPES SHALL BE LAID IN SEPARATE TRENCHES. IF LAID IN THE SAME TRENCH, THE WATER PIPING SHALL BE LOCATED ON A BENCH OF UNDISTURBED EARTH.  
 B. THE ELEVATION OF THE CROWN OF THE SEWER PIPE SHALL BE AT LEAST 18\"/>

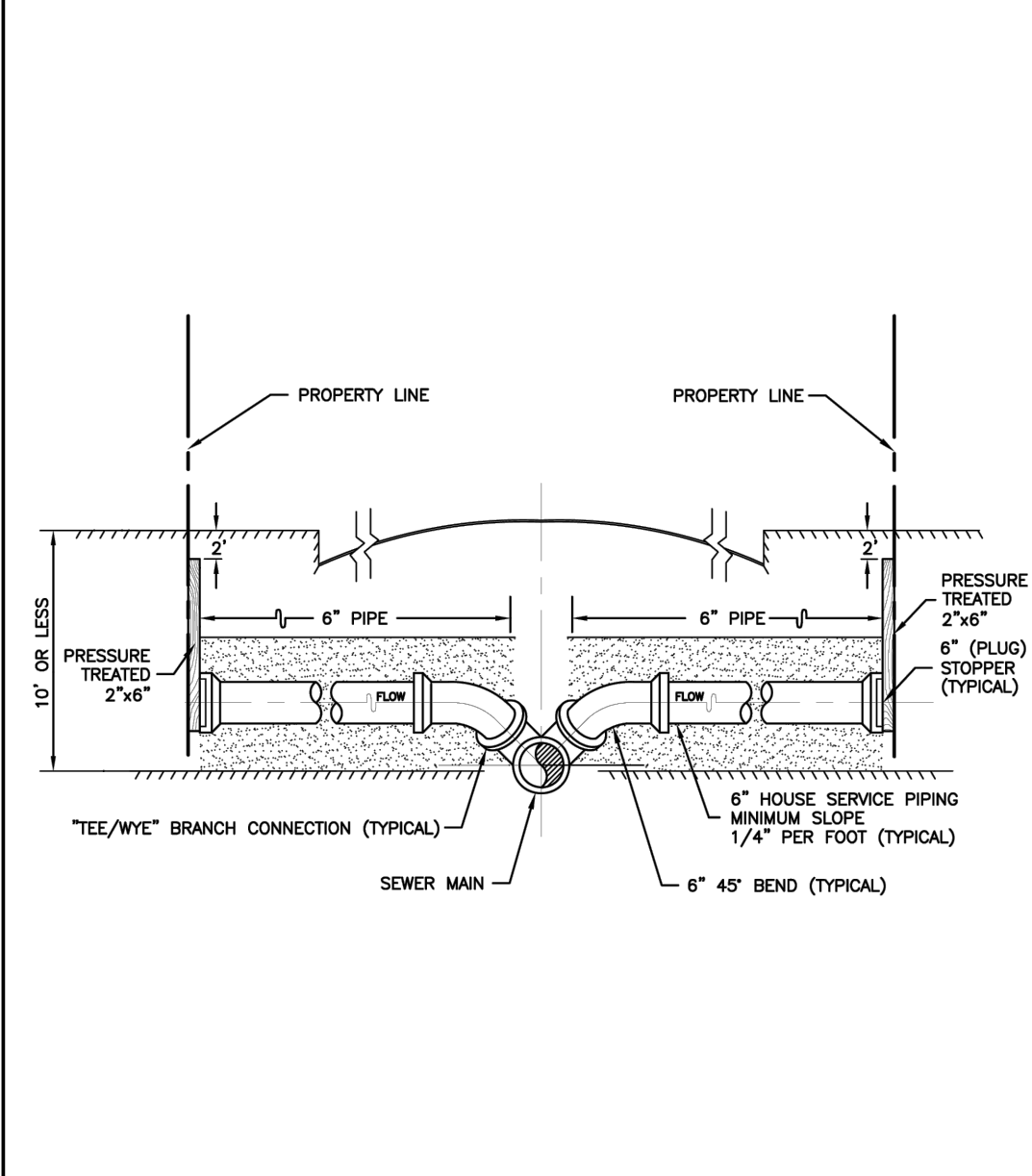
**WATER & SEWER PIPE SEPARATIONS**  
 NTS CA-U-023



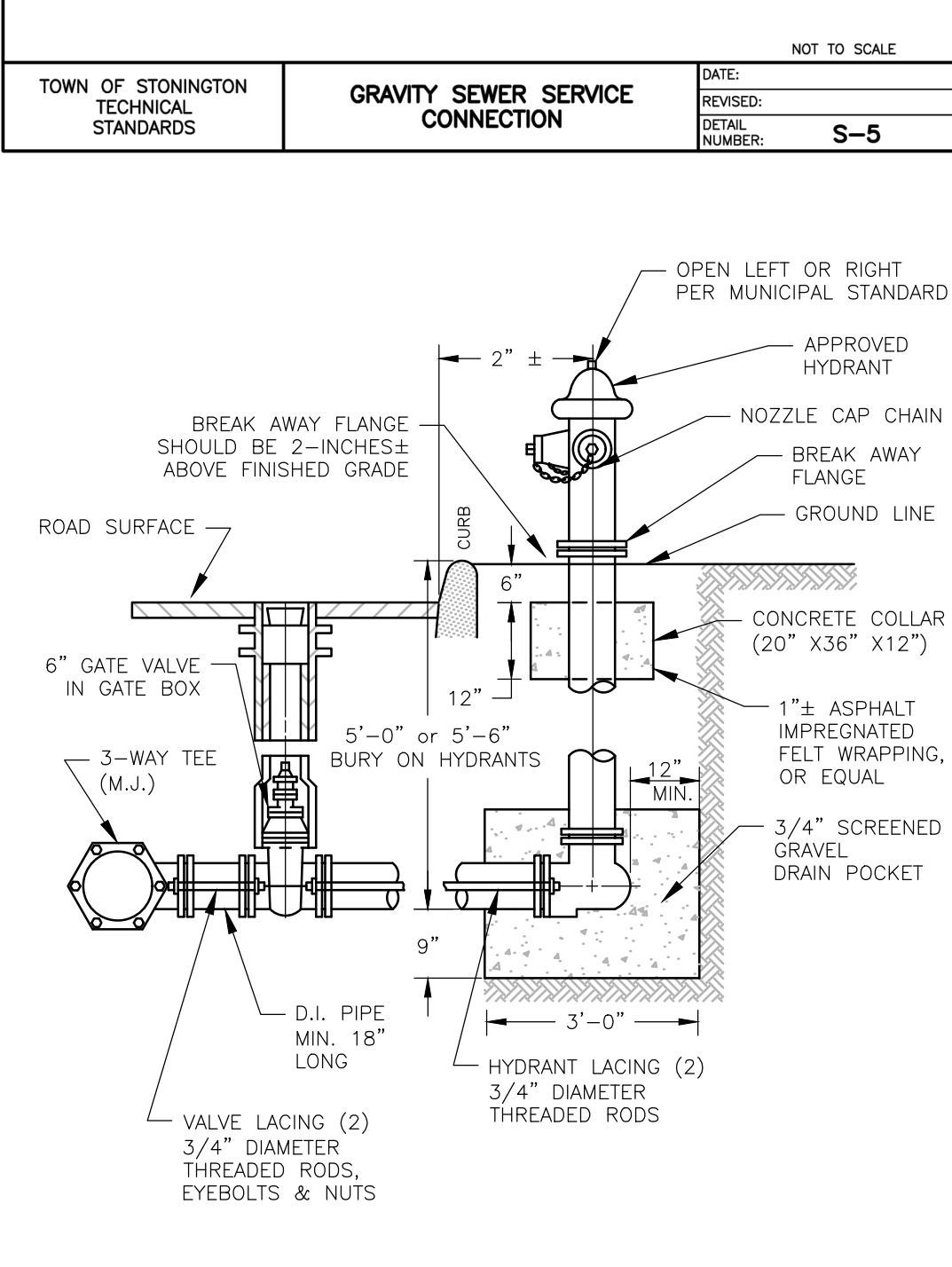
**SANITARY SEWER TRENCH**  
 TOWN OF STONINGTON TECHNICAL STANDARDS DATE: NOT TO SCALE REVISED: DETAIL NUMBER: S-1



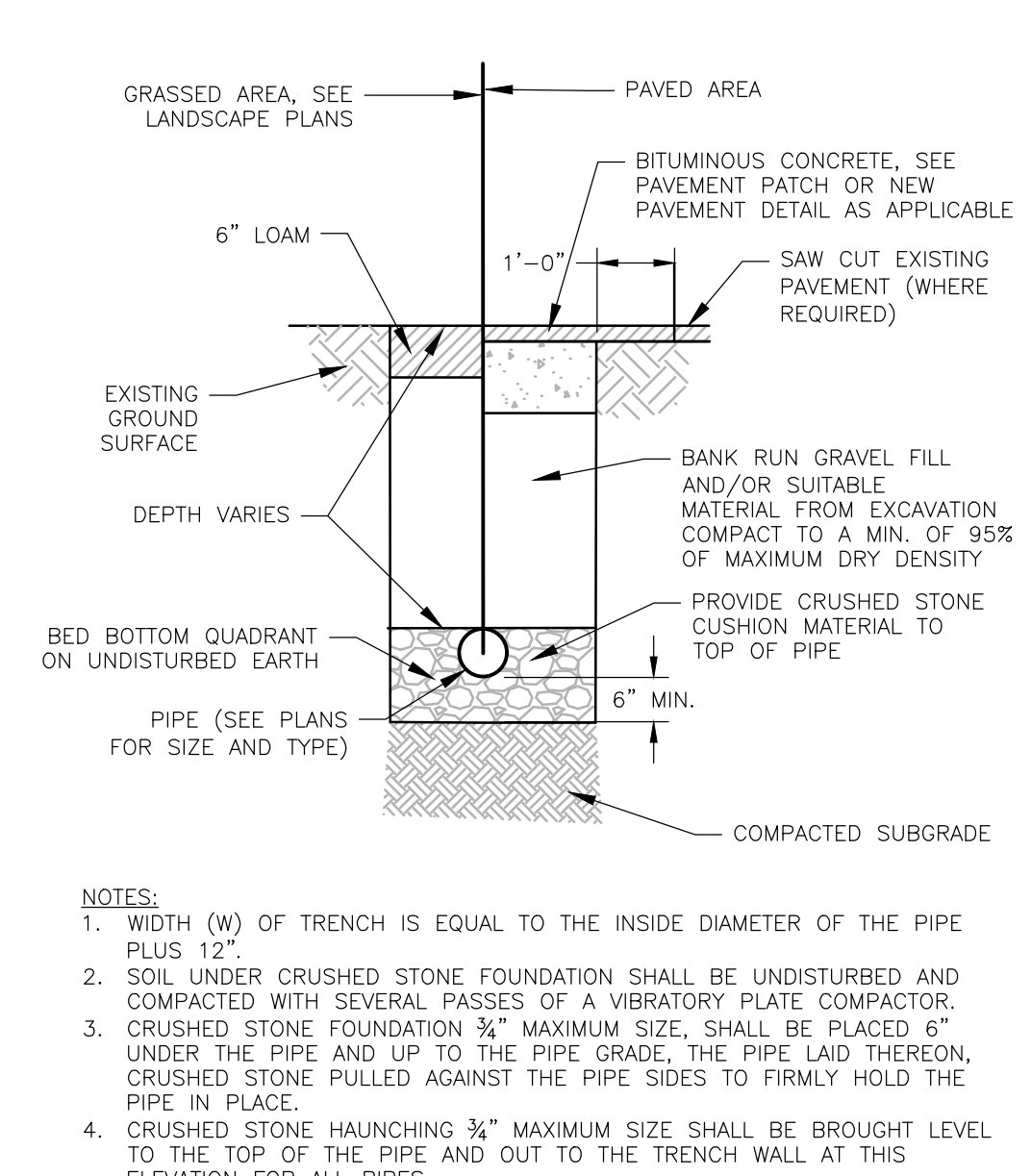
**SANITARY DROP MANHOLE (OUTSIDE)**  
 TOWN OF STONINGTON TECHNICAL STANDARDS DATE: NOT TO SCALE REVISED: DETAIL NUMBER: S-3



**GRAVITY SEWER SERVICE CONNECTION**  
 TOWN OF STONINGTON TECHNICAL STANDARDS DATE: NOT TO SCALE REVISED: DETAIL NUMBER: S-5



**HYDRANT**  
 NTS CA-U-007



**UTILITY TRENCH**  
 NTS CA-U-004

TABLE OF DIMENSIONS

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6" 11-1/4"	8"	15"	12"	24"	12"	6" 45"	8"	30"	12"	24"	14"
6" 22-1/2"	"	19"	"	13"	6" 90"	"	30"	"	"	27"	"
8" 11-1/4"	"	20"	"	12"	8" 45"	"	30"	"	"	24"	"
8" 22-1/2"	"	22"	"	17"	8" 90"	"	38"	"	"	36"	"
12" 11-1/4"	"	30"	"	15"	12" 45"	"	40"	"	"	40"	"
12" 22-1/2"	"	35"	"	25"	12" 90"	"	60"	"	"	52"	"

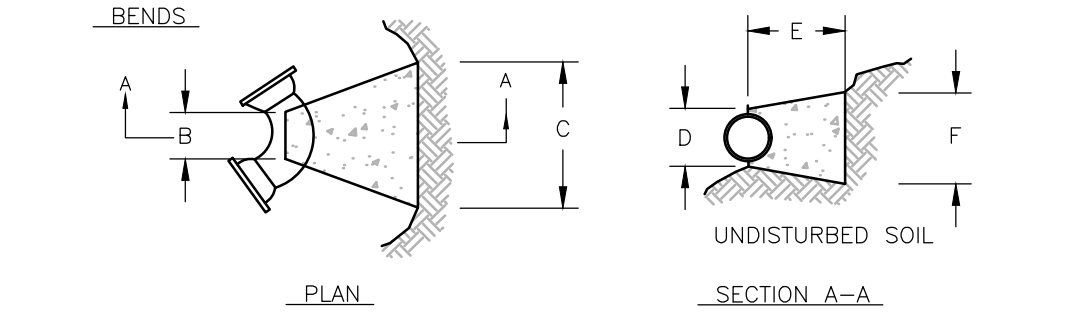
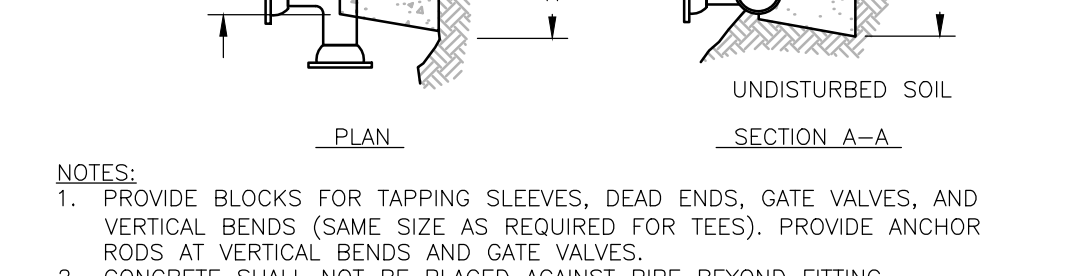
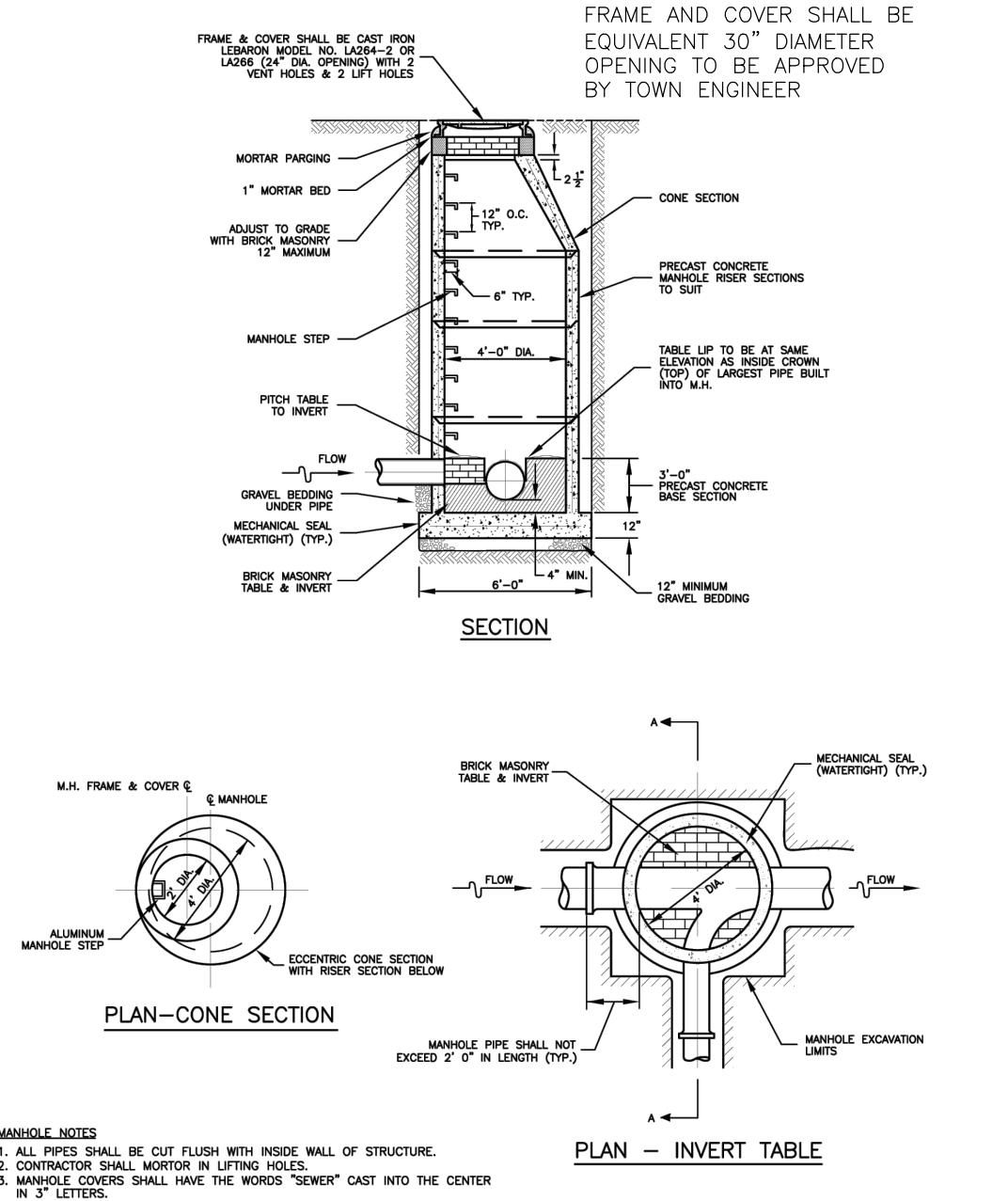


TABLE OF DIMENSIONS

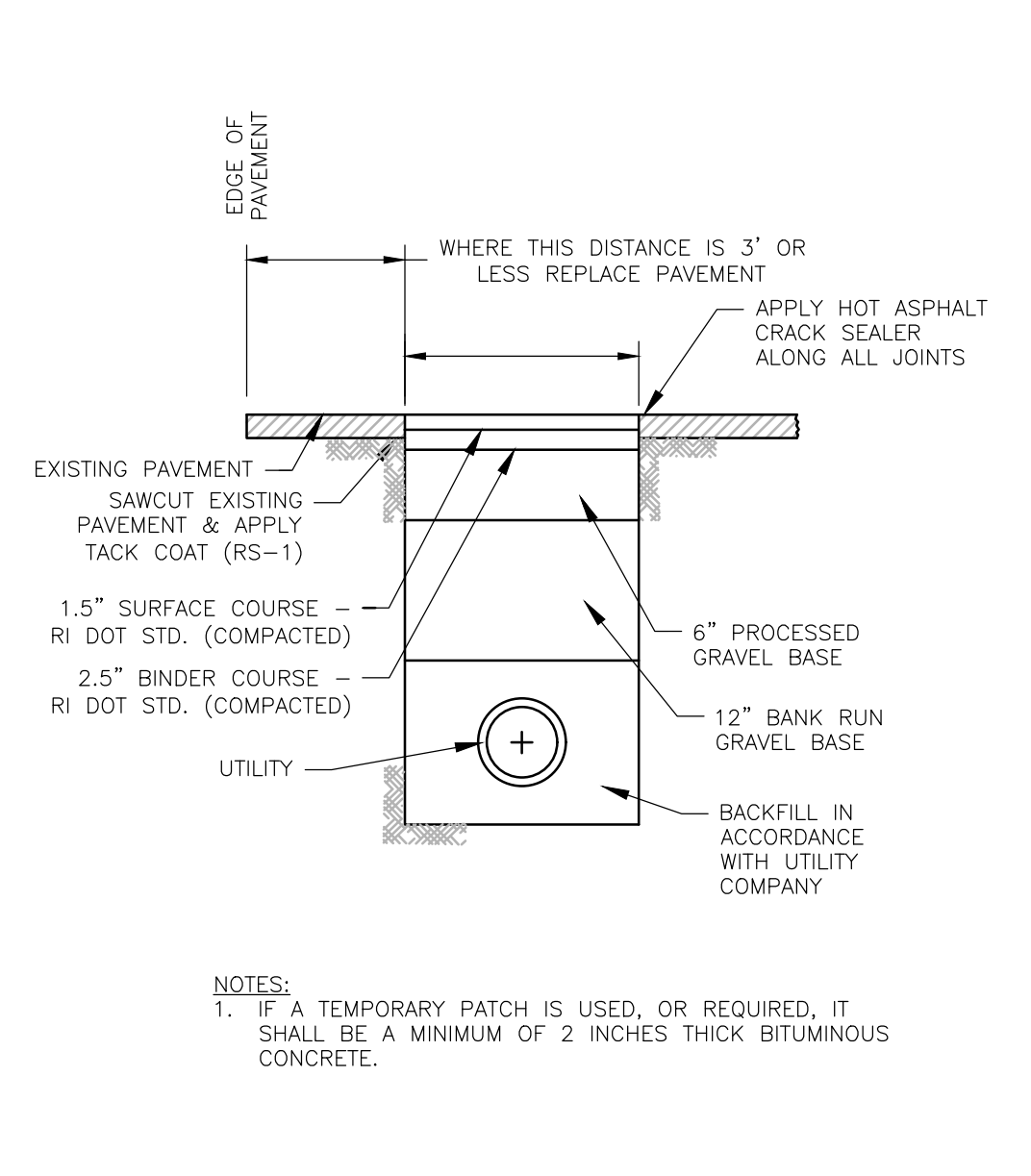
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8" x 8" x 6"	"	"	"	"	12" x 12" x 8"	"	"	"	24"
8" x 8" x 8"	"	"	"	"	12" x 12" x 12"	"	"	"	36"



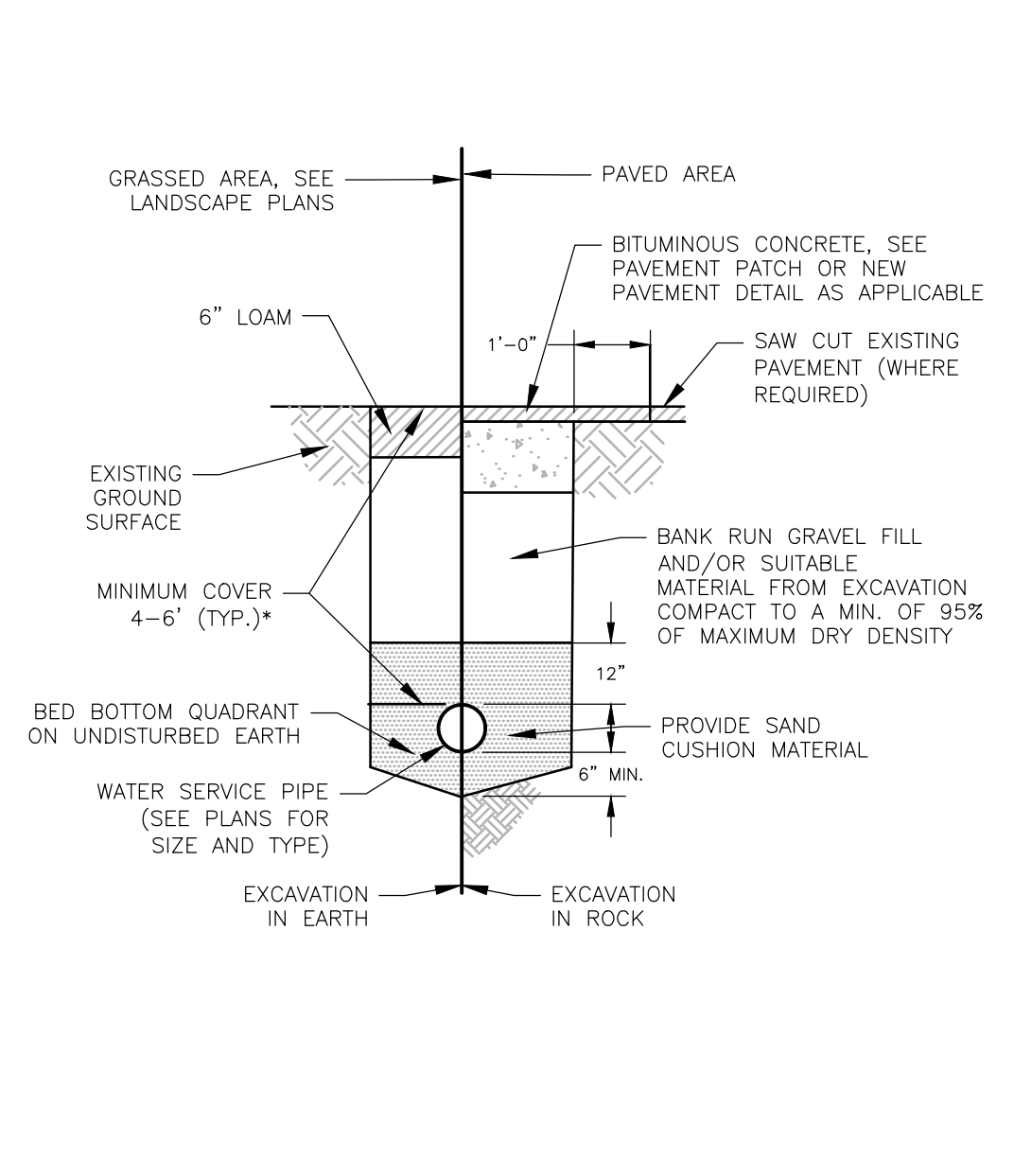
**CONCRETE THRUST BLOCK**  
 NTS CA-U-006



**SEWER MANHOLE**  
 TOWN OF STONINGTON TECHNICAL STANDARDS DATE: NOT TO SCALE REVISED: DETAIL NUMBER: S-2



**UTILITY TRENCH PATCH**  
 NTS CA-U-005



**WATER SERVICE TRENCH**  
 NTS CA-U-006

OWNER/APPLICANT:  
 FAIR HOUSING OF CONNECTICUT LLC  
 C/O GENE ARGANESE  
 53 PARKWAY DRIVE  
 TRUMBULL, CT 06611-4123  
 203-650-6288

PLAN REVISIONS

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	12/7/23	UPDATED LAYOUT	AKG	SFC
2	1/10/24	UPDATED LAYOUT & TOWN COMMENTS	AKG	SFC

SCALE: NTS  
 CA JOB # 223034  
 OCTOBER 24, 2023

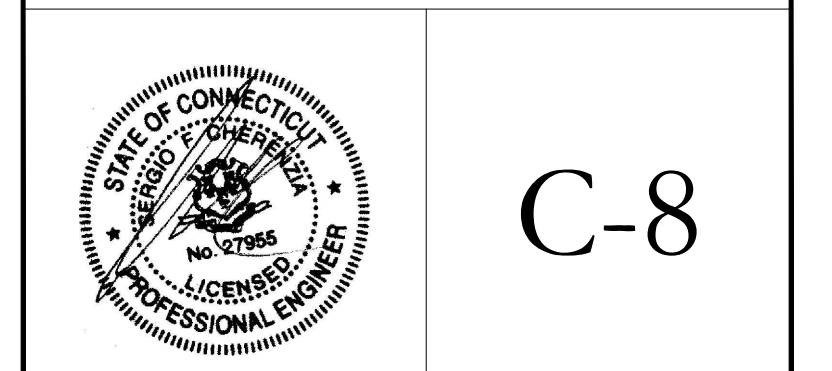
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ISSUED FOR PERMITTING

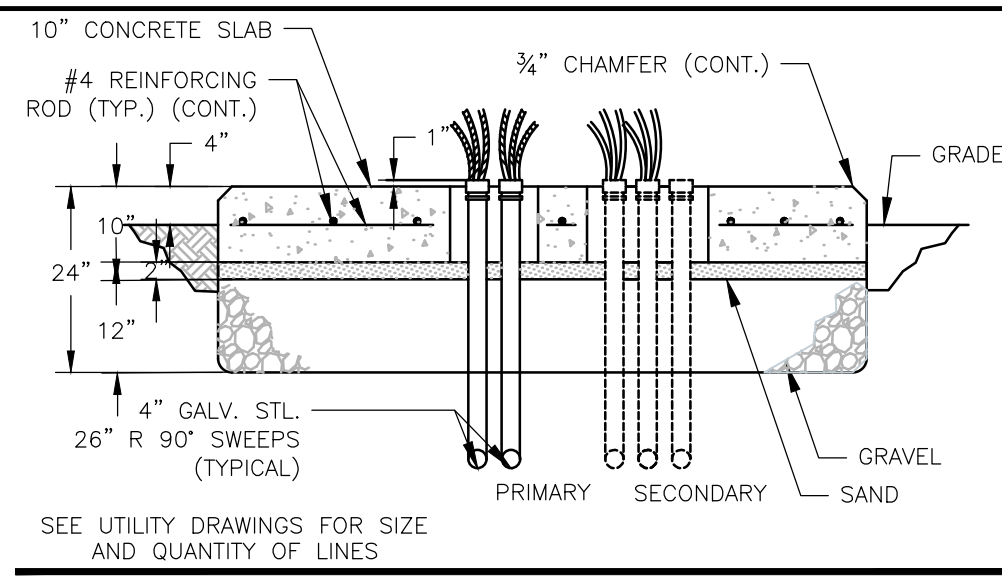
DETAILS SHEET 1

BEACHWAY ESTATES  
 RESIDENTIAL DEVELOPMENT  
 207 & 215 LIBERTY STREET  
 MAP 16 BLOCK 4 LOT 12A, 12, & 13  
 STONINGTON, CONNECTICUT

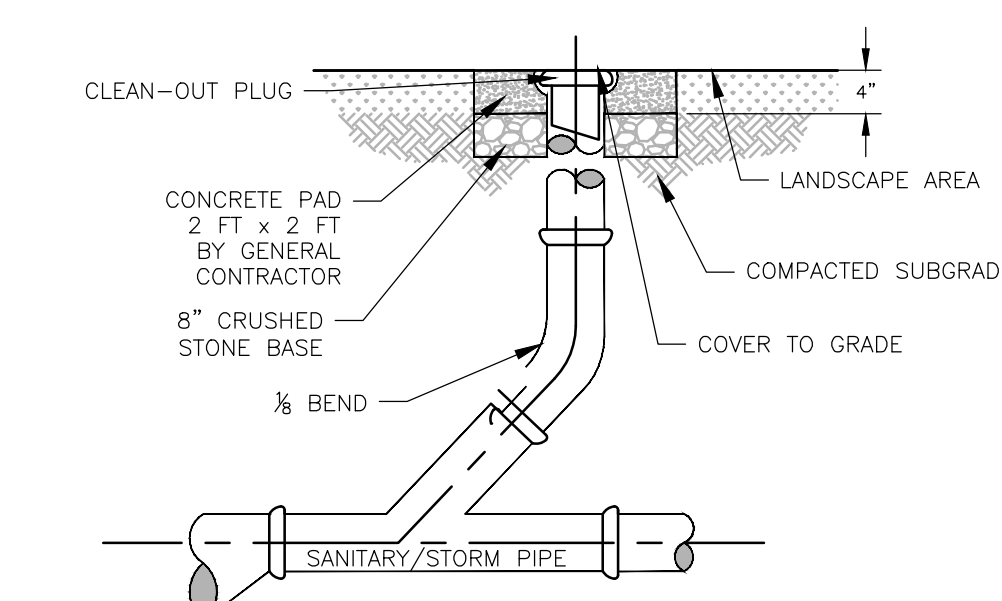
PREPARED FOR  
 GENE ARGANESE



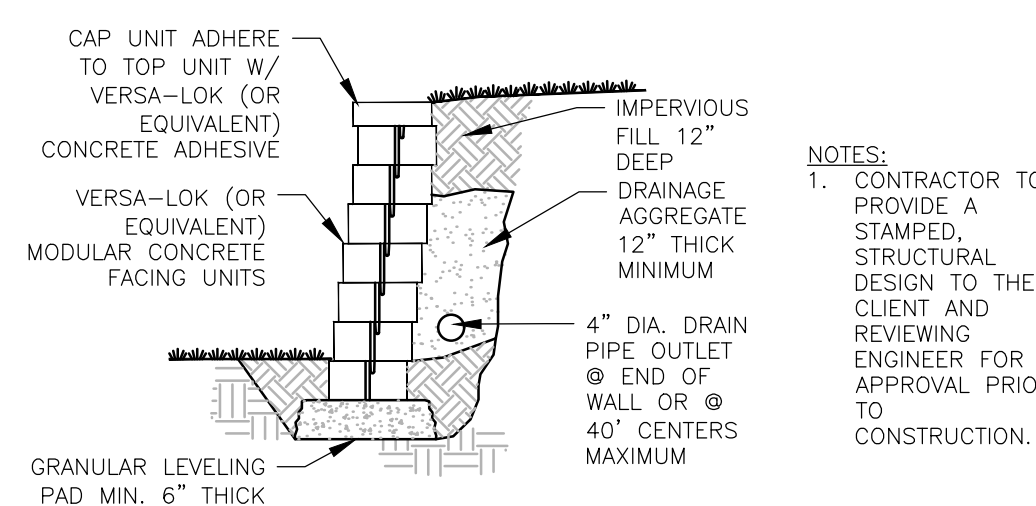




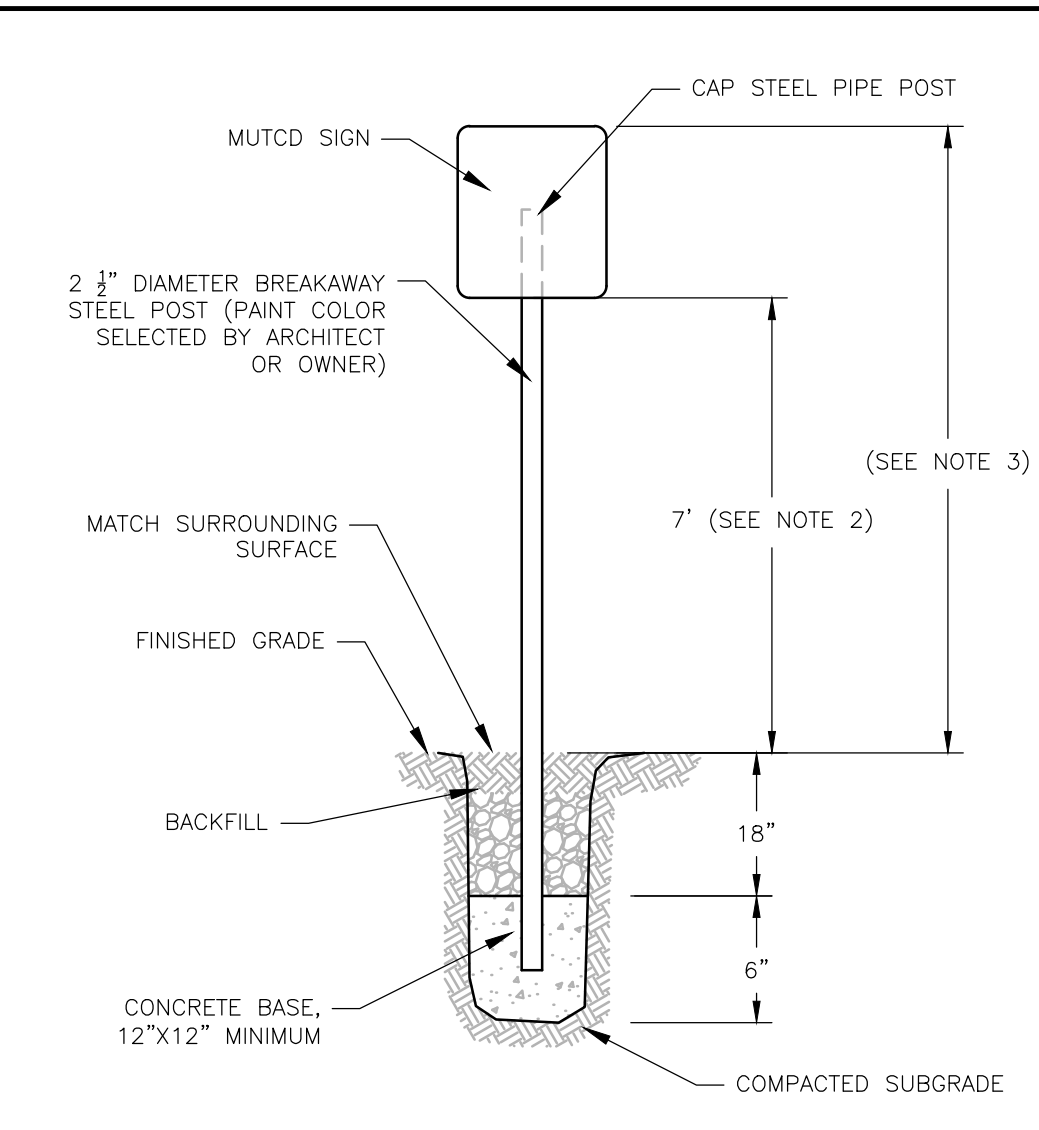
**TRANSFORMER PAD**  
NTS CA-U-009



**CLEANOUT**  
NTS CA-D-008

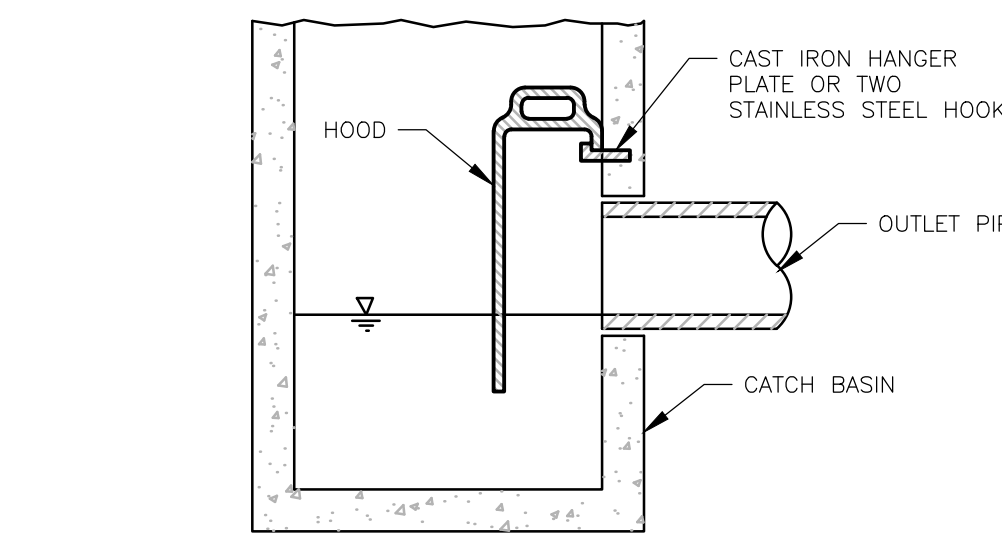


**RETAINING WALL - UNREINFORCED BY OTHERS**  
NTS CA-M-012B

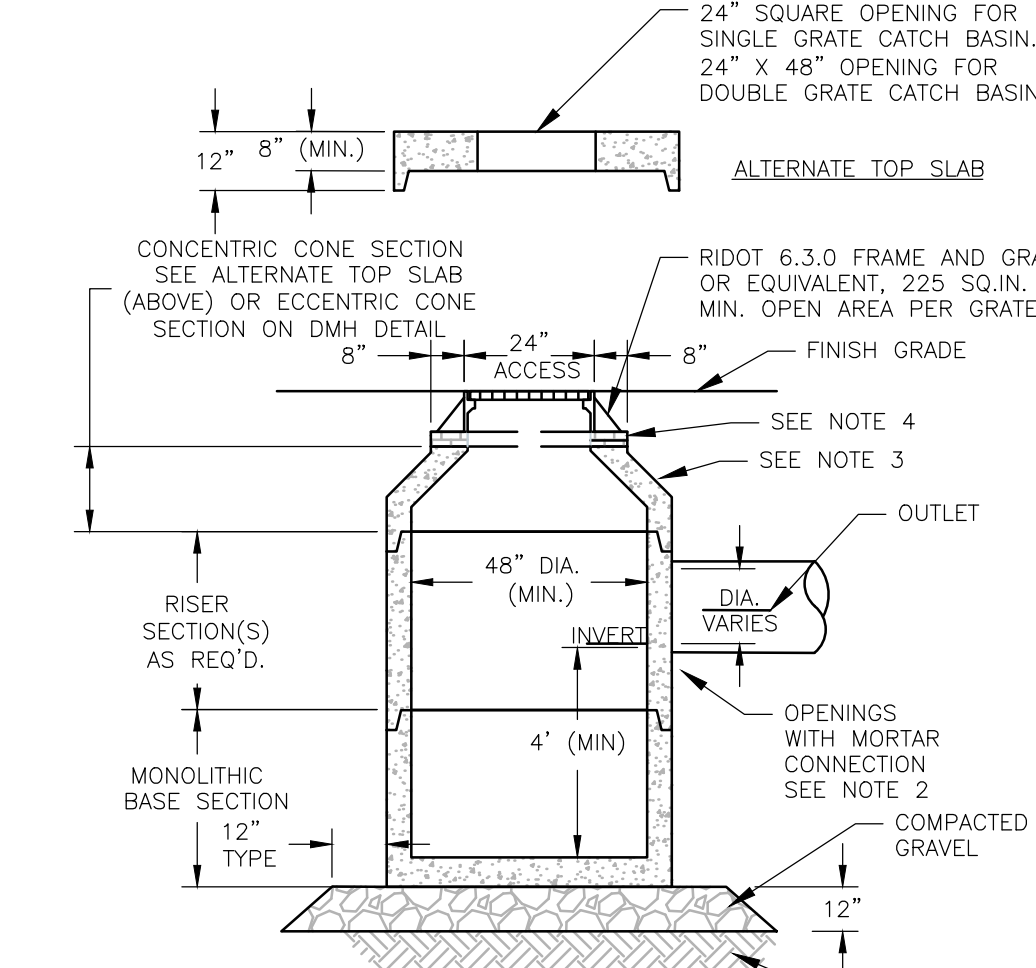


**SIGN POST**  
NTS CA-SS-001

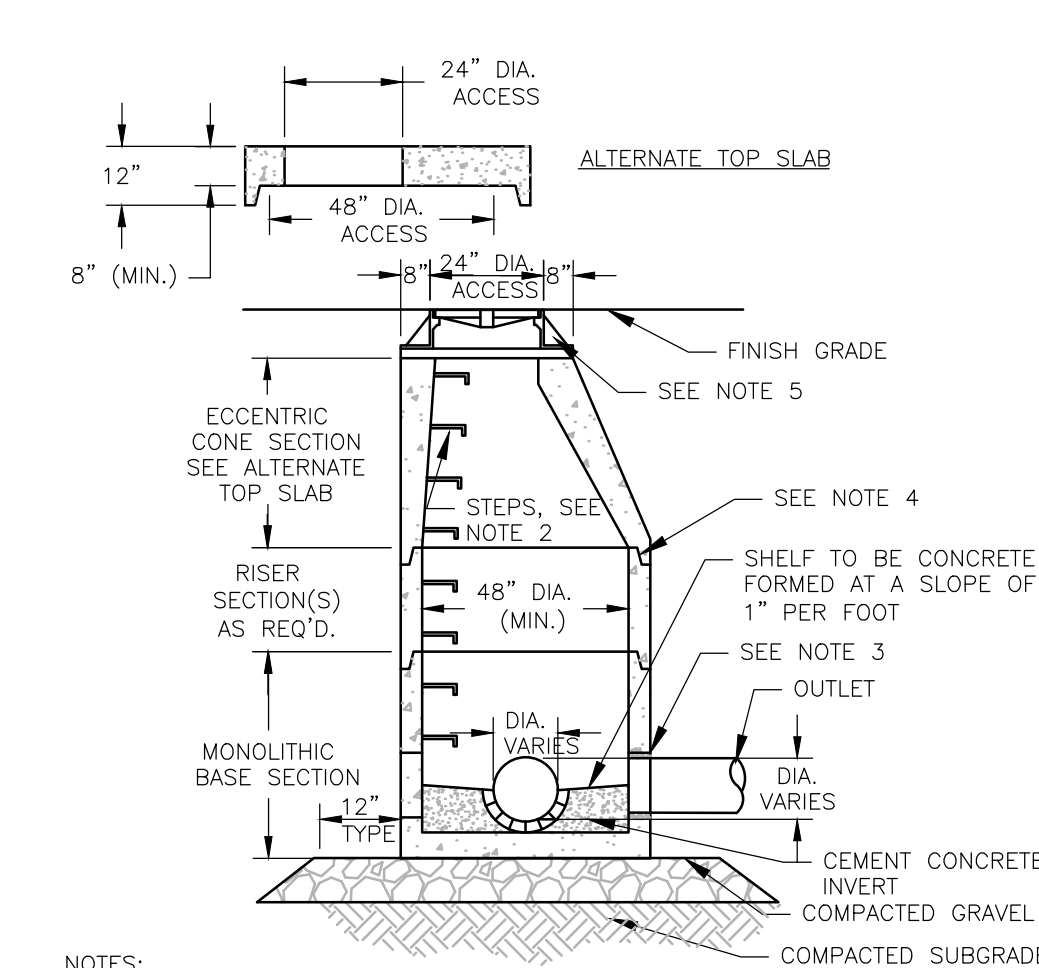
PIPE SIZE	PATTERN NUMBER *
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15"	2564
18"	2565
21"	2566
24"	2568A
30" & LARGER	CONSULT MANUF.



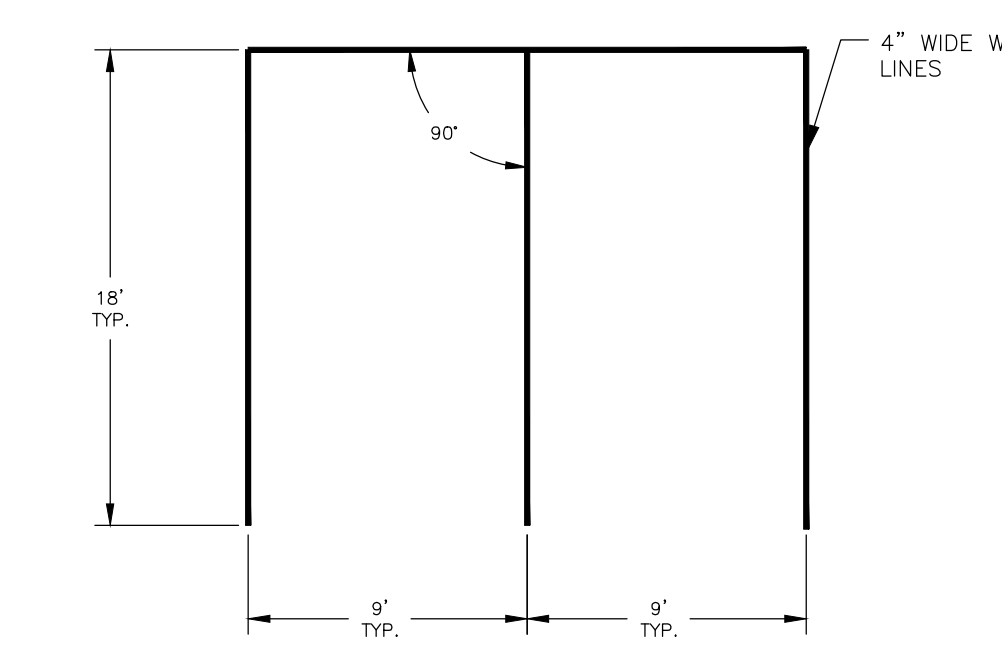
**CATCH BASIN HOOD**  
NTS CA-D-001D



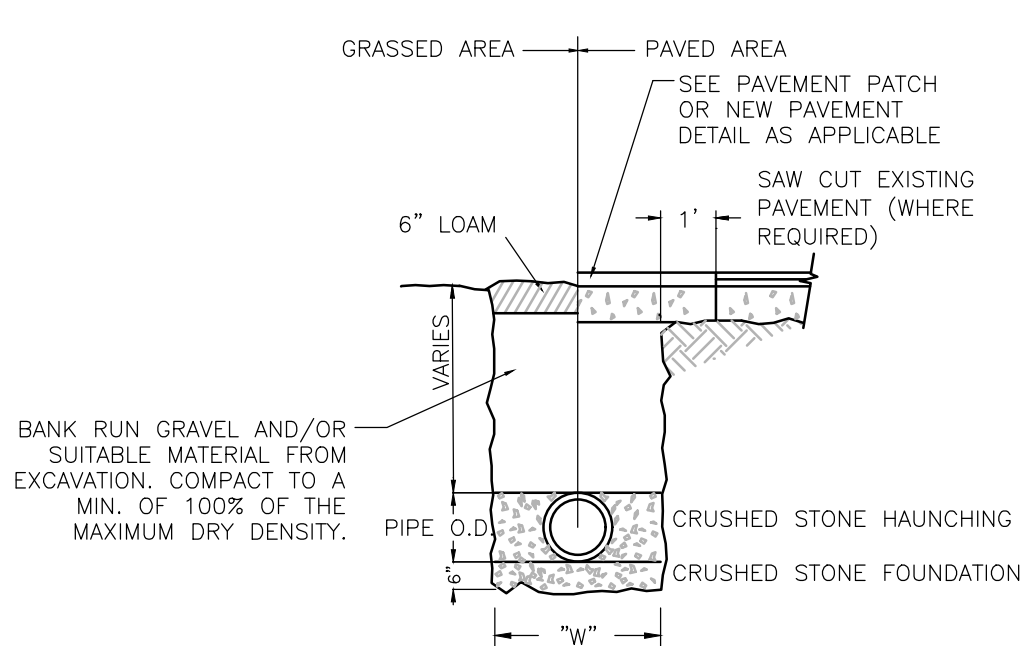
**SINGLE/DOUBLE CATCH BASIN**  
NTS CA-001A



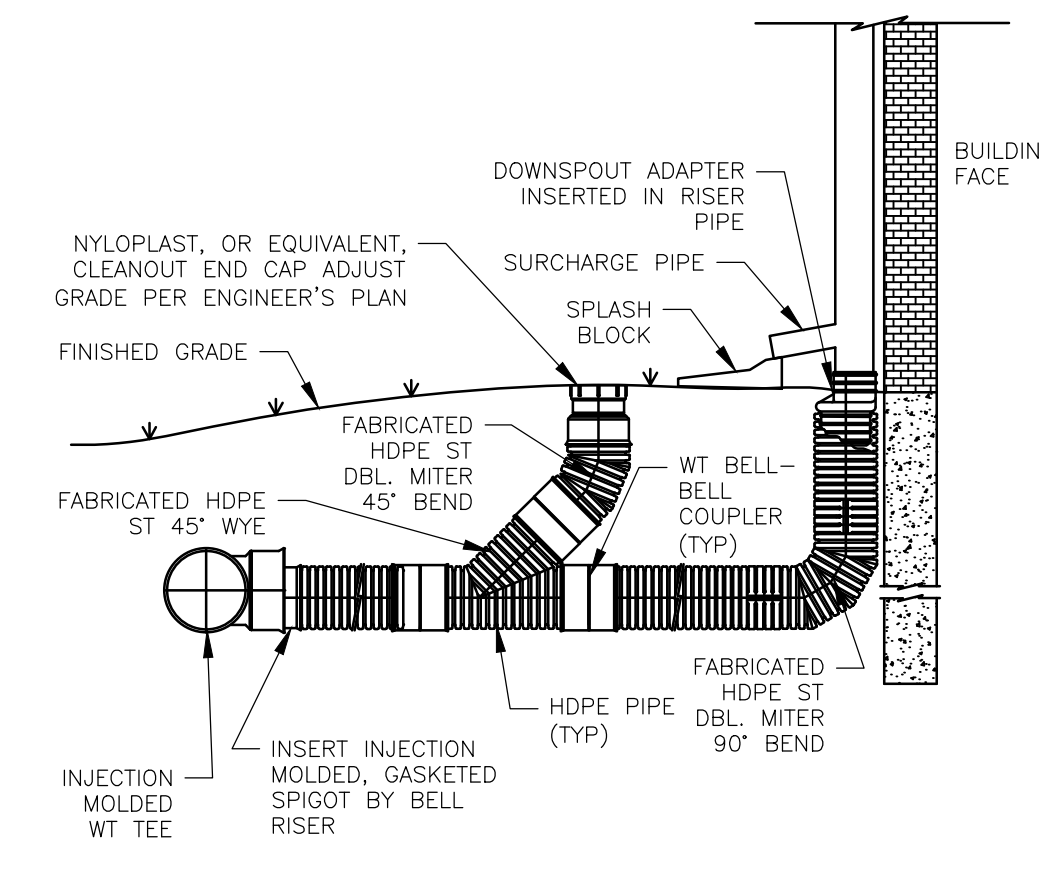
**PRECAST DRAIN MANHOLE**  
NTS CA-D-002



**PARKING SPACES**  
NTS CA-U-006



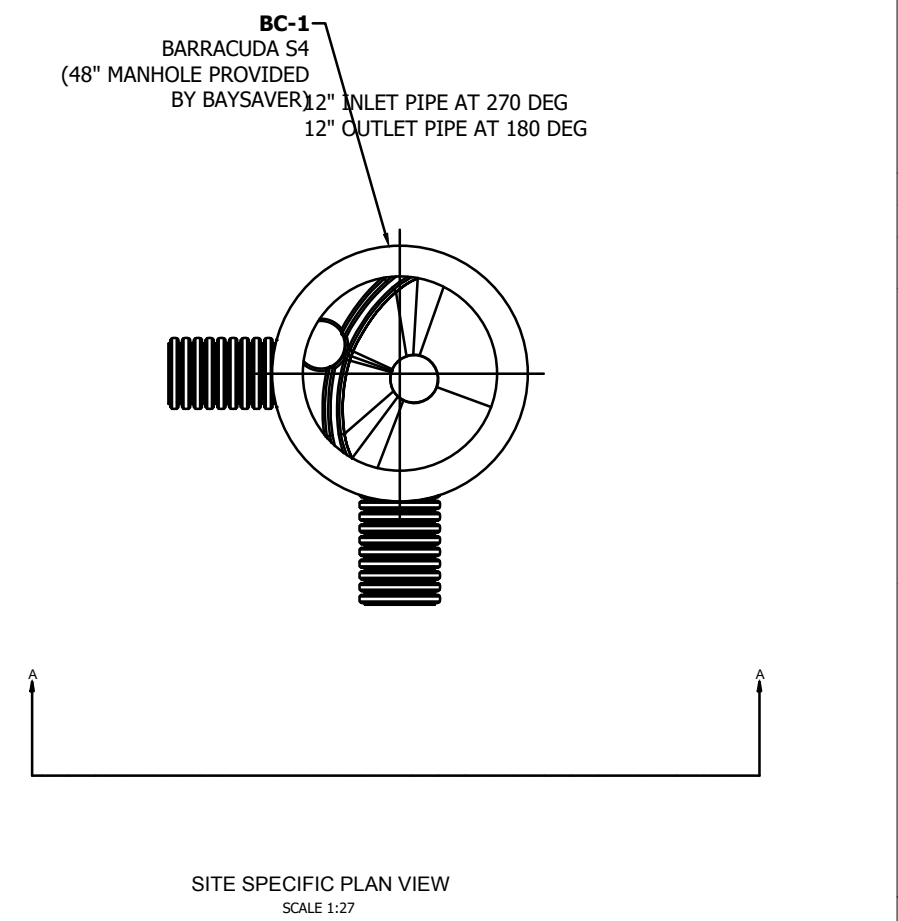
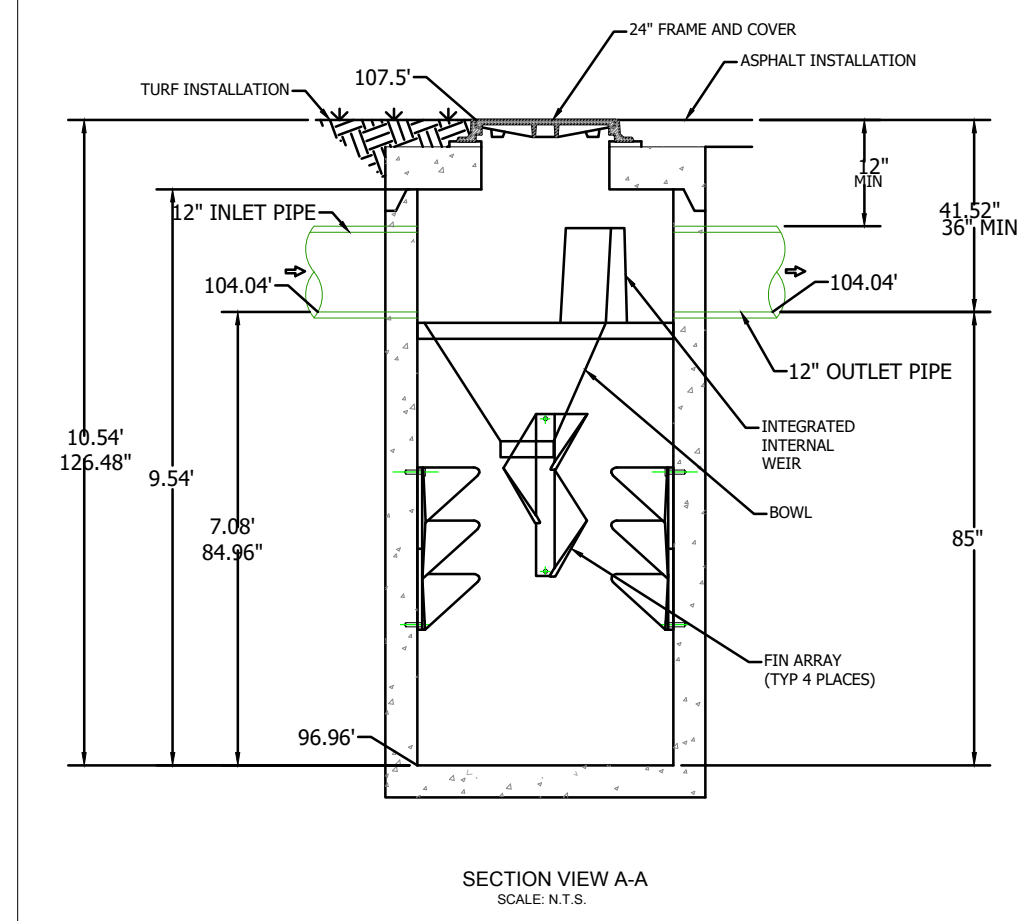
**STORM DRAIN TRENCH**  
NTS CA-U-013



**TYPICAL ROOF DRAIN CONNECTION**  
NTS CA-D-015

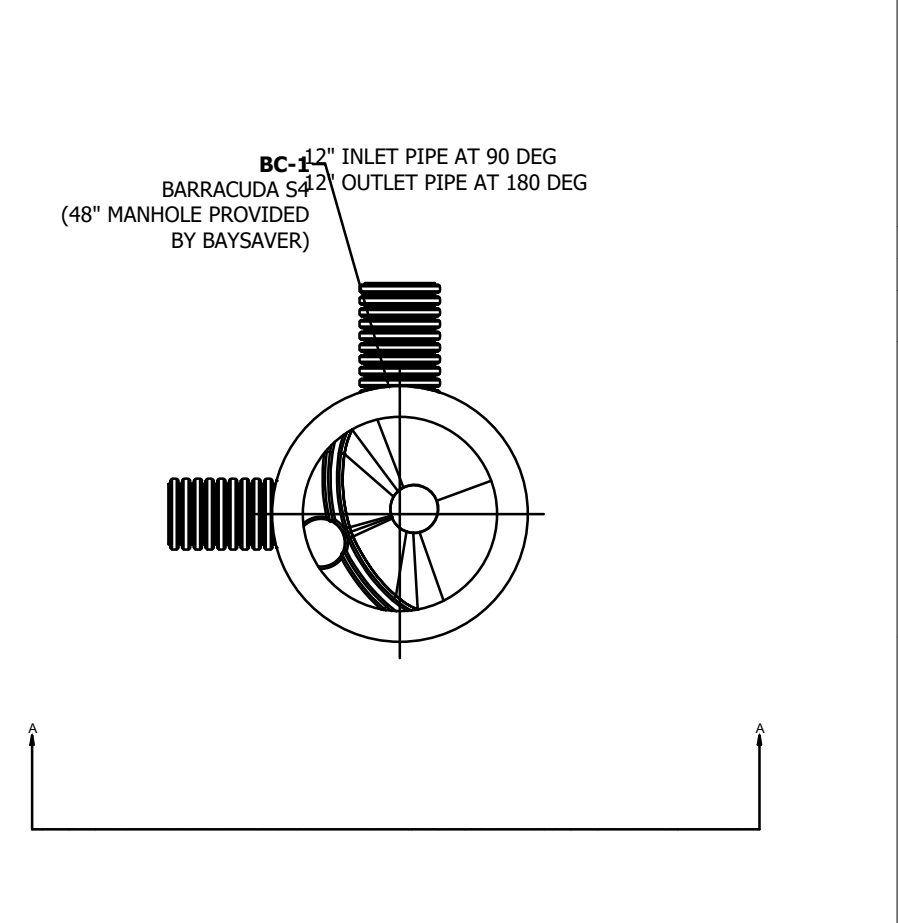
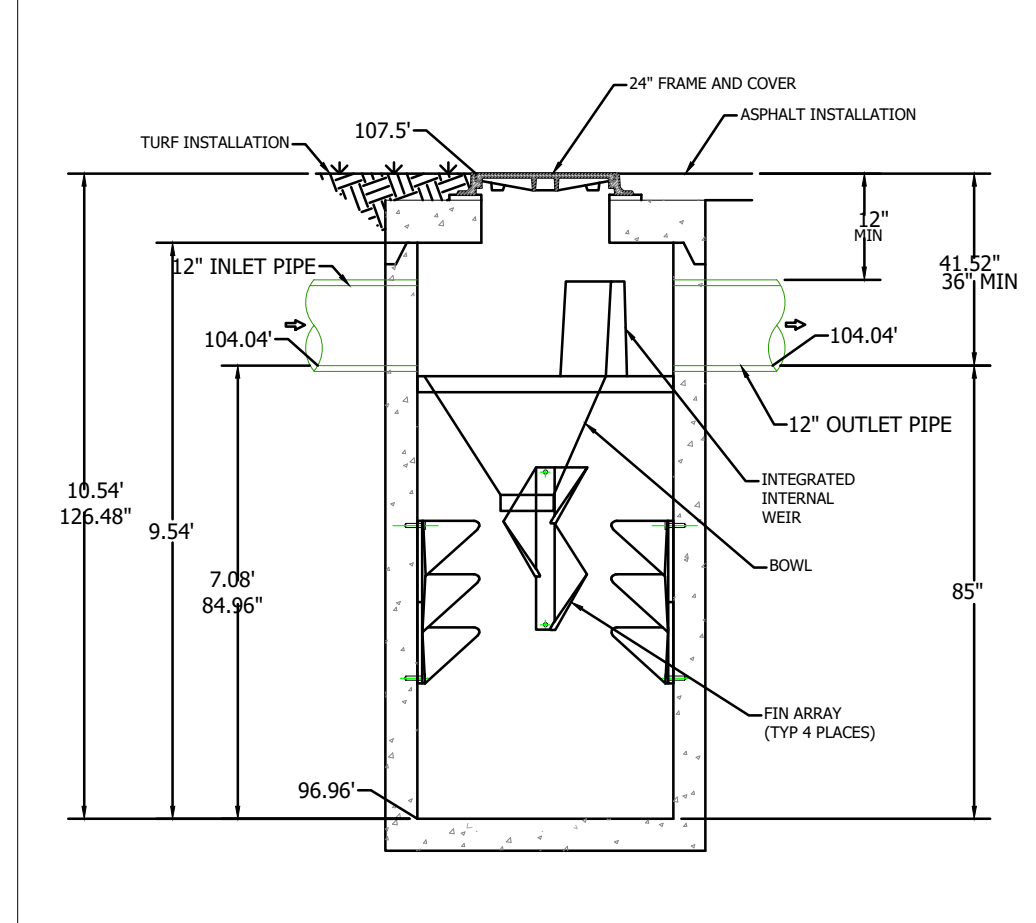
**PRODUCT SPECIFICATIONS**  
1. THE STORMWATER TREATMENT UNIT SHALL BE AN INLINE UNIT CAPABLE OF CONVEYING 100% OF THE DESIGN PEAK FLOW. IF PEAK FLOW RATES EXCEED MAXIMUM HYDRAULIC RATE, THE UNIT SHALL BE INSTALLED OFFLINE.  
2. THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 80% OF THE SUSPENDED SOLIDS ON AN ANNUAL AGGREGATE REMOVAL BASIS. SAID REMOVAL SHALL BE BASED ON FULL SCALE THIRD PARTY TESTING USING 10 TO 150 MICRON QUADRAQ OR EQUIVALENT AND 300 MG/L INFLUENT CONCENTRATION. SAID FULL SCALE TESTING SHALL HAVE INCLUDED SEDIMENT CAPTURE BASED ON ACTUAL TOTAL MASS COLLECTED BY THE STORMWATER TREATMENT UNIT.  
OR  
3. THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS USING A MEDIA MIX WITH #50-75 MICRON AND 200 MG/L INFLUENT CONCENTRATION.  
OR  
4. THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS PER CURRENT NDEP/NACT/HHS PROTOCOL.

BARRACUDA S4	
UNIT ID	S4
PEAK FLOW RATE CFS	N/A
TREATMENT FLOW RATE CFS	0.47
TREATMENT FLOW RATE PER	OK-110



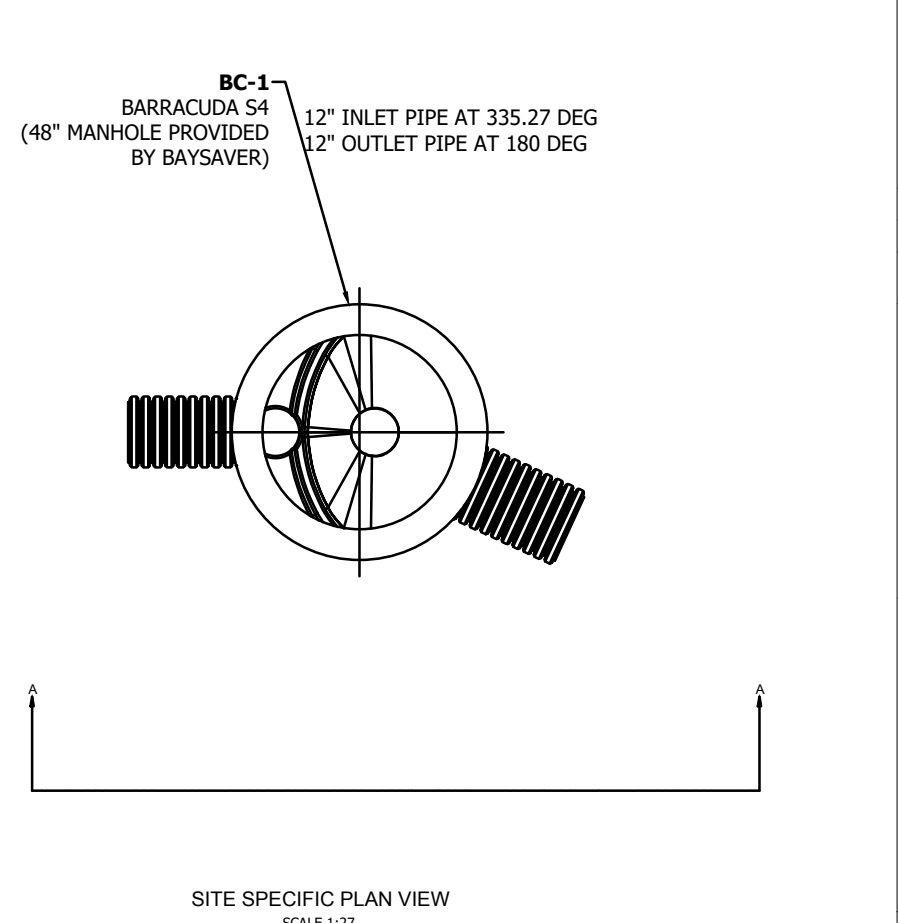
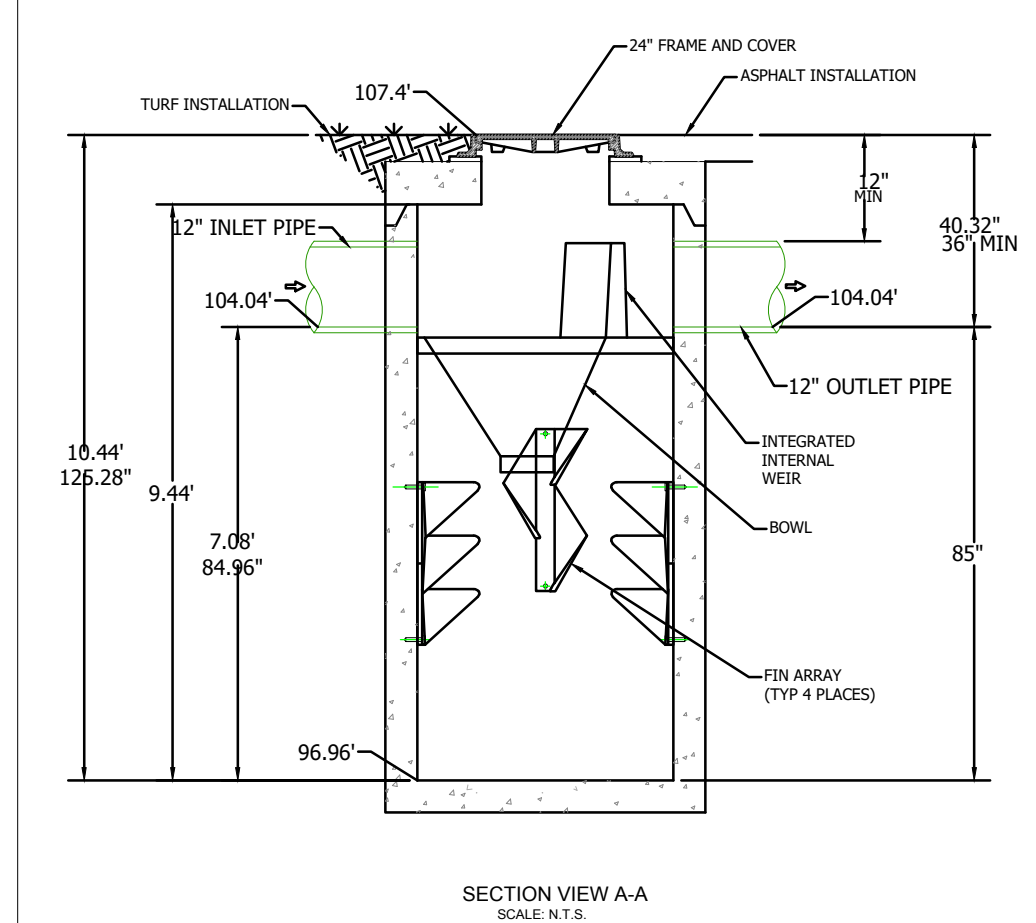
**PRODUCT SPECIFICATIONS**  
1. THE STORMWATER TREATMENT UNIT SHALL BE AN INLINE UNIT CAPABLE OF CONVEYING 100% OF THE DESIGN PEAK FLOW. IF PEAK FLOW RATES EXCEED MAXIMUM HYDRAULIC RATE, THE UNIT SHALL BE INSTALLED OFFLINE.  
2. THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 80% OF THE SUSPENDED SOLIDS ON AN ANNUAL AGGREGATE REMOVAL BASIS. SAID REMOVAL SHALL BE BASED ON FULL SCALE THIRD PARTY TESTING USING 10 TO 150 MICRON QUADRAQ OR EQUIVALENT AND 300 MG/L INFLUENT CONCENTRATION. SAID FULL SCALE TESTING SHALL HAVE INCLUDED SEDIMENT CAPTURE BASED ON ACTUAL TOTAL MASS COLLECTED BY THE STORMWATER TREATMENT UNIT.  
OR  
3. THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS USING A MEDIA MIX WITH #50-75 MICRON AND 200 MG/L INFLUENT CONCENTRATION.  
OR  
4. THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS PER CURRENT NDEP/NACT/HHS PROTOCOL.

BARRACUDA S4	
UNIT ID	S4
PEAK FLOW RATE CFS	N/A
TREATMENT FLOW RATE CFS	0.48
TREATMENT FLOW RATE PER	OK-110



**PRODUCT SPECIFICATIONS**  
1. THE STORMWATER TREATMENT UNIT SHALL BE AN INLINE UNIT CAPABLE OF CONVEYING 100% OF THE DESIGN PEAK FLOW. IF PEAK FLOW RATES EXCEED MAXIMUM HYDRAULIC RATE, THE UNIT SHALL BE INSTALLED OFFLINE.  
2. THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 80% OF THE SUSPENDED SOLIDS ON AN ANNUAL AGGREGATE REMOVAL BASIS. SAID REMOVAL SHALL BE BASED ON FULL SCALE THIRD PARTY TESTING USING 10 TO 150 MICRON QUADRAQ OR EQUIVALENT AND 300 MG/L INFLUENT CONCENTRATION. SAID FULL SCALE TESTING SHALL HAVE INCLUDED SEDIMENT CAPTURE BASED ON ACTUAL TOTAL MASS COLLECTED BY THE STORMWATER TREATMENT UNIT.  
OR  
3. THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS USING A MEDIA MIX WITH #50-75 MICRON AND 200 MG/L INFLUENT CONCENTRATION.  
OR  
4. THE BARRACUDA UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 50% OF TSS PER CURRENT NDEP/NACT/HHS PROTOCOL.

BARRACUDA S4	
UNIT ID	S4
PEAK FLOW RATE CFS	N/A
TREATMENT FLOW RATE CFS	0.46
TREATMENT FLOW RATE PER	OK-110



**CHERENZIA & ASSOCIATES, LTD.**  
Civil Engineers  
Land Surveyors  
Environmental Engineers  
www.cherenzia.com

BEACHWAY ESTATES  
STONINGTON, CT  
DATE: 10/24/2023  
PROJECT #: 223034  
SCALE: AS NOTED  
SHEET: 1 OF 1

BEACHWAY ESTATES  
STONINGTON, CT  
DATE: 10/24/2023  
PROJECT #: 223034  
SCALE: AS NOTED  
SHEET: 1 OF 1

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	12/7/23	UPDATED LAYOUT	AKG	SFC
2	1/10/24	UPDATED LAYOUT & TOWN COMMENTS	AKG	SFC

SCALE: NTS  
CA JOB # 223034  
OCTOBER 24, 2023

ISSUED FOR PERMITTING

DETAILS SHEET 2

BEACHWAY ESTATES  
RESIDENTIAL DEVELOPMENT  
207 & 215 LIBERTY STREET  
MAP 16 BLOCK 4 LOT 12A, 12, & 13  
STONINGTON, CONNECTICUT

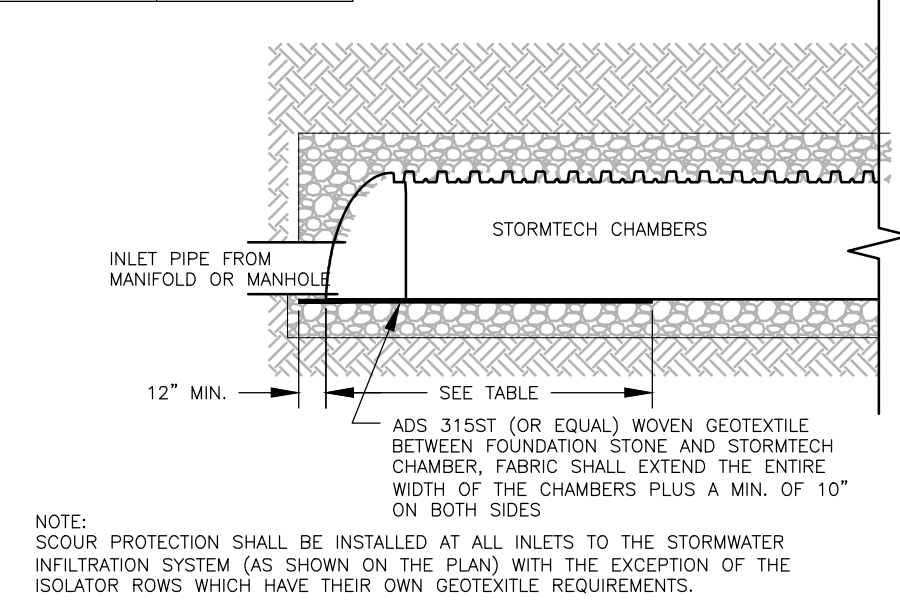
PREPARED FOR  
GENE ARGANESE

STATE OF CONNECTICUT  
GENE ARGANESE  
REGISTERED PROFESSIONAL ENGINEER  
No. 27865

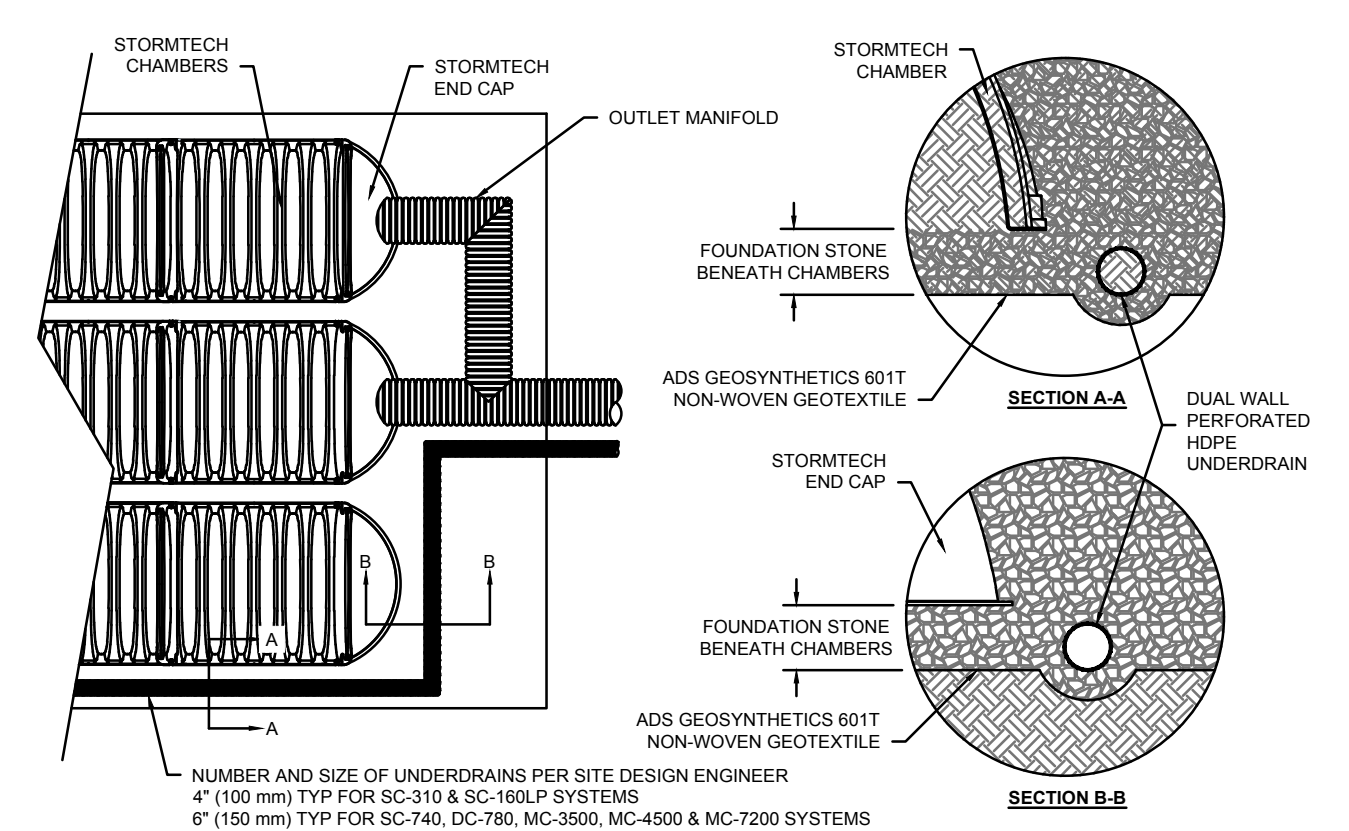
C-9



SIZE	A
SC-160LP	12.5'
SC-310	12.5'
SC-740	12.5'
MC-3500	15'
MC-4500	14.5'



NOTE: SCOUR PROTECTION SHALL BE INSTALLED AT ALL INLETS TO THE STORMWATER INFILTRATION SYSTEM (AS SHOWN ON THE PLAN) WITH THE EXCEPTION OF THE ISOLATOR ROWS WHICH HAVE THEIR OWN GEOTEXTILE REQUIREMENTS.



NUMBER AND SIZE OF UNDERDRAINS PER SITE DESIGN ENGINEER  
 4" (100 mm) TYP FOR SC-310 & SC-160LP SYSTEMS  
 6" (150 mm) TYP FOR SC-740, DC-780, MC-3500, MC-4500 & MC-7200 SYSTEMS

**STORMTECH INLET SCOUR PROTECTION**  
 NTS CA-D-013C

**UNDERDRAIN DETAIL**

**SC-740 STORMTECH CHAMBER SPECIFICATIONS**

- CHAMBERS SHALL BE STORMTECH SC-740.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNSTRUCTURED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER; 2) MAXIMUM PERMANENT (75 YR) COVER LOAD; AND 3) ALLOWABLE COVER WITH PARKED (1 WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 550 LB/FT<sup>2</sup>. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 22° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
  - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
  - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.35 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
  - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
  - CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

**IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-740 SYSTEM**

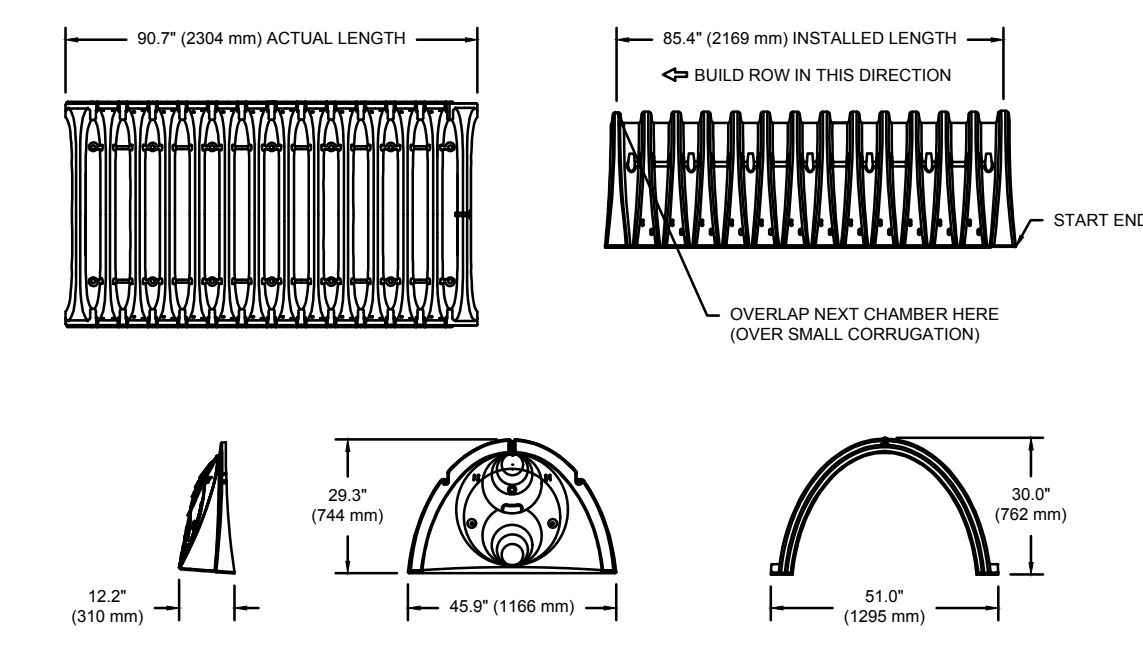
- STORMTECH SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
  - STONESHOOTER LOCATED OFF THE CHAMBER BED.
  - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
  - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO LACING STONE.
- MAINTAIN MINIMUM 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE CLEAN, CRUSHED, ANGULAR STONE 3/4" (20.5 mm).
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXISTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

**NOTES FOR CONSTRUCTION EQUIPMENT**

- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- THE USE OF CONSTRUCTION EQUIPMENT OVER SC-740 CHAMBERS IS LIMITED:
  - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
  - NO RUBBER TIRED LOADERS, DUMP TRUCKS OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
  - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



**NOMINAL CHAMBER SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	45.9 CUBIC FEET (1,300 m <sup>3</sup> )	1296 mm X 762 mm X 2169 mm
MINIMUM INSTALLED STORAGE*	74.9 CUBIC FEET (2,120 m <sup>3</sup> )	75.9 cu ft (2,136 m <sup>3</sup> )

\*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

PRE-FAB STUB AT BOTTOM OF END CAP WITH FLAMP END WITH "BR"  
 PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"  
 PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"  
 PRE-CORED END CAPS END WITH "PC"

PART #	STUB	A	B	C
SC740PE001 / SC740PE101PC	6" (150 mm)	10.9" (277 mm)	18.9" (476 mm)	—
SC740PE008 / SC740PE08PC	6" (150 mm)	12.2" (310 mm)	16.5" (419 mm)	0.5" (13 mm)
SC740PE087 / SC740PE087PC	6" (150 mm)	12.2" (310 mm)	16.5" (419 mm)	—
SC740PE088 / SC740PE088PC	6" (150 mm)	12.2" (310 mm)	16.5" (419 mm)	0.6" (15 mm)
SC740PE107 / SC740PE107PC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	—
SC740PE108 / SC740PE108PC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	0.7" (18 mm)
SC740PE127 / SC740PE127PC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	1.2" (30 mm)
SC740PE128 / SC740PE128PC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	—
SC740PE157 / SC740PE157PC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	1.3" (33 mm)
SC740PE158 / SC740PE158PC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	—
SC740PE187 / SC740PE187PC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	1.6" (41 mm)
SC740PE188 / SC740PE188PC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	—
SC740PE248*	24" (600 mm)	18.5" (470 mm)	—	0.1" (3 mm)
SC740PE249*	24" (600 mm)	18.5" (470 mm)	—	0.1" (3 mm)

ALL STUBS, EXCEPT FOR THE SC740PE248/SC740PE249 ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

\* FOR THE SC740PE248/SC740PE249 THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

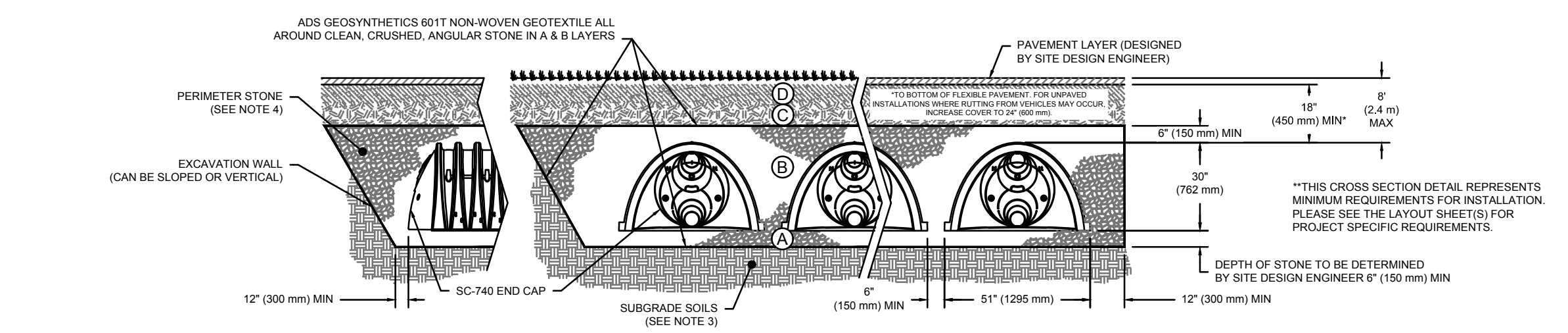
NOTE: ALL DIMENSIONS ARE NOMINAL

**SC-740 NOTES** 1 **SC-740 TECHNICAL SPECIFICATIONS**

**ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED SURFACE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS OR PER ENGINEER'S PLANS. COMPACTION FOR PAVEMENT SUBGRADE REQUIREMENTS	N/A
C	INITIAL FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <5% FINES OR PROCESSED AGGREGATE. OR AASHTO M45* 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL. OVER THE CHAMBERS IS REACHED, COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL-GRADED MATERIAL AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS WEIGHT NOT TO EXCEED 12,000 lbs (55 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (90 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE AASHTO M45* 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE AASHTO M45* 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. <sup>1,2</sup>

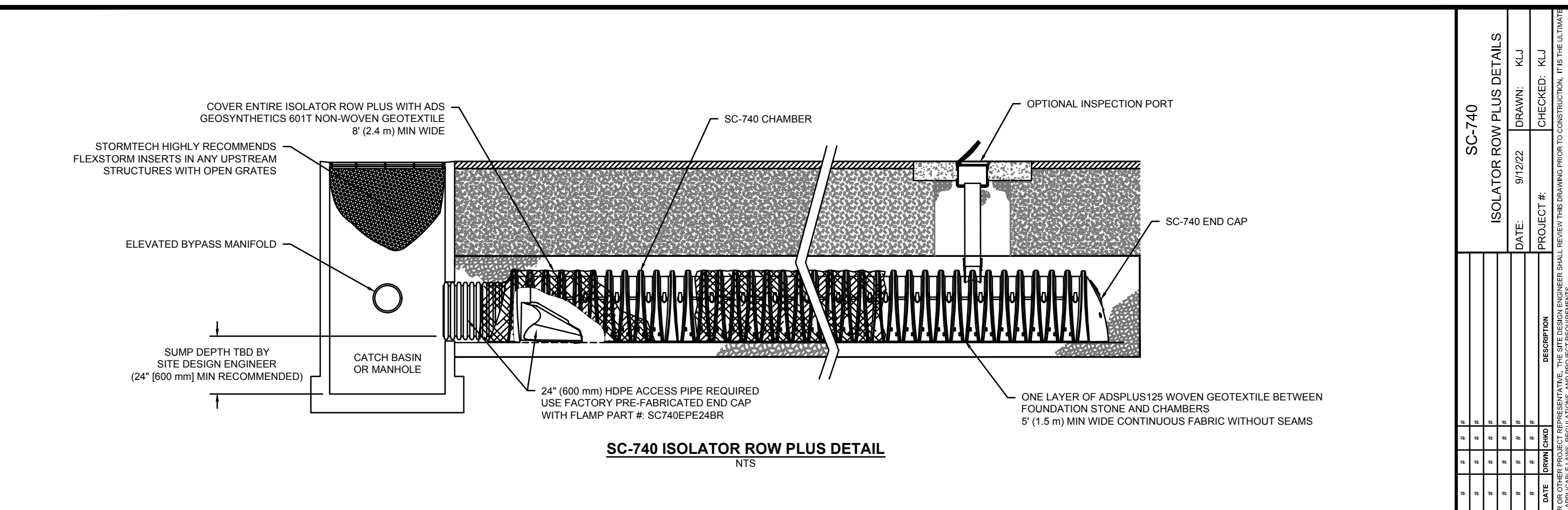
- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M45) STONE".
  - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FOOT COVERS WITH A VIBRATORY COMPACTOR.
  - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING UNDER COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
  - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



**NOTES:**

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LB/FT<sup>2</sup>. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 22° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

**SC-740 CROSS SECTION DETAIL**



**INSPECTION & MAINTENANCE**

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
    - REMOVE/OPEN LID ON NYLON/PLASTIC INLINE DRAIN
    - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
    - USING A FLASHLIGHT AND STADA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
    - LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
    - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2; IF NOT, PROCEED TO STEP 3.
  - ALL ISOLATOR PLUS ROWS
    - REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
    - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
    - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAR
    - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
  - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAR
  - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

**NOTES**

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

NOTE: INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION CREST.



DATE: PROJECT NO: NOT TO SCALE  
 DRAWN: REVIEWED: REV:

**SC-740 STANDARD DETAILS**

StormTech Chamber System

4640 TRUENAN BLVD HILLIARD, OH 43026

ADS SiteAssist for StormTech

SHEET

NOTE: 1. STORMWATER SYSTEM SHALL BE LINED WITH AN IMPERVIOUS LINER WHERE INDICATED ON THE PLAN.

OWNER/APPLICANT:  
 FAIR HOUSING OF CONNECTICUT LLC  
 C/O GENE ARGANESE  
 53 PARKWAY DRIVE  
 TRUMBULL, CT 06611-4123  
 203-650-6288

**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	12/7/23	UPDATED LAYOUT	AKG	SFC
2	1/10/24	UPDATED LAYOUT & TOWN COMMENTS	AKG	SFC

SCALE: NTS  
 CA JOB # 223034  
 OCTOBER 24, 2023

ISSUED FOR PERMITTING

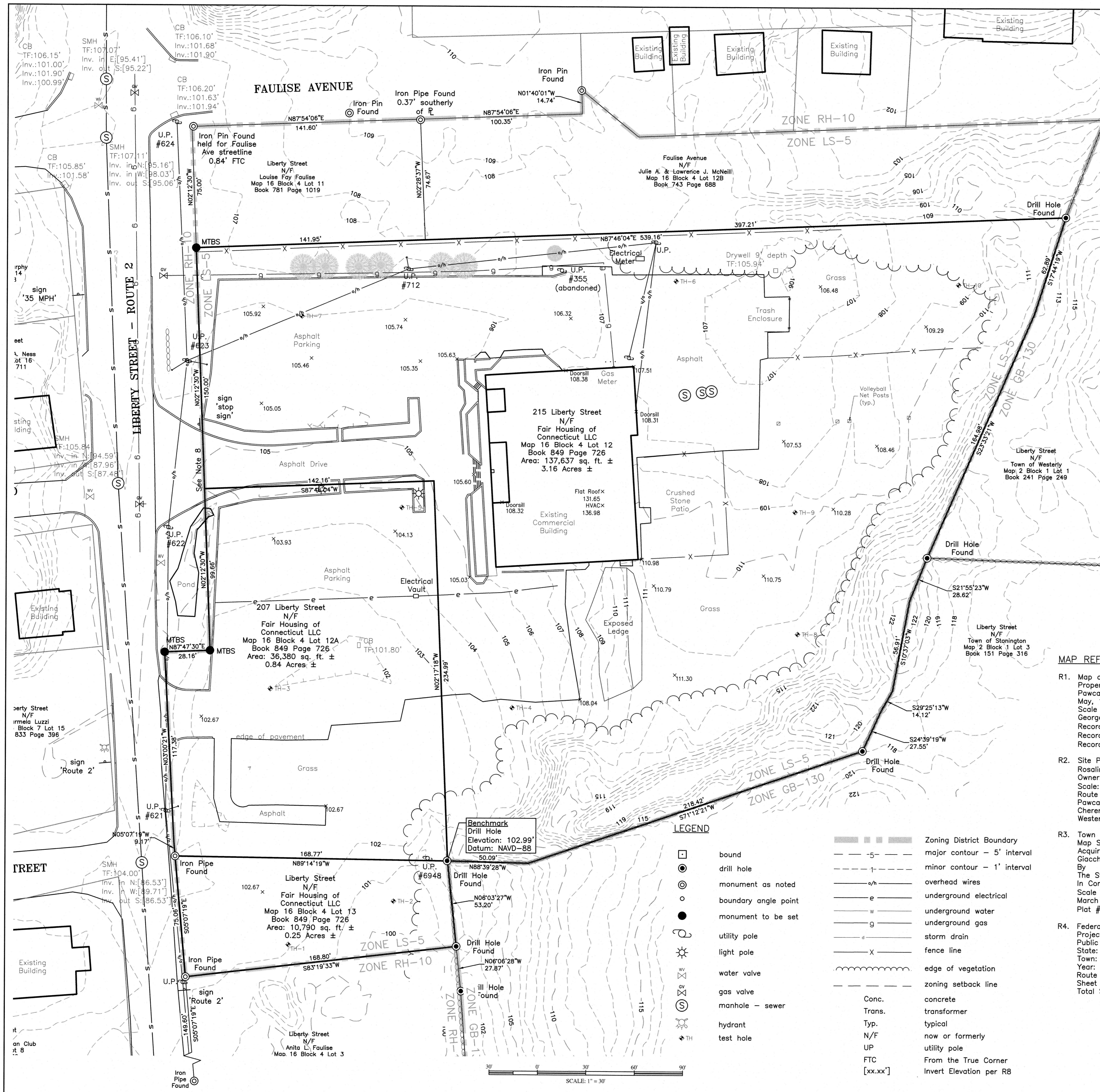
DETAILS SHEET 4

BEACHWAY ESTATES  
 RESIDENTIAL DEVELOPMENT  
 207 & 215 LIBERTY STREET  
 MAP 16 BLOCK 4 LOT 12A, 12, & 13  
 STONINGTON, CONNECTICUT

PREPARED FOR  
 GENE ARGANESE



C-11



**DISTRICT DIMENSIONAL REGULATIONS**

District	LS-5
Use	Residential
Min. Lot Size	5,000 sq. ft.
Min. Lot Frontage	50 feet
Floor Area Ratio	0.50
Max. Hgt. Prin. Bldg.	40 Feet
Min. Front Yard Depth	10 feet
Min. Side Yard Depth	0/5 feet *
Min. Rear Yard Depth	10% of Depth of Lot

\* One side may be zero feet with a total side yard of 5 feet

**NOTES**

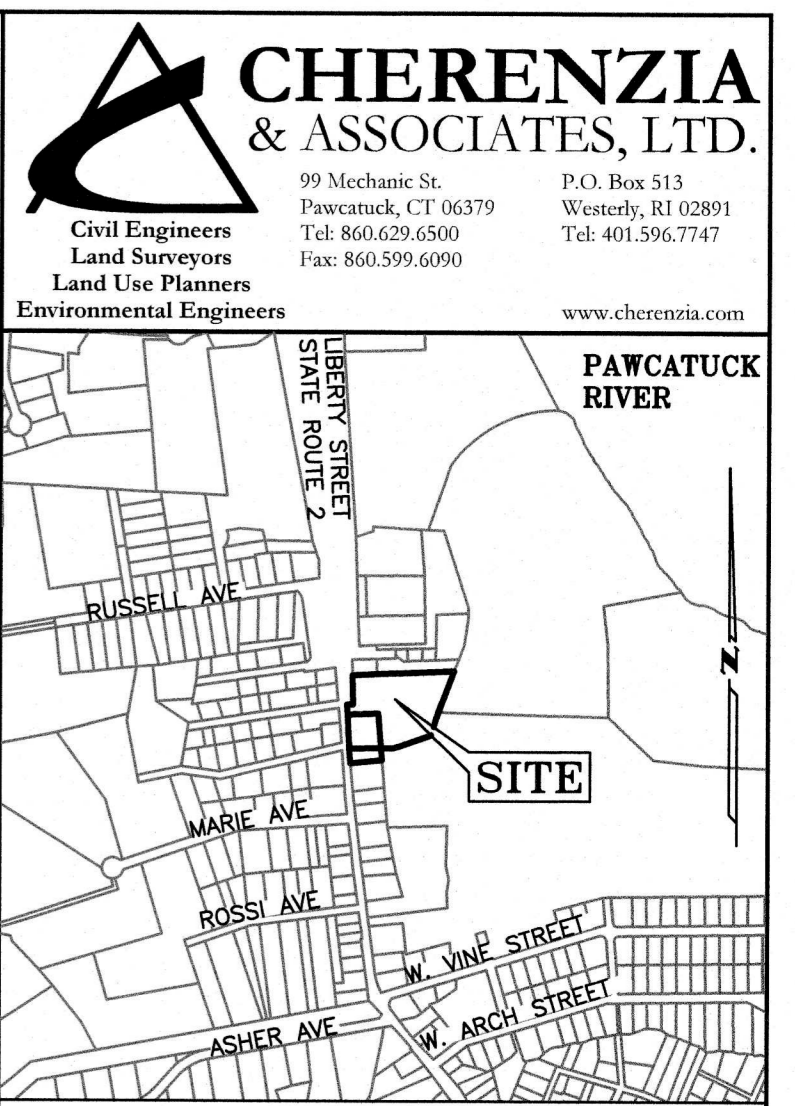
- This plan has been prepared pursuant to the regulations of Connecticut State Agencies, Sections 20-300b-1 through 20-300b-20, as revised.
  - Type of Survey: Property/Boundary & Improvement Survey
  - Boundary Determination: Resurvey based on R2
  - Measurement Class of Survey: A-2
  - Topographic Class of Survey: T-2
- North Arrow and Bearings are based the Connecticut State Plane Coordinate System.
- Elevations are referenced to the NAVD-88 Vertical Datum.
- The subject parcels are situated entirely within FEMA Flood Hazard Zone Unshaded X, area of minimal flood hazard. Reference is made to Flood Hazard panel 09011C0413H, effective April 3, 2020.
- Limits of Field Topography shown hereon represent information gathered from a field survey conducted by Cherenzia & Associates, LTD on November 28 and December 21, 2022. Wooded areas and adjacent parcel contour data is based on 2016 statewide LIDAR data.
- Underground utilities have been located using the best available evidence, including surface features and the herein noted plans. Cherenzia & Associates does not warrant the accuracy of these depictions.
- This parcel is situated in the Town of Stonington Zoning District LS-5 and is subject to the restrictions thereof.
- Right of Way established per State Plane Coordinates listed on R4.

**MAP REFERENCES**

- Map of Oak Hill Gardens Property of A.P. Dupuis Pawcatuck, Stonington, Connecticut May, 1923 Scale 100 feet to the inch George W. Woodward, Surveyor Recorded 11/16/1922 Plat# 347 Recorded 5/15/1923 Plat# 349 Recorded 7/21/1923 Plat# 348
- Site Plan Rosalini's Inc. Owner: Giacchino A. Faulise Scale: 1"=30' June, 1982 Route 2 Liberty Street Pawcatuck, Stonington, CT Cherenzia & Associates LTD Westerly, RI
- Town of Stonington Map Showing Land Acquired From Giacchino Anthony Faulise By The State of Connecticut In Connection with Route 78 Scale 1" = 40' March 1970 Plat #230
- Federal Aid Project No.: F-162(1) Project No.: 137-86 Public Road Division No.: 1 State: Conn. Town: Stonington Year: 1972 Route No.: 78 Sheet No.: 29 Total Sheets: 131
- Highway Plat# 990 Connecticut State Highway Department Right of Way Map Town of Stonington Norwich - Westerly Road From Blanchard's Corner Southerly To Pawcatuck Fire District Line Route No. 17 Scale 1" = 40' Sheet No. 2 of 3 Date: 1930
- Lot Plan Joseph A. Faulise Liberty Street Route 2 Stonington, Conn. Scale: 1"=20' April 1976 DiCesare - Bentley - Welling Engineers Groton - Norwich, Connecticut
- Subdivision of Property of Vincent J. Faulise Stonington, Connecticut Scale: 1"=20' April 1976 DiCesare - Bentley - Welling Engineers Groton - Norwich, Connecticut
- Route 2/Liberty St. As-Built Sewer Liberty St. Section-Pawcatuck Sewers Plan & Profile - STA 100+00 to 109+32 Date: May 1991 Sheet No. 4 of 29 Cummings & Lafayette, P.C.

**LEGEND**

□	bound	--- 5' ---	major contour - 5' interval
○	drill hole	--- 1' ---	minor contour - 1' interval
⊙	monument as noted	—h—	overhead wires
○	boundary angle point	—e—	underground electrical
●	monument to be set	—w—	underground water
○	utility pole	—g—	underground gas
☼	light pole	—d—	storm drain
⊕	water valve	—x—	fence line
⊕	gas valve	—wavy—	edge of vegetation
⊕	manhole - sewer	---	zoning setback line
⊕	hydrant	Conc.	concrete
⊕	test hole	Trans.	transformer
		Typ.	typical
		N/F	now or formerly
		UP	utility pole
		FTC	From the True Corner
		[xx.xx]	Invert Elevation per BR



**LOCATION MAP**

**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	10/2/2023	REVISE BOUNDARY ANNOTATION	TWC	MAC

SCALE: 1" = 30'  
CA JOB # 223034  
SEPTEMBER 6, 2023

DRAWN BY: TWC  
CHECK BY: MAC

**PROPERTY/BOUNDARY & TOPOGRAPHIC SURVEY**

**EXISTING CONDITIONS**

**207 & 215 LIBERTY STREET  
MAP 16 BLOCK 4 LOT 12A, 12 & 13  
STONINGTON, CONNECTICUT**

PREPARED FOR  
**GENE ARGANESE**

**CERTIFICATION**  
To the best of my knowledge and belief this map is substantially

*MAC*  
Mark A. Castellanos, P.L.S. #70459  
10/15/2023  
Date

**SV-1**

Sheet 1 of 1