

Meeting Summary Report

MAY 21, 2024 | REGULAR MEETING

Town of Stonington
Planning and Zoning Commission



Town of Stonington Planning and Zoning Commission

AGENDA
REGULAR MEETING
TUESDAY, MAY 21, 2024 – 7:00 PM
STONINGTON BOARD OF EDUCATION DISTRICT OFFICE
40 FIELD STREET, PAWCATUCK, CT 06379

COMMISSIONERS

Charles Sheehan
Chairman

Ryan Deasy
Vice Chairman

Lynn Conway
Secretary

Gary Belke
Member

Vacant
Member

Bennett Brissette
Alternate

Ben Philbrick
Alternate

MaryEllen Mateleska
Alternate

Agenda items are on file for public review at the Town of Stonington Department of Planning:

152 Elm Street
Stonington, CT 06378
P: 860.535.5095
E: dop@stonington-ct.gov

Stonington Board of Education District Office is wheelchair accessible. If you plan to attend this public meeting and you have a disability which requires special arrangements, please call 860.535.5095 at least 24 hours in advance of the meeting date. Reasonable accommodations will be made to assist your needs.

1. Call To Order – 7:00 PM
2. Appoint Alternates:
 - a. MaryEllen Mateleska (Seated 11/21/2023)
 - b. Ben Philbrick (Seated 9/5/23)
 - c. Bennett Brissette (Seated 10/3/23)
3. Minutes:
 - a. #1757 – May 7, 2024
4. Public Comment:
5. Correspondence:
6. Reports:
 - a. Staff
 - b. Commission
 - c. Zoning Enforcement and Violations
 1. Zoning Enforcement Officer Report – March 2024
 2. Zoning Enforcement Officer Report – April 2024
 - d. Administrative Review
7. Old Business:
 - a. **PZ2408SPA 29 West Broad Street, LLC (J. Lathrop)** – Site Plan Application to convert 1,200 SF of existing commercial space into two (2) 600 SF apartments. Property is located at 29 West Broad Street, Pawcatuck; M/B/L: 1-4-7. Property is located in the PV-5 Zone.
8. Public Hearings:
 - a. **PZ2402SPA+CAM St. Edmund of Connecticut, Inc. (R. Avena, Esq.)** – Site Plan Application and Coastal Area Management review for the construction of a ±6,600 SF building at St. Edmund of Connecticut on Enders Island. Proposal also includes the demolition of existing structures on campus and associated site improvements. Property is located at 1 Enders Island, Mystic; M/B/L: 178-1-1. Property is located in the RC-120 Zone.
9. Future Public Hearing(s): *See New Submittal(s)*



Town of Stonington Planning and Zoning Commission

AGENDA SPECIAL MEETING

TUESDAY, MAY 7, 2024 – 7:00 PM

STONINGTON BOARD OF EDUCATION DISTRICT OFFICE
40 FIELD STREET, PAWCATUCK, CT 06379

MEETING PROCEDURES

PUBLIC COMMENT

Public comment is an opportunity for public participation on items not on the evening's agenda.

PUBLIC HEARINGS

Public hearings are an opportunity for public participation during the review of a development proposal.

Applicants will make an initial presentation. The public can then speak "in favor," "in opposition," or under "general comments."

A signup sheet is located at the main entrance.

Participants are not required to sign up, however, the list will be used to organize the order of interested speakers.

Any questions will be addressed as part of the applicant's rebuttal. Once a public hearing has been closed, neither the applicant nor the public can participate in the proceedings.

NEW SUBMITTALS

No action will be taken on these items. New submittals require routing to other Town agencies and, in some instances, may be scheduled for a public hearing at a later date.

10. New Submittal(s):

- a. **PZ2410SUP+CAM Generation 4, LLC (S. Moran)** – Special Use Permit Application and Coastal Area Management Review for construction of a two-story townhouse style triplex, driveway, parking lot, and associated site improvements. Property located on 19 Jackson Ave., Mystic; M/B/L: 174-19-8. Property is located in the Zone LS-5.

Public Hearing Scheduled Tuesday, June 18, 2024.

- b. **PZ2411SUP+CAM J & H Mystic Hospitality, LLC (J. Casey)** – Special Use Permit Application and Coastal Area Management Review for renovation of an existing two-story hotel into a three-story, 94-room hotel with parking lot, shared outdoor plaza, landscaping, and associated site improvements. Property is located at 253 Greenmanville Avenue, Mystic; M/B/L: 171-1-2. Property is located in the TC-80 Zone.

Public Hearing Scheduled Tuesday, June 4, 2024.

- c. **PZ2412ZC RCP Waterford II, LLC & Readco Stonington III, LLC (J. Browning)** – Zoning Map Amendment application for an amendment to the Neighborhood Design District (NDD) Zone established under PZ2327ZC. Amendment includes six additional properties, demolition of existing structures, construction of three additional 36-unit apartment buildings, a 6,000 SF clubhouse facility, and 63,000 SF of recreational facilities and medial office space with associated site improvements. Properties are located at 3 Voluntown Road, 85 Voluntown Road, 91 Voluntown Road, 455 Liberty Street, and four additional unaddressed parcels, Pawcatuck; M/B/L: 18-1-31; 18-1-33-A; 18-1-33; 18-1-36; 18-1-32; 18-1-32A; 18-1-32B; and 18-1-32C. Properties are located in the HI-60 Zone.

Public Hearing Scheduled Tuesday, June 18, 2024.

- d. **PZ2413SPA+GPP RCP Waterford II, LLC & Readco Stonington III, LLC (J. Browning)** – Site Plan Application to construct three 36-unit apartment buildings, one mixed-use residential building, three independent eight-bay garage structures, and residential clubhouse facility with associated site improvements. Application is submitted in conjunction with PZ2412ZC and PZ2327ZC. Properties are located at 85 Voluntown Road and 455 Liberty Street, Pawcatuck; M/B/L: 18-1-33-A; 18-1-36. Properties are located in the HI-60 Zone.

- e. **PZ2414SPA G Development, LLC (S. Cherenzia)** – Site Plan Application for an amendment to the site plan approved under PZ2018SUP to include the relocation of utilities, updated landscaping, and associated site improvements. Property is located at 32 Broadway Avenue Mystic; M/B/L: 174-19-1. Property is located in the LS-5 Zone.

11. Adjournment

Planning & Zoning Commission
Special Meeting
May 7, 2024
Draft Minutes

The 1757th meeting of the Town of Stonington's Planning and Zoning Commission was held at the Stonington Board of Education Office, 40 Field Street, May 7, 2024. The meeting was called to order at 7:00 PM by Chairman Charles Sheehan. Also present for the meeting were MaryEllen Mateleska, Ben Philbrick, Ryan Deasy, Gary Belke, Bennett Brissette and Town Planner Clifton Iler.

Seated for the meeting were Chairman Charles Sheehan, Ryan Deasy, Gary Belke, Alternate Bennett Brissette, and Alternate Ben Philbrick.

Chairman Sheehan announced that Commission member Andy Meek has submitted his resignation.
Minutes

Minutes:

Mr. Deasy made a motion to approve the minutes from meeting #1753, seconded by Mr. Belke, all were in favor, 5-0.

Mr. Deasy made a motion to approve the minutes from meeting #1754, seconded by Mr. Belke, all were in favor, 5-0.

Mr. Deasy made a motion to approve the minutes from meeting #1755, seconded by Mr. Belke, the vote was taken as 4-0-1; Sheehan - approve, Deasy - abstain (absent), Belke - approve, Brissette - approve, Philbrick - approve.

Mr. Deasy made a motion to approve the minutes from meeting #1756 with a correction that Mr. Deasy was not present for that meeting. The motion was seconded by Mr. Belke and the vote was taken as 4-0-1; Sheehan - approve, Deasy - abstain (absent), Belke - approve, Brissette - approve, Philbrick - approve.

Public Comment: None

Reports: None

Administrative Review:

- a. **24-043ZON Volta Charging, LLC** - Administrative Review for the installation of two (2) electric vehicle charging stations in the parking lot located at 91 Voluntown Road; M/B/L: 18-1-33. This property is located in the HI-60 Zone

Neil Alexander, Attorney, discussed that two parking spaces will be converted to Electric Vehicle charging stations and an island within the parking lot will be removed to add back those two spaces. The pre-existing voltage supply was also discussed.

There were no staff comments.

Mr. Deasy made a motion to approve the application, seconded by Mr. Belke, all were in favor, 5-0.

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- b. **24-075ZON EG Home, LLC** - Administrative Review for the modification of existing grading on approved detention basin located at 47 Mary Hall Road; M/B/L: 7-1-44B. This property is located in the RA-20 Zone.

Bill Fries, BL Companies, discussed the minor modifications to the proposals which resulted from ground water levels being higher than expected, resulting grading changes, etc. They received comments earlier in the day from the Town Engineer and have addressed all concerns via email. Final drawings will be submitted. Discharge levels, locations of 'check dams', and stormwater calculations were also discussed.

Mr. Deasy made a motion to approve the application as submitted with the existing stipulation, seconded by Mr. Belke, all were in favor, 5-0.

- c. **24-076ZON Town of Stonington** - Administrative Review for the installation of an 8'x8' storage shed at Spellman Park located at S. Broad Street, Pawcatuck; M/B/L: 25-1-19-3. This property is located in the RR-80 Zone.

Richard Ward, Recreation Administrator for the Town of Stonington, briefly discussed the shed's use which is to house recreational equipment. The intended color of the shed was also acknowledged.

Mr. Iler confirmed that this application has come before the Commission due to the size and location. There were no further staff comments.

Mr. Deasy made a motion to approve the application, seconded by Mr. Belke, all were in favor, 5-0.

Old Business:

- a. **PZ2405CAM K. McGrath (J. Bernardo)** - Coastal Area Management review for demolition and construction of new single-family residence. Property is located at 29 Roseleah Drive, Mystic; M/B/L: 175-1-8. Property is located in the RC-120 Zone.

Jim Bernardo, Land Surveyor, presented the revised plan and discussed that the previous owner received variances and CAM approval however the CAM application expired. They received Ledge Light approval earlier in the day. The building elevation and FEMA compliance were discussed. There are no required waivers per Mr. Bernardo.

Mr. Iler acknowledged that the ZEO confirmed that the current variances are adequate for this project. The Commission discussed the idea of adding a stipulation that the FEMA height requirements for the foundation be confirmed before further construction can continue.

Per Mr. Iler there are no comments from the Fire Marshall.

Planning & Zoning Commission
Special Meeting
May 7, 2024
Draft Minutes

Mr. Deasy made a motion to approve the application with the existing stipulations and the additional stipulation that the height requirements of the foundation be met before work can continue. This was seconded by Mr. Belke, all were in favor, 5-0.

- b. PZ2406CAM H. Spanos (H+H Engineering Associates, LLC % Seamus Moran, PE) -** Coastal Area Management review for construction of a single-family residence, detached garage, and associated site improvements. Property is located at 68 Masons Island Road, Mystic; M/B/L: 160-6-9. Property is located in the MC-80 Zone.

Seamus Moran, PE, discussed the approval from Ledge Light, the prior ZBA approval on this lot in 2020, and the differing plans that the new owner now has. Per Mr. Moran, the new residence fits within the ZBA approval and variances and further discussed the CAM application. The conditions of the site were acknowledged by Mr. Moran, including elevation requirements, the plan to replace the paved driveway with a crushed stone driveway, and the proposal of a three-bay garage. The septic system will be relocated to the front of the building. According to Mr. Moran, the setback distances and Floor Area Ratio are being reduced.

The Commission discussed adding the same stipulation as the prior application that all foundation height requirements are confirmed before work can continue past that stage.

There were no staff comments.

Mr. Deasy made a motion to approve the application with the existing stipulations and the additional stipulation mentioned above. This was seconded by Mr. Belke, all were in favor, 5-0.

- c. PZ2409CAM Town of Stonington (CLA Engineers, Inc. % Bob Deluca, PE) -** Coastal Area Management Review for municipal road maintenance and improvements including associated roadways, sidewalks, and drainage. Property includes the rights-of-way of Washington Street and School Street, Mystic.

Darren Hayward, CLA Engineers, discussed the rehabilitation work on roadways and sidewalks in Mystic.

Per Mr. Iler, the only comments from the Police Commission were to have Public Works coordinate with the Police Department to coordinate road closures. There were a couple comments from the Town Engineer which have already been added as stipulations to the application. The only 'new' item will be the sidewalk on Washington St. The rest of the scope is mainly just rehabilitation work.

Mr. Iler confirmed for the Commission that E&S comments and requirements have already been addressed in the Town Engineer's comments and there does not need to be an additional stipulation.

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Mr. Deasy made a motion to approve the application as submitted with the existing stipulations, seconded by Mr. Belke. It was estimated that the work will take place in 'late summer'. All were in favor of the motion, 5-0.

Public Hearings:

- a. PZ2404SUP+CAM Currier Group, LLC % Robert Currier (Cherenzia & Associates, Ltd.) -** Special Use Permit Application and Coastal Area Management review for outdoor vendor use. Property is located at 779 Stonington Road, Stonington; M/B/L: 75-1-5. Property is located in the GC-60 Zone

Sergio Cherenzia, 99 Mechanic St, discussed and displayed prior and current surveys of this lot. The gravel driveway is part of the State's right of way however the applicant will attempt to use this space for parking with a lease agreement with the State. Per Mr. Cherenzia, the lease would be required for this project to work as well as an encroachment permit from the DOT. The applicants discussed that the plan is to have room for three food trucks, a space for picnic tables, yard games, parking, portable toilet truck, etc. DEEP comments were discussed as well as the confirmation that an evacuation and emergency plan was submitted. Per the applicants, the crushed stone parking space will alleviate the DOT's concern of dragging dirt / mud onto the road.

The Commission expressed concern over the public seeing this as a public parking space when the lot is not actively operating as the proposed use. Rolling gates were acknowledged by the applicant as a possible solution and they will be used if this becomes a problem. The applicant also mentioned that string lights can be used to alleviate the lighting issue. All vendors will be licensed and have the property safety requirements.

Music will be restricted to a Bluetooth radio and there is no intention to have live, amplified music.

There is accessible power on the lot and electric lines will be run underground where necessary.

The applicant does not have any current plans to offer alcohol at this site.

The Commission discussed adding a stipulation that the canopy over the proposed surface level deck be taken down at a certain point in the year.

The applicant confirmed that the restrooms will not be the plastic portable toilets but an actual restroom trailer that will remain on the lot.

There was a brief discussion regarding trash removal on the site. The trucks will be responsible as will the applicant.

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There was a discussion regarding the potential relationship between the operations on this lot and the Hounds site next door. A walkway may be formed between the two sites as they do foresee the sharing of events however alcohol will remain at the Hounds.

There will likely be at least two employees per food truck but none will stay overnight. The Commission also discussed the parking compliance of this project with the Town regulations.

The Commission expressed concern over the nearby marsh and the possibility of children wandering too far into it. Per the applicants, there is a natural border right now and they propose allowing it to continue to grow but they are willing to entertain other ideas.

Public Comments:

Ben Tamsky, 5 Edgemont St, is in support of some sort of barrier or fencing that will prevent trash from blowing into the marsh.

There was no rebuttal from the applicant.

Mr. Deasy made a motion to close the public hearing, seconded by Mr. Belke, all were in favor, 5-0. The public hearing was closed at 8:24PM.

Mr. Deasy made a motion to approve the application with the existing stipulations and three new stipulations including marsh fencing, walkway lighting, and a date range of when the canopy may be in place (4/15-10/31, yearly). This was seconded by Mr. Belke, all were in favor, 5-0.

- b. PZ2407RA Town of Stonington PZC - Zoning Regulation Text Amendment application for amendments to ZR §5.1, §5.3.24, §8.12.1, and §13.3.3 of the Zoning Regulations.**

Mr. Iler discussed that Phase 1 was completed in 2023 but Town staff have slowly come across items that were missed or mistakenly added. Some items are more time sensitive and should not wait until Phase 2. Mr. Iler discussed that the second amendment in tonight's proposal is not relevant as it is already addressed elsewhere in the regulations.

Public Comment: None

Mr. Deasy made a motion to close the public hearing, seconded by Mr. Belke, all were in favor, 5-0. The public hearing was closed at 8:29PM.

Mr. Deasy made a motion to approve the three recommended amendments, seconded by Mr. Belke, all were in favor, 5-0.

Planning & Zoning Commission
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New Submittals:

Per Mr. Iler, the 'New Submittal' section allows for the Commission to determine if a public hearing is necessary for a specific application.

The Commission did not feel that a public hearing is required for new submittal item PZ2408SPA 29 West Broad Street, LLC (J. Lathrop).

Adjournment:

Mr. Deasy made a motion to adjourn the meeting, all were in favor, 5-0. The meeting was adjourned at 8:32 PM.

DRAFT



Zoning Enforcement Officers' Report

Stonington Department of Planning

March 2024

ZONING PERMIT SUMMARY

APPLICATION STATUS	March 2024	YEAR TO DATE
Received	21	45
Approved	21	44
Pending	1	1
Denied	0	0
Withdrawn	0	0

PENDING PERMITS

PERMIT ADDRESS	OWNER	RECEIVED	REQUEST	WAITING
91 Voluntown Rd	Readco	3/25/2024	EV Units	PZC Approval

CERTIFICATES OF ZONING COMPLIANCE

	March 2024	YEAR TO DATE
SFR CZC	3	7
Total CZCs issued	9	23

COMPLAINT SUMMARY

	March 2024	YEAR TO DATE
Received	3	9
Notice of Complaint	0	0
NOVs Issued	1	1
Citations Issued	0	0
Cease and Desist	0	0
Resolved	3	6

COMPLAINTS RECEIVED

*(D = Distressed Property)

COMPLAINT ID	RECEIVED	ADDRESS	COMPLAINT
23-065	12/28/2024	Enders Island	<p>Expansion of existing parking lot <i>Previous complaints on the parking lot [south area of lot] were in regards to what had been perceived as a parking lot but is a laydown area for a future application. It has been roped off to eliminate any parking. Current complaint is regarding an expansion of the existing parking lot located to the northwest of the lot.</i></p> <p><i>2/8/2024 No violation found. Letter dated 2/7/2024 emailed to Atty Souchuns and sent via Dropbox with compliance report. Parking Area for current complaint had a site plan from 2001 stating "existing 27 parking spaces". Surface of parking area went from grass to gravel. Parking has never been formally laid out on a site plan. Only one flyover indicated an excess of 27/ 2016 had 34 cars on site. Sometime between 2001 and 2004, parking lot became gravel. Approximately 20+ years ago. No enforcement at this time. 2/6/2024 - PZ approved CAM application showing parking area as: "gravel parking to remain". Area where stones are to be removed has been approved as a landscaped buffer. Appeal filed to ZBA. To be heard 4/9/2024 [rescheduled to May 14, 2024]</i></p>
24-006	2/22/2024	21 Russell Ave	<p>Multiple parked vehicles in yard. Large Storage shed in yard. 4/15/2024 NOV issued</p>

24-007	3/1/2024	29 Mechanic St.	<p>Building is deteriorated, yard is full of refuse, landscape is not maintained, unregistered cars, etc. <i>Issued NOV 3.1.2024</i> <i>Rod Morison called the office 3.15.2023 "He was upset about the Nov. He is a multimedia artist and the items are for his work. He was told to remove them or clean it up and contain them. He called back to say he had covered them with tarps. Inspected again on 3/19, Area might actually be worse. 3/22 called Rod, explained this was not compliant. He has two weeks to clean it up or a Cease and Desist would be issued. Explained that the health department would be contacting him due to rodent harborage.</i></p>
24-008	3/19/2024	82 Mechanic St.	Blight
24-009	3/28/2024	16 Smith St. P	<p>Height 2x old building. Over one year start time. No review PZC or ADRB <i>Building has more of a pitched roof than previous structure. Compliant with height for the zone. Did not add additional GFAR. Residential accessory structure, does not required review from ADRB or PZC. Moved an additional 6" from the property line from 2' to 2.5' Impervious floor and flood vents. New structure will be FEMA compliant.</i></p>



Zoning Enforcement Officers' Report

Stonington Department of Planning

April 2024

ZONING PERMIT SUMMARY

APPLICATION STATUS	April 2024	YEAR TO DATE
Received	29	45
Approved	28	74
Pending	1	1
Denied	0	0
Withdrawn	0	0

PENDING PERMITS

PERMIT ADDRESS	OWNER	RECEIVED	REQUEST	WAITING
54 So. Broad St.	Jannat LLC	4/10/2024	Gas Station	Compliance with stipulations

CERTIFICATES OF ZONING COMPLIANCE

	April 2024	YEAR TO DATE
SFR CZC	4	11
Total CZCs issued	10	33

COMPLAINT SUMMARY

	April 2024	YEAR TO DATE
Received	8	17
Notice of Complaint	0	0
NOVs Issued	2	3
Citations Issued	0	0
Cease and Desist	0	0
Resolved	3	6

COMPLAINTS RECEIVED

*(D = Distressed Property)

COMPLAINT ID	RECEIVED	ADDRESS	COMPLAINT
23-065	12/28/2024	Enders Island	<p>Expansion of existing parking lot <i>Previous complaints on the parking lot [south area of lot] were in regards to what had been perceived as a parking lot but is a laydown area for a future application. It has been roped off to eliminate any parking.</i> <i>Current complaint is regarding an expansion of the existing parking lot located to the northwest of the lot.</i> <i>2/8/2024 No violation found. Letter dated 2/7/2024 emailed to Atty Souchuns and sent via Dropbox with compliance report.</i> <i>Parking Area for current complaint had a site plan from 2001 stating "existing 27 parking spaces". Surface of parking area went from grass to gravel. Parking has never been formally laid out on a site plan. Only one flyover indicated an excess of 27/ 2016 had 34 cars on site. Sometime between 2001 and 2004, parking lot became gravel. Approximately 20+ years ago. No enforcement at this time.</i> <i>2/6/2024 - PZ approved CAM application showing parking area as: "gravel parking to remain". Area where stones are to be removed has been approved as a landscaped buffer.</i> <i>Appeal filed to ZBA. To be heard 4/9/2024 [rescheduled to May 14, 2024]</i></p>
24-006	2/22/2024	21 Russell Ave	<p>4/24/2024 Hector Ramirez came into the office. His son is living in the house. He will have him start removing the vehicles. Apply for a shed permit and remove the POD.</p>

			5/2/2024 Fernando Ramirez [860.912.5304] called office. He will be removing the vehicles and will be applying for a shed permit and removing the OFC. He offered to legitimize the OFC while he started to figure out the shed purchase, I recommended he simply apply for the shed permit in the next 4-6 and then remove the OFC.
24-007	3/1/2024	29 Mechanic St.	Building is deteriorated, yard is full of refuse, landscape is not maintained, unregistered cars, etc. Issued NOV 3.1.2024 Rod Morison called the office 3.15.2023 "He was upset about the Nov. He is a multimedia artist and the items are for his work. He was told to remove them or clean it up and contain them. He called back to say he had covered them with tarps. Inspected again on 3/19, Area might actually be worse. 3/22 called Rod, explained this was not compliant. He has two weeks to clean it up or a Cease and Desist would be issued. Explained that the health department would be contacting him due to rodent harborage.
24-008	3/19/2024	82 Mechanic St.	Blight Hold for enforcement
24-010	4/1/2024	24 Bittersweet Way	For the last two years, (rooms within) the single-family residence at 24 Bittersweet Way, Stonington, CT has (have) been rented out to multiple persons at the same time. The shared, town-owned cul-de-sac is consistently occupied during the day and overnight by (mostly out-of-state) cars and/or (sometimes) truck campers/RVs which come and go. The property overall is noted to be increasingly unkept with accumulating (often unsecured) debris. On behalf of our neighborhood and the security and interest thereof, is there anything that can be done in regards to responsible stewardship of this property and/or the cul-de-sac we share? Do our local laws, zoning permits, or ordinances allow these sort of rentals (which seem to be 6+ months)? If so, is the town aware and in permittance of this particular situation? 4/9/2024 Zoning does not have jurisdiction over motor vehicles located in the public right-of-way. No debris noted. Airbnb not under the zoning jurisdiction. No violation observed.
24-011	4/1/2024	13 Shawondassee Dr.	Hello. Has anything been done here? Was taking my son for a walk and there were what it looked like to be raccoons coming from the decrepit property. There is always construction equipment out there and outside of it being an eyesore, it's becoming infested with rodents. Please advise. 4/9/2024 landscaping equipment on site. One small back hoe and three plows. 4/10/2024 NOV issued.
24-012	4/1/2024	16 Shawondassee Dr.	Hello. Has anything been done here? Was taking my son for a walk and there were what it looked like to be raccoons coming from the decrepit property. There is always construction equipment out there and outside of it being an eyesore, it's

			<p>becoming infested with rodents. Please advise. [complaint identical to 13 Shawondasse Dr. Not a mistake.] <i>4/9/2024 No violation observed</i></p>
24-013	4/9/2024	20 E. Main St. [Whaler's Inn]	<p>For the period of construction of the building at Haley & Cottrell Streets, contractors have been parking trucks in the no parking zone at the West end of Haley: this blocks the crosswalk, and blocks the view of oncoming traffic, when turning from Haley to Cottrell Street/ creating danger for drivers and pedestrians. I went into the Whaler's Inn and spoke to one of their people after nearly being hit coming out of Haley recently and was told that was an issue with their contractor, that it had nothing to do with them- I sent a letter to the president of the Inn and no change has been made. Parking on Cottrell is very busy in the summer months, other contractors for the Whaler have been using the on-street spots for all-day parking, in addition to the spaces that are blocked for construction: ~11 spaces on a given day that are not available for business's customers, and residents because Whaler's is not providing on-site parking for their contractors. With projects like this in the future, I would ask that your department requires a construction parking and pedestrian right of way safety plan a part of the approval in order to decrease the impact of work on residents and businesses in densely developed areas.</p> <p>The proximity of the on-street delivery area at the location where John's Pub was and its proximity to the Main Street intersection has resulted in a phenomenon where delivery trucks to the Whaler's Inn use the length of Cottrell. Between that area and the intersection as a two-way street: regularly pulling into Cottrell, making a multi-point turn which stops traffic, and then exiting Cottrell going in the wrong direction, again, disrupting traffic.</p> <p>The one-way Cottrell Street- we observe a number of issues:</p> <p>A) The street has, by circumstance of its design, become used like a parking-lot, the traffic flow is disruptive to its ongoing use as a through-street. Because of the width of the street, again, a circumstance of its design, it has become a place for people to park and tailgate, idle, etc.- this creates an environment conducive to loitering.</p> <p>B) Because of the "terminal" appearance of the street at the intersection of Washington Street, the private properties at the end of Cottrell are experiencing a burden of policing use of their on-site parking and properties. Perhaps also as a circumstance of this "terminal appearance," there is regularly wrong-way driving from Washington Street down Cottrell-including individuals who reach the end of Cottrell and turn around then drive back down the street in the wrong direction. While I am sure this parking re-design was done with best intentions, it has proved unpleasant for those who work and live in the neighborhood, please consider adding signage:</p>

			<p>“One way street” more directional traffic arrows on the street, and a pole mounted sign at the South end of Cottrell (where Red 36) has a sandwich board) directing traffic down Washington-including “no stopping”</p> <p>Adding “no idling” signs (available through DEEP) on the 2 HR parking limit sign posts: prohibiting idling would significantly reduce loitering, including loud radios on Cottrell.</p> <p>Addressing/ regulating more closely use issues with the different interests in the neighborhood.</p> <p>I would implore the town to consider acquiring part or all of the Marina property to widen Washington Street, provide public parking for recreation, and for much needed coastal resiliency infrastructure.</p> <p><i>4/9/2024 Not a zoning violation. Zoning does to control public right of ways. Referred to Police Dept</i></p>
24-014	4/15/2024	25 Broadway Ave.	<p>Parking Distance from Front Door Entrance/Exit. Wheel stop in front of Exit Door. How Large is allowable for exit discharge as an egress system? How about the ability to ladder the building in case of fire? Does a wheel stop in front of this exit/entrance make sense? What amount of space should be free and open in front of entrance-egress 10'? 15'? Why is this parking space available in 2024 after being approved in 1998? This is a public safety issue. A wheel stop will not stop a criminal from breaking down the glass doors as CVS told me after my accident (I had a very bad fall tripping over wheel stop). Stonington needs to make CVS implement Security Bollards rather than trip prone wheel stops at front door. 10' foot clearance is needed and ability to walk to front door with no obstruction (yellow stripe lines in front of this major entrance- exit)</p> <p><i>4/17/2024 No zoning violation. Wheel stops are in place to keep motorists from driving into the structure. Bright yellow in color, hard to miss.</i></p>
24-015	4/25/2024	98 W. Broad St.	<p>Very Large Signs for “Little Man’s Dinner” added. They’re too large! Were they permitted?</p> <p><i>5/9/2024 Sign measures 6' x 7.5' or 45 SF. Enforcement pending.</i></p>
24-016	4/30/2024	21 Cronin Ave.	Junk Autos on property.
24-017	4/30/2024	Enders Island	<p>Apparently, there are no erosion and sedimentation controls in place for the enders Island Seawall project. There are no measures in place to stop sediment from running into the ocean. I wouldn’t know what those look like, so I had to take his word for it. He thought that it would be a good idea for the appropriate person from the town, who I think is you, to go down and have a look.</p> <p>“The three above ground fuel oil storage tanks are missing 110% secondary containment and over fill protection.”</p>

			<p>There are small openings through the existing seawall to allow rain water from the island to run through to the ocean. I have seen them on the west side but they are buried on the east side. Also the temp bridge should be paved as the gravel is washing into the ocean.</p> <p><i>May 1, 2024 Met on stie with K. Neilson and Tom Machnik [GC] Went over all areas of e/s which needed to be beefed up. Temporary bridges are not paved. There is a gabion style e/s holding in the stones with a thick rubber on the metal portion of the bridge which comes up the sides of the gabion cage. I requested wattles to be added. E/s near the septic install to be backed with staked hay bales. Additional staked hay bales to be added on an outlet swale area. the EPA regulates tanks larger than 1,320 gallons to have the provisions stated in the complaint regarding containment for 110% of the volume of the tank. The EPA does not regulate the home oil tanks seen on Enders Island. Approximately 275 Gallons each.</i></p> <p><i>5.9.2024 Inspected site, in compliance.</i></p>
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Town of Stonington | Department of Planning
 Planning and Zoning Commission Meeting
 May 21, 2024
 PZ2408SPA 29 West Broad Street, LLC (J. Lathrop)

Site Plan Application to convert 1,200 SF of existing commercial space into two (2) 600 SF apartments. Property is located at 29 West Broad Street, Pawcatuck; M/B/L: 1-4-7. Property is located in the PV-5 Zone.

Report Prepared By: Clifton J. Iler, AICP – Town Planner

Application Status

This application is for a Site Plan Application (SPA) review subject to the criteria and requirements established in [C.G.S. Section 8-3\(g\)](#). The Commission can elect to conduct a public hearing if desired, although [C.G.S. Section 8-7d\(b\)](#) places a 65-day limit on the timeframe to review and act on a Site Plan application whether or not a public hearing is held.

- Official Date of Receipt for this application was 4/16/24.
- Tonight’s meeting is **Day 35** of 65 total days to decide on the application.
- A decision, without extension, must be made by 6/20/24.

The applicant may consent to one or more extensions provided the total period of any such extension or extensions shall not exceed 65 days.

Purpose

This application is for the conversion of 1,200 SF of existing commercial space into two (2) 600 SF apartments. Property is located at 29 West Broad Street, Pawcatuck; M/B/L: 1-4-7. The application set includes a detailed description of the project overview.

Zoning and Context

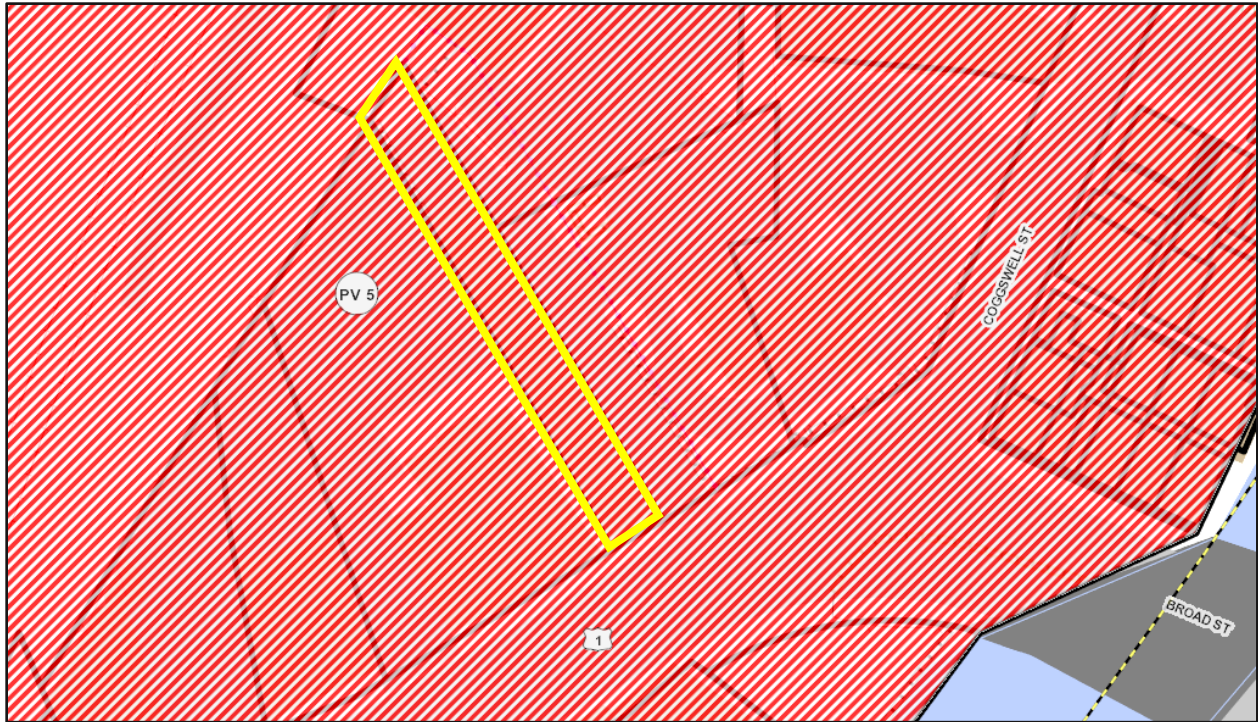
This parcel is subject to the bulk and use requirements of the Zoning Regulations for the PV-5 Zone.

PV-5 Zone Bulk and Use Requirements

	<u>Required</u>	<u>Provided</u>		<u>Required</u>	<u>Provided</u>
Lot Size	5,000 SF	±4,846 SF ¹	Building Height	50’	±25’
Frontage	50’	±22’	Floor Area Ratio	1.50	±1.03
Setbacks (F/S/R)	0’/0’/0’	0’/0’/48’	Parking	4 Spaces	5 Spaces
Res. Buffer	N/A	N/A	Non-Infring. Area	N/A	N/A

¹ Parcel is a legal lot of record.

ZONING MAP



North: PV-5 Zone [Use: Commercial]

East: PV-5 Zone [Use: Commercial]

South: PV-5 Zone [Use: Commercial]

West: PV-5 Zone [Use: Commercial]

Site Access and Traffic

The site is accessed from West Broad Street (U.S. Route 1). There is a shared right-of-way along the eastern edge of the property, providing access to the rear parking area. There are no expected traffic impacts with this development.

Environmental Elements

This site is located within the Flood Hazard Overlay District (FHOD) and FEMA Special Flood Hazard Areas (SFHA), therefore regulated by FEMA and local floodplain management regulations. The property is located in the AE Flood Zone with a Base Flood Elevation (BFE) of 10 feet. The proposed project does not trigger the Substantial Improvement threshold that would require bringing the structure up to FEMA standards.

Utilities

The site is currently served by public water and sewer.

Waivers Requested

No waivers are requested with this application.

Response Summary

The application was routed to the following agencies/agents of the Town. Responses are shown below:

BUILDING OFFICIAL – Awaiting comment.

WATER POLLUTION CONTROL AUTHORITY – The proposed project can be accommodated within the capacity of the Pawcatuck sewer shed. However, the plans for the site do not provide sufficient information on how the connection to the sanitary system will be made. Therefore, before any work on the sanitary system begins, it is necessary to submit more detailed plans to the WPCA for review, comment, and approval. [Dated: 5/7/24]

ZONING ENFORCEMENT OFFICER – Applicant should indicate location of refuse containers. [Dated: 4/8/24] **ADDRESSED**

FIRE DISTRICT MARSHAL (PAWCATUCK) – No comment.

TOWN OF WESTERLY – No comment.

Town Planner Comments

This application proposes an interior conversion of existing commercial space into residential while still maintaining the Residential Mixed-Use categorization, and therefore subject to the requirements of ZR §5.3.25. The application, however, does not include calculations ensuring the residential component of the project shall not exceed 66% of the gross floor area (ZR §5.3.25.F). This has been added as a stipulation of approval.

As outlined in ZR §8.12.1, the PV-5 Zone allows greater density than other zoning districts in Stonington, allowing this site to create up to four (4) dwelling units given the total lot area. There is no permitted expansion of additional residential units, despite available FAR, given the density restrictions.

There are no additional questions or concerns with the proposed application.

Recommended Stipulations

Should the Commission decide to approve this application, the Department of Planning recommends the following stipulations of approval:

1. The applicant shall provide a GFA calculation on the final site plan, pursuant to ZR §5.3.25.F.
2. Final plans shall be reviewed to the satisfaction of the Town Engineer.
3. Prior to the issuance of a Zoning Permit, the final plans shall be signed by the Commission and recorded in the Town's Land Evidence Records.

Commission Action Required

The Commission is required to make a determination on the following items:

- A decision concerning the Site Plan Application (SPA)

Section 9.2.8 – The Commission may approve, deny, or modify with conditions any project within the CAM boundary. In addition, the Commission may require additional erosion and sediment control measures, measures to mitigate any adverse impacts, pedestrian access easements, visual access easements, and conservation easements, and may require a design review in accordance with Section 17.1 of these regulations if the project is proposed for an area which has been designated as a view-shed or resource area in the Plan of Conservation and Development.



SITE PLAN APPLICATION APPLICATION FORM

RECEIVED

2024 APR -5 P 1:33

Application Number	PZ24083PA	Receipt Date	4/16/24
--------------------	-----------	--------------	---------

Applicant: 29 West Broad Street LLC
Mailing Address: 4 Mechanic St. Pawcatuck CT
Telephone Number: 860-599-1920

Owner: Best Energy LLC (Jim Lethrop)
Mailing Address: 4 Mechanic Street Pawcatuck CT
Telephone Number: 860-599-1920

Project Leader*: Jim Lethrop
Mailing Address: 4 Mechanic St. Pawcatuck CT
Telephone Number: 860-599-1920

Property Location: 29 West Broad Street (Rear section of Building)

Parcel Information: Map Block Lot

Estimated Cost of Work \$76,000

Zoning District: **Lot Size:**

Street Frontage: **Is Street Frontage:** Town State

Is any portion of the property within 500 feet of the Town Boundary? Yes No

* Project Leader is the Architect, Attorney, Engineer, Landscape Architect, Surveyor, or other individual who will be the responsible contact person with the Town.

Fire District:

PFD

Harbor Management District:

N/A

Water Supply:

Public Private

Sewage Disposal:

Public Private

Flood Zone:

N/A

Wetlands:

Tidal Inland N/A

Project Description: (please provide the overall size in SF, project dimensions and other pertinent information about the proposal.)

Conversion of 1200 sq ft commercial space in single-story (rear) portion of building to (2) 600 sq. ft single bedroom apartments.

Previous Petitions: Please list all previous petitions that have been made with respect to the above listed property(ies):

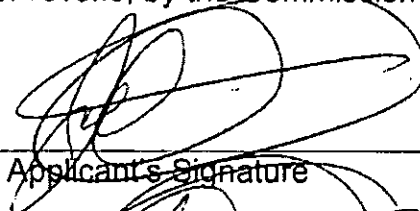
(2) apartments replacing former office/storage space on top floor of building (front) in 2017.

The undersigned owner, or agent, hereby consents to necessary and proper inspections of the above-mentioned property by agents of the Commission at reasonable times both before and after a permit is granted by the Commission.

The undersigned declares all information supplied is accurate to the best of his knowledge and belief. If such information subsequently proves to be false, deceptive, incomplete, or inaccurate, the permit may be modified, suspended, or revoke, by the Commission or it's agents.

Jim Lethrop

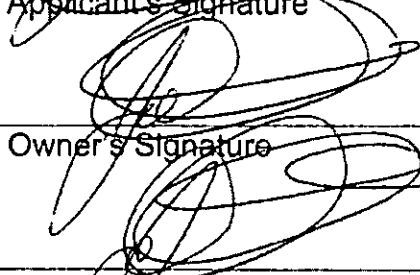
Applicant's Printed Name



Applicant's Signature

Jim Lethrop

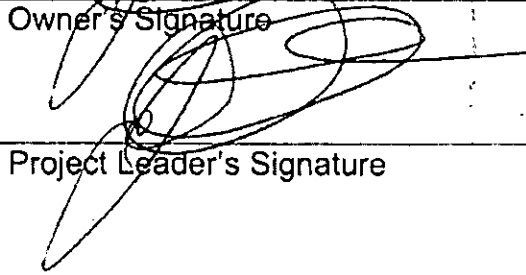
Owner's Printed Name



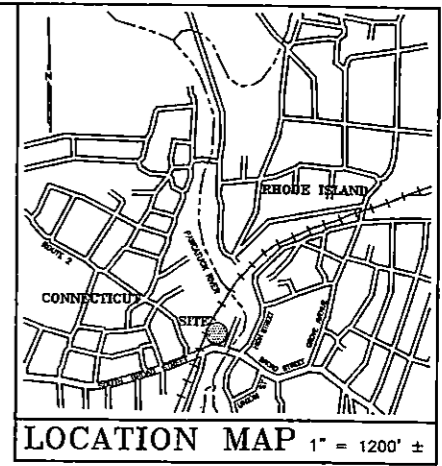
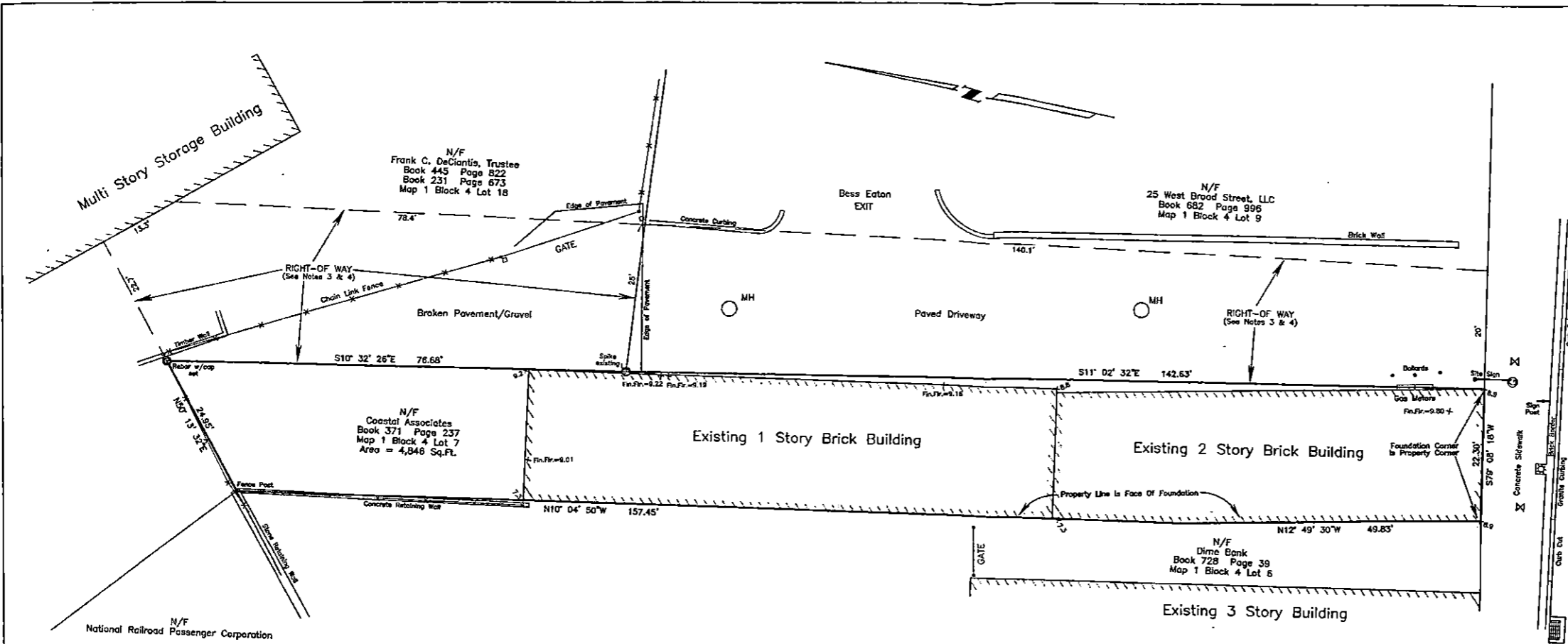
Owner's Signature

Jim Lethrop

Project Leader's Printed Name



Project Leader's Signature



LEGEND

- Underground Gas Lines
- /H—○/H— Overhead Utilities
- U/G—U/G— Underground Electric
- SMH Sanitary Manhole
- DMH Drainage Manhole
- PCC Precast Concrete Curb
- EH Elec Handhole
- Site Lighting
- Water Gate or Shut-Off
- Fire Hydrant
- Utility Pole
- Gas Valve

DB-5 DISTRICT BULK TABLE

	Required	Provided
Use	Commercial	Commercial
Min. Lot Size	5,000 Sq. Ft.	4,846 Sq. Ft.
Min. Lot Frontage	50 feet	22.30 feet
Max. Height	By Review	—
Floor Area Ratio	0.60	—
Min. Front Yard Depth	0 feet	0 feet
Min. Side Yard Depth	0 feet	0 feet
Min. Rear Yard Depth	0 feet	47.9 feet

NOTES:

- This plan has been prepared pursuant to the Regulations of Connecticut State Agencies, Sections 20-300b-1 through 20-300b-20, and the Minimum Standards for Surveys and Maps in the State of Connecticut, as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996. This survey represents a Property Survey and is based upon a Resurvey of the locus parcel as shown on the plan referenced in Note #3.
 Type of Survey: Property Survey
 Boundary Determination Category: Dependent Resurvey based upon plan reference 3
 Classes of Accuracy: A-2 Horizontal; T-2 Vertical
- Reference is hereby made to a Warranty Deed dated June 30, 1994 from The Washington Trust Company to Coastal Associates and recorded in the Town of Stonington Land Evidence Book 371 at Page 237.
- Reference is hereby made to the following plan of record:
 Plan Showing Part of Property of Bonomo Realty West Broad Street Pawcatuck - Stonington, Conn. Scale: 1" = 10' March 1966 Rossi and Lewis Engr's. Westerly, R.I.
- The subject parcel may benefit from the following easements:
 Rights-Of-Way as described in Town of Stonington Land Evidence Book 371 at Page 237 and shown on this plan.
- Bearings and north arrow orientation are referenced to a magnetic observation taken June 2015.
- Floor elevations and spot grades are referenced to the NAVD-88 vertical datum, as determined by transfer of elevation from National Geodetic Survey tidal benchmark LW0745, marked A 18 and located at the westerly corner of West Broad and Main Streets in Westerly, R.I.
- Subject parcel is located within an AE Flood Hazard Zone with a base flood elevation of 10, as shown on the FIRM Flood Insurance Rate Map for New London County, Connecticut (All Jurisdictions), Panel 139 of 554, Map Number 44009C0139J, Effective Date: October 16, 2013.

To the best of my knowledge and belief this map is substantially correct as noted hereon.
 Horizontal Classification: A2
 Vertical Classification: T2
 Nathan D. Lauder, P.L.S. #15762 Date 7/1/2015



PLAN REVISIONS			
DATE	DESCRIPTION	DWN BY	CHK BY

STREET INDEX
 WEST BROAD STREET

CHERENZIA & ASSOCIATES, LTD.
 99 Mechanics St., P.O. Box 513
 Pawcatuck, CT 06279 Westerly, RI 02891
 Tel: 860.299.6500 Fax: 860.299.6090 Tel: 401.924.7171
 www.cherenzia.com

PROPERTY SURVEY
 PREPARED FOR
SHELIA BROGNA
 PROPERTY OF
COASTAL ASSOCIATES
 29 WEST BROAD STREET
 MAP 1 BLOCK 4 LOT 7
 PAWCATUCK, CONNECTICUT

SCALE: 1" = 10' DRAWN BY: TWS
 JULY 1, 2015 CHECK BY: NDL
 SHEET: 1 OF 1 JOB NO.: 215039

ZONING CHART (BASED ON PV-5)		
	REQUIRED	EXISTING*
LOT AREA (SF)	5,000 SF	4,846 SF
FRONTAGE (FT)	50 FT	22.3 FT
FLOOR AREA RATIO	1.50	1.03
MAXIMUM HEIGHT		
PRINCIPAL BUILDING (FT)	50 FT	NA
BLDG SETBACK		
- FRONT SETBACK (FT)	0 FT	0 FT
- SIDE SETBACK (FT)	0 FT	0 FT
- REAR SETBACK (FT)	0 FT	47.9 FT

* THERE ARE NO PROPOSED CHANGES TO THE EXISTING BUILDING FOOTPRINT OR GROSS FLOOR AREA PER OWNER.

PARKING CHART		
	REQUIRED	PROVIDED
2 DWELLING UNITS (2 SPACES/UNIT)	4	5

CHERENZIA & ASSOCIATES, LTD.
 Civil Engineers
 Land Surveyors
 Land Use Planners
 Environmental Engineers

99 Mechanic St.
 Pawcatuck, CT 06379
 Tel: 860.629.6500
 Fax: 860.599.6090

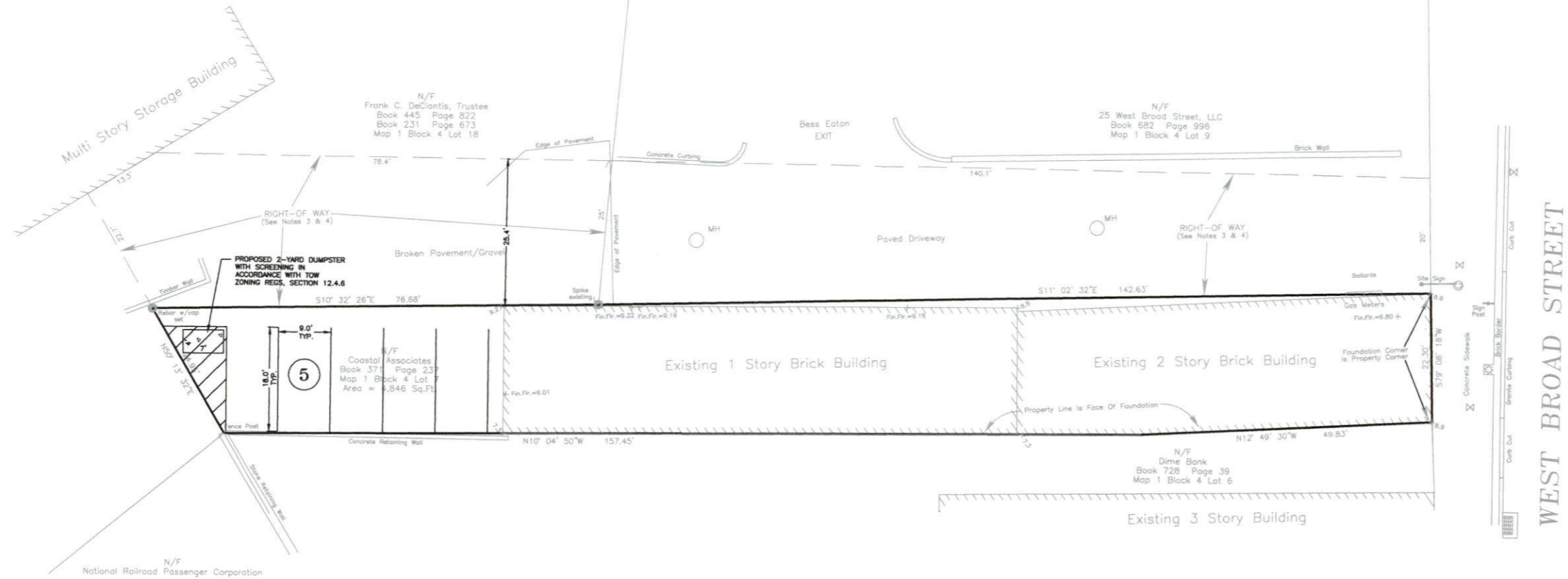
P.O. Box 513
 Westerly, RI 02891
 Tel: 401.596.7147

www.cherenzia.com



LOCATION MAP NTS

NOTES:
 1. REFERENCE MADE TO EXISTING CONDITIONS SURVEY PLAN PREPARED BY CHERENZIA & ASSOCIATES, LTD., ENTITLED, "PROPERTY SURVEY, PREPARED FOR SHEILA BROGNA, PROPERTY OF COASTAL ASSOCIATES" DATED JULY 1, 2015.
 2. RIGHT-OF-WAY NOTES 3 & 4 REFERENCED BACK TO EXISTING CONDITIONS SURVEY PLAN REFERENCED IN NOTE 1.



P22408SPA
 PLAN REVISIONS

REV. NO.	DATE	DESCRIPTION	OWN BY	CHK BY

SCALE: 1"=10'
 CA JOB # 215039-1
 APRIL 4, 2024

DRAWN BY: AP
 CHECK BY: SFC

ISSUED FOR PERMITTING

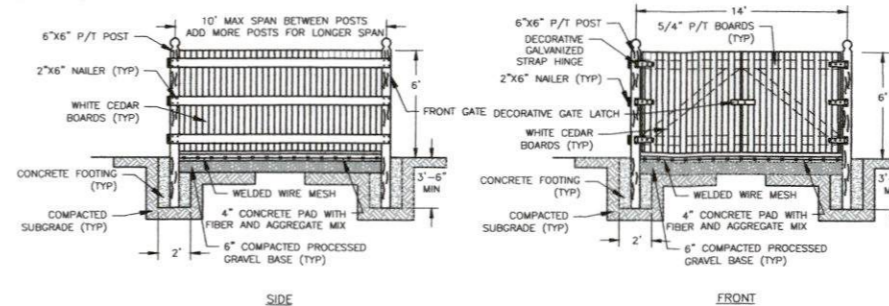
SITE PLAN

PROPOSED PARKING PLAN
 29 WEST BROAD STREET
 MAP 1 BLOCK 4 LOT 7
 PAWCATUCK, CONNECTICUT

PREPARED FOR
29 WEST BROAD STREET LLC

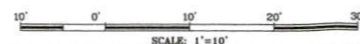


SHEET 1 OF 1
CHERENZIA & ASSOCIATES, LTD.



NOTE:
 1. ALL CONCRETE WORK TO BE NON-SLIP BROOM FINISH.
 2. ALL FASTENERS AND HARDWARE TO BE HOT-DIPPED GALVANIZED.

DUMPSTER ENCLOSURE



RECEIVED



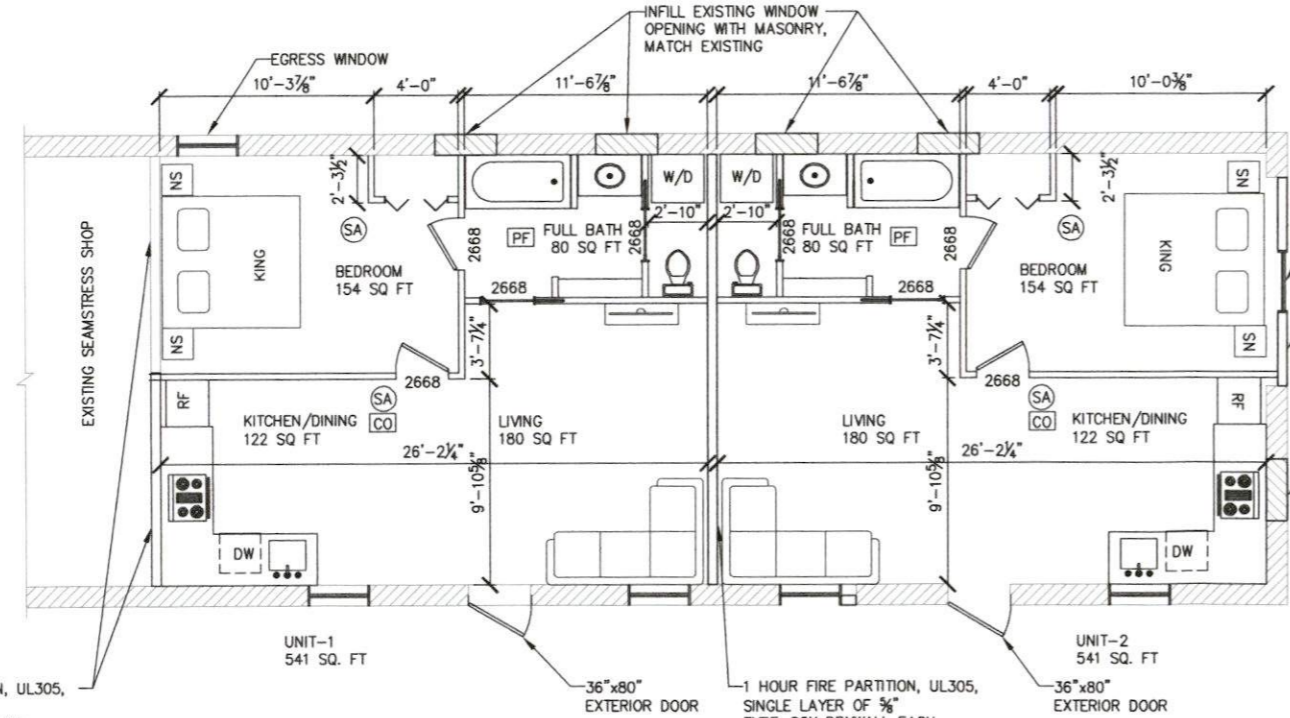
GENERAL NOTES

1. GENERAL
 1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.
 2. ALL METHODS OF CONSTRUCTION, NOTES ETC INDICATED ON THE DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
 3. ALL PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS TO BE DESIGNED AND INSTALLED BY CONNECTICUT LICENSED CONTRACTOR IN THEIR RESPECTIVE FIELD TO THE REQUIREMENTS OF THE INTERNATIONAL PLUMBING, MECHANICAL, AND ELECTRICAL CODES, RESPECTIVELY.

4. DESIGN CRITERIA:
 A. BUILDING CODES AND DESIGN STANDARDS:
 - 2022 CONNECTICUT STATE BUILDING CODE
 - INTERNATIONAL BUILDING CODE 2021
 B. LIVE LOADS
 - ROOF LIVE LOAD 20 PSF
 - RESIDENTIAL 40 PSF
 - UNINHABITED ATTICS WITHOUT STORAGE 10 PSF
 C. DEAD LOADS
 - WEIGHT OF STRUCTURE
 D. SNOW LOAD
 - GROUND SNOW LOAD, $P_g=$ 30 PSF
 - SNOW IMPORTANCE FACTOR, $I_s=$ 1.0
 - SNOW EXPOSURE FACTOR, $C_e=$ 1.0
 - SNOW TEMPERATURE FACTOR, $C_t=$ 1.0
 - FLAT ROOF SNOW LOAD, $P_f=$ 21 PSF
 - MINIMUM FLAT ROOF SNOW LOAD, $P_{fmin}=$ 30 PSF (GOVERNS)

SMOKE AND CO2 ALARMS

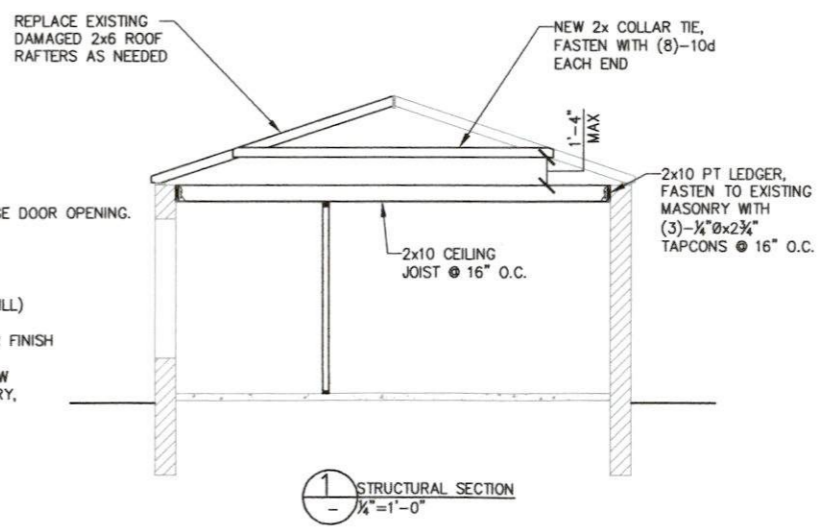
1. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, AND IMMEDIATELY OUTSIDE EACH SEPARATE SLEEPING AREA, MINIMUM 1 PER FLOOR.
 2. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
 3. SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL217. CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL2034. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL2034.
 4. NEW SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WITH BATTERY BACKUP. NEW SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL NEW SMOKE ALARMS.



PROPOSED APARTMENT FLOOR PLAN
 1/4"=1'-0"

- NOTES:**
 1. ALL INTERIOR DOORS ARE 30"x80".
 2. CEILING JOIST TO BE 2x10 @ 16" O.C. SUPPORTED 1/3RD OF THE WAY UP EXISTING ROOF RAFTERS. INSULATE WITH R60.
 3. ALL DIMENSIONS ARE TO FACE OF STUD AND/OR FACE OF MASONRY.

- LEGEND**
 (SA) SMOKE ALARM
 (CO) CARBON MONOXIDE ALARM
 (PF) POWER VENT FAN

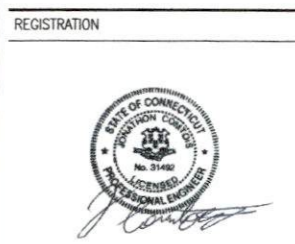


CLIENT:
BEST ENERGY
 4 MECHANIC STREET
 PAWCATUCK, CT 06379

ENGINEER:
Modern Structural Engineering, PLLC

86 NOOKS HILL RD.
 CROMWELL, CT 06416
 860.295.3818
 INFO@MODERNSTRUCTURALENG.COM
 WWW.MODERNSTRUCTURALENG.COM

PROJECT:
PROPOSED APARTMENTS
 29 WEST BROAD STREET
 PAWCATUCK, CT 06379



ISSUE

MARK	DATE	DESCRIPTION

PROJECT NO: 23078
 DRAWN BY: JB
 CHECKED BY: JC

ISSUED FOR:
 P22408SPA

RECEIVED
 4-20-24 APR - 5 P: 35
 PERMIT
 03-25
 PLANNING & ZONING

SHEET TITLE
 GENERAL NOTES AND PLAN



Town of Stonington | Department of Planning Planning and Zoning Commission Meeting

May 21, 2024

PZ2402SPA+CAM St. Edmund of Connecticut, Inc.
(R. Avena, Esq.)

Site Plan Application and Coastal Area Management Review for the construction of a ±6,600 SF building at St. Edmund of Connecticut on Enders Island. Proposal also includes the demolition of existing structures on campus and associated site improvements. Property is located at 1 Enders Island, Mystic; M/B/L: 178-1-1. Property is located in the RC-120 Zone.

Report Prepared By: Clifton J. Iler, AICP – Town Planner

Application Status

This application is for a Site Plan Application (SPA) and Coastal Area Management (CAM) review. [C.G.S. Section 8-3\(g\)](#) establishes the criteria and requirements for a Site Plan Application and [Section 22a-109\(g\)](#) states that CAM applications are subject to the same timeframe requirements as Subsections (a) and (b) of Section 8-7d for the purpose of determining the time limitations for a zoning commission to reach a final decision. The Commission can elect to conduct a public hearing if desired, although [C.G.S. Section 8-7d\(b\)](#) places a 65-day limit on the timeframe to review and act on a Site Plan or CAM application whether or not a public hearing is held.

- Official Date of Receipt for this application was 2/20/24.
- The Commission voted to require a public hearing on this SPA+CAM application on 2/20/24.
- The public hearing was opened on 3/19/24.
- The public hearing was extended **28 days** to tonight's meeting.
- The public hearing, without extension, must be closed **tonight**.
- A decision, without extension, must be made by 6/27/24.
- The applicant can request an extension of any period of the application up to **37 days**.

Purpose

This application is for the demolition and consolidation of existing facilities and uses into a new ±6,600 SF building at St. Edmund of Connecticut on Enders Island. The project will demolish existing structures on campus and construct a new accessible recovery center facility with associated site improvements.

The application set includes a detailed description of the project overview.

Zoning and Context

This parcel is in compliance with the Town of Stonington Zoning Regulations as a pre-existing, legal nonconforming use. Below are the bulk and use requirements of the Zoning Regulations for the RC-120 Zone.

RC-120 Zone Bulk and Use Requirements

	<i>Required</i>	<i>Provided</i>		<i>Required</i>	<i>Provided</i>
Lot Size	120,000 SF	±435,942 SF	Building Height	25'	50.5' ¹
Frontage	300'	N/A	Floor Area Ratio	0.04	0.083 ²³
Setbacks (F/S/R)	75'/75'/100'	Varies ⁴	Parking	N/A	N/A
Res. Buffer	N/A	N/A	Non-Infring. Area	100'	Varies ⁵

ZONING MAP



¹ COV01-12 issued on May 8, 2001 for chapel use. Proposed new structure height is 22' 10".

² COV01-12 issued on May 8, 2001.

³ Project includes FAR calculation sheets based on Assessor's records. See Town Planner comments.

⁴ Pre-existing legal nonconformity established prior to 1979.

⁵ Pre-existing legal nonconformity established prior to 1979. See Town Planner comments.

Site Access and Traffic

The site is accessed from Yacht Club Road. There are no expected traffic impacts with this development as there is no change in use or intensity of use.

The applicant has provided a Traffic Impact Study [Dated: 5/14/24] with the revised application set in response to the Commission's request and public comment.

Environmental Elements

This site falls within the Coastal Area Management Overlay District (CAMOD) and is within 100 FT of designated coastal resources and therefore subject to CAM review. This application is subject to review by CT DEEP and comments are captured in the Response Summary.

The site also is located entirely within the Flood Hazard Overlay District (FHOD) and FEMA Special Flood Hazard Areas (SFHA), therefore regulated by FEMA and local floodplain management regulations. The existing seawall and revetment structures are located right along the boundary line between a VE (Velocity) Flood Zone with a Base Flood Elevation (BFE) of 14 feet NAVD88 and an AE Zone with a BFE of 13 feet. Inland of the coastal structures, for most of the site, the flood zone transitions to an AE Zone with a BFE of 12 feet. The proposed project does not include new construction within the SFHA.

The proposed improvements will reduce existing site impervious coverage, as well as remove two existing buildings currently within 100 FT of the Coastal Jurisdiction Line (CJL). The proposed building, which is located greater than 100 FT beyond the CJL, will also be equipped to harvest and store rainwater for use as irrigation around the proposed foundation plantings, which will help to promote additional groundwater recharge.

Utilities

The site is currently served by public water and private septic.

Waivers Requested

No waivers are requested with this application.

Response Summary

The application was routed to the following agencies/agents of the Town. Responses are shown below:

BUILDING OFFICIAL – No comment.

HARBOR MANAGEMENT (MYSTIC) – I have reviewed these documents several times. I support these efforts completely. [Dated: 3/5/24]

TOWN ENGINEER – See attached memorandum. [Dated: 3/7/24]

FLOODPLAIN MANAGER (SLR INTERNATIONAL) – See attached memorandum. [Dated: 3/8/24]

LEDGE LIGHT HEALTH DISTRICT – Awaiting comment.

WATER POLLUTION CONTROL AUTHORITY – The WPCA has no comment regarding the above referenced P&Z application as this project has no effect on the sanitary sewerage system. [Dated: 3/7/24]

ZONING ENFORCEMENT OFFICER – Approval will result in an overall reduction of non-conformities including compliance with the 100' non-infringement buffer and demolition of non-compliant flood resistant structures located within the flood zone.

An appeal [AAP 24-01], of my findings for 'no violation' regarding the expansion of a parking lot has been filed with the ZBA and is scheduled to be heard on April 9th. [Dated: 3/6/24]

FIRE DISTRICT MARSHAL (MASONS ISLAND) – Comments below [Dated: 3/10/24]:

Sorry for the delayed response, the MIFD Board has been busy on some other important matters in the past 2 weeks.

Firstly, I understand that Enders Island has a few buildings that have outlived their lifespan, and the construction of the new buildings and infrastructure called for within this zoning application will better accommodate their existing pastoral programs, and an upgrade of their septic system will lessen the risk of contaminating the waters that surround us. Overall, I find the MIFD taxpayers, with few exceptions, to be generally supportive of the existing pastoral and religious programs offered to the public as part of the mission of Enders Island, and attempts to make their experience more comfortable.

That being said, the existing programs offered by Enders already put a tremendous strain on MIPOA roads, creating traffic of over 20,000 vehicles per year, so I find there is less support for an expansion of programs on Enders since that would put even more strain on private roads that were not intended for such heavy use. I would expect the Town engineers to have similar concerns, as they would when any builder proposes to build something with the intent to bring new traffic that has the potential to over-strain the supporting road infrastructure. I have read in the supporting documents of the application that the construction intended in this zoning application is not being taken with the intent to increase the size of the programs, and therefore increase traffic, but to create better accommodations for attendees in existing programs. I am heartened by the fact that Enders has indicated an understanding that their existing programs are sized appropriately with the supporting infrastructure needed to gain access to Enders, and this construction is not intended to add to the strain on that infrastructure. If on the other hand, the Town engineer feels that this zoning application construction, combined with the previous one in January, will naturally increase traffic to Enders, then I would of course expect the Town engineer to perform a road study to ensure that the available infrastructure, especially across MIPOA private residential roads, can support such an increase in traffic.

To comment specifically on this zoning application, I would reiterate my requests listed in my comments from the first Enders application in January. Most importantly, a high volume of heavy construction vehicles going to Enders puts a tremendous strain on the private residential roads that MIPOA maintains at MIFD taxpayers' expense. MIFD had requested in January as a comment to Ender's first zoning permit request, that the Town require Enders to post a \$300,000 security bond to secure funds to repair any damage or excessive wear and tear. This new construction project, in addition to their first request, just adds to my concern about the overuse of MIPOA's private roads by heavy construction trucks, roads that were designed and built for light residential traffic. Therefore, I would reiterate our initial request that the Town require that Enders post a security bond to ensure there are

accessible funds that can be used by MIFD to pay for the repair of road damage caused by the excessive use from these two, and any additional construction projects that Enders Island might pursue in the next few years.

CT DEEP LAND AND WATER RESOURCES DIVISION – See attached memorandum. [Dated: 3/8/24]

Town Planner Comments

This application went before the Architectural Design Review Board (ADRB) at its regular meeting on March 11, 2024. The ADRB recommended approval of the application with the following stipulation:

1. Revise the Landscape Plan to address landscaping and pathways following the demolition of existing structures. **ADDRESSED**

The Town Planner offered the following comments on the application [Dated: 3/19/24]:

1. The RC-120 Zone Bulk Requirements table on Sheet OV 1.0 incorrectly labels footnotes 3 and 4. **ADDRESSED**
2. The SPA Project Description and RC-120 Zone Bulk Requirements table on Sheet OV 1.0 incorrectly calculate existing and proposed FAR.
 - a. The Gross Floor Area (GFA) calculation used on Sheet A 0-1, utilizing the 2018 Stonington Land Records, does not directly translate to FAR. For the purposes of calculating floor area ratio, roofed over space used for stairwells, elevators, accessory water tanks, and cooling towers shall not be counted toward gross floor area.⁶
 - b. The Enders Island Zoning Compliance Report (2018) confirms the GFA totals used by the applicant in developing this report. The Commission found the property in compliance at the time of the construction of the Chapel of Our Lady of the Assumption (2002).
3. As stated by the Zoning Enforcement Officer, an ongoing appeal [AAP 24-01] will go before the Zoning Board of Appeals (ZBA) on April 9, 2024.⁷ This appeal is not germane to discussion on the proposed application.
4. Per ZR §4.4.1.B, “buildings that are conforming in use and bulk standards but are non-conforming relative to setback requirements shall not be permitted to expand floor area within the required setback.” This application increases zoning compliance by demolishing structures within setback areas and situating the new structure outside of the 100 FT Coastal Jurisdiction Line (CJL) and 100 FT Non-Infringement Area.

The applicant has provided a revised application set in response to comments and questions raised at the March 19, 2024 meeting. The following items are included for review:

1. Topographic Survey [Dated: 11/01/23]
 - a. The applicant is utilizing the topographic survey that was developed in conjunction with **PZ2333CAM Enders Island** for the GFA and FAR calculations. A letter from licensed surveyor validating the total area of Enders Island within MHW and CJL lines has been included with the survey. [Dated: 3/20/24]

⁶ Refer to Zoning Regulations §20.0 for Floor and Floor Area Terms.

⁷ ZBA public hearing date revised to June 11, 2024.

2. Revised Site Plan Set [Dated: 5/14/24]
3. Response to Town Engineer Comments [Dated: 5/13/24]
4. Revised Stormwater Management Report [Dated: 5/14/24]
5. Presentation Set [Dated: 5/14/24]
6. Architectural Plan Set and FAR Analysis [Dated: 5/14/24]
7. Traffic Impact Report [Dated: 5/14/24]

Considering the limited time available for Town staff and the general public to review and comment on the revised application materials, additional time is requested to provide comprehensive commentary to the Commission.

The Department of Planning recommends no decision be made on the application this evening.

Recommended Stipulations

Should the Commission decide to approve this application, the Department of Planning recommends the following stipulations of approval:

1. The applicant shall provide Town staff with a complete and final set of application materials, incorporating all revisions and responses to comments to the satisfaction of the Town Engineer and Town Planner.
2. Prior to the development of final plans for signature or the issuance of any permits or approvals, the applicant shall address any outstanding concerns or deficiencies identified by Town staff in review of the final application materials.
3. Final plans shall be reviewed to the satisfaction of the Town Engineer and Town Planner.
4. Final plans shall be signed by the Commission and recorded in the Town's Land Evidence Records.
5. The applicant shall acknowledge that modifications or amendments to the approved application must receive prior approval from the Commission and/or Town staff, as applicable. The Commission reserves the right to conduct additional reviews of the application, as deemed necessary, to ensure compliance with approved plans and regulations.
6. The applicant shall comply with all applicable codes and regulations of the Town of Stonington, as well as any additional conditions or requirements stipulated by the Commission or Town staff.
7. The applicant shall be responsible for all costs associated with the review, approval, and implementation of the project, including but not limited to permit fees, inspection fees, and any required mitigation measures.
8. The applicant shall post an Erosion and Sedimentation Control Bond prior to the issuance of a Zoning Permit. The bond shall be either in the form of a certified check or irrevocable letter of credit meeting the requirements of ZR §15.4.3. The bond amount shall be established by the Town Engineer after an estimate of the costs of installing and maintaining appropriate erosion and sedimentation control measures is provided by the applicant and approved by the Town Engineer. Work shall remain bonded for a minimum of one year from the date of Zoning Compliance.

9. Failure to comply with any of the stipulations outlined herein may result in the revocation of permits or approvals issued by the Commission or Town of Stonington.

Commission Action Required

The Commission is required to make a determination on the following items:

- A decision concerning the Site Plan Application (SPA)
- A decision on the Coastal Area Management (CAM) application

Section 9.2.8 – The Commission may approve, deny, or modify with conditions any project within the CAM boundary. In addition, the Commission may require additional erosion and sediment control measures, measures to mitigate any adverse impacts, pedestrian access easements, visual access easements, and conservation easements, and may require a design review in accordance with Section 17.1 of these regulations if the project is proposed for an area which has been designated as a viewshed or resource area in the Plan of Conservation and Development.

MAY 13, 2024

www.bscgroup.com

Mr. Christopher Greenlaw, PE
Town Engineer
152 Elm Street
Stonington, CT 06378

RE: Response to Engineering Comments
Proposed Improvements at 1 Enders Island

Dear Mr. Greenlaw,

BSC Group, Inc. (BSC) is pleased to submit this response to the engineering and floodplain management comments on the above-mentioned project, dated March 7, 2024, prepared by CLA Engineers, Inc. and dated March 8, 2024, prepared by SLR International Corporation, respectively. BSC has completed its updates to the plan set for the Proposed Improvements at 1 Enders Island in Mystic, CT. The updated plans are included with this response.

Please find below BSC's responses to floodplain management comments:

1. *The proposer must confirm that no fill will be placed in the VE zone, in particular as part of construction of the leaching area.*

BSC Response: The VE Zone line has been added to the plans for reference. There is no fill proposed within the VE zone.

2. *The proposer should evaluate whether excavation of a ramp to the basement will expose the basement to flooding, and take appropriate action.*

BSC Response: The basement will be used for storage only. The gravel driveway and basement elevation are graded such that they will drain back towards the perimeter of the island and not trap water.

Please find below BSC's responses to engineering comments:

1. *The application indicates a two phased project. The phasing should be depicted on the project plans.*

BSC Response: To clarify, the proposed project will not be a phased project, rather the Contractor will sequence the construction in a manner that minimizes site disturbance at any given time. The general anticipated sequence of construction is for the demolition of the maintenance building, construction of Kenyon Cottage, and then demolition of Angel Hall, all performed by a single Contractor under a single Contract.

2. *We recommend that the suggest construction sequence be expanded, and additional details be provided. Especially regarding phasing, sequencing of building demolition, stockpiling in the demolished building area, septic and utility demolition, and installation. Town staff should be invited to the preconstruction meeting.*

BSC Response: The suggested construction sequence has been expanded to include the sequence of building demolition and construction, as well as utility work and stockpiling of topsoil. The Town of Stonington will be notified of and invited to the Pre-Construction meeting. Please refer to Sheet G-1.0 for updated notes.

3. *Although the 2024 Water Quality Manual and E&S Manual are not effective until the end of this month, we recommend reference be made to the new manuals, and provisions be adhered to where feasible.*

BSC Response: The project has been designed with the new 2024 standards in mind. The goal is to meet the requirements of the WQM to the maximum extent practicable. The rainwater harvesting system was sized based on the new WQM. The References to the new standards have been added to the plans.

4. *Assuming the other areas of the facility will remain in operation during construction.*
 - a. *We would recommend construction fencing surrounding the work area.*
 - b. *An area for temporary parking should be designated. The existing gravel parking lot appears to be used for a stockpiling and stage area.*

BSC Response: Construction fencing has been added to Sheet C-1.1 and C-1.2. The stockpile location has been removed the gravel parking lot. The parking lot will no longer be impacted or disturbed by the construction, therefore we have not designated any additional temporary parking.

5. *It appears that two ADA marked parking spaces will be removed and replaced with one new ADA space. The Applicant should demonstrate there is adequate ADA parking for the site.*

BSC Response: In addition to the accessible parking space provided at the proposed building (which has a single accessible unit), the main campus gravel parking lot currently includes signage for two (2) accessible parking spaces. While it is difficult to quantify the exact capacity of the gravel parking lot, three (3) accessible parking spaces can support up to 72 additional vehicle spaces on the campus, which we believe exceeds the actual campus capacity.

6. *There is proposed work within the 100-year floodplain and access to the facility is through the 100-year floodplain. We recommend that provisions of the facility flood contingency plan be added to the plan set.*

BSC Response: Flood contingency notes during construction have been added to Sheet G-1.0.

7. *Do the 8" PVC yard drain culverts have capacity for the proposed flow?*

BSC Response: The catchment areas for the proposed yard drains are small. The intent is to allow the lawn areas in front of the building to drain. However, the pipes have been increased to 12-inch as a factor of safety.

8. *Will the new yard drain and footing drain discharge create erosion down the slope to the south, or any icing issues over the existing perimeter road?*

BSC Response: The intent for the drainage outlets is to discharge into stone splash pads to dissipate the energy. Currently, a large impervious area discharges across the perimeter road in this vicinity. The proposed site and drainage improvements aim to reduce this volume of runoff, which will improve the condition. There are no known issues from the Owner regarding icing of the pavement on the perimeter road. Additionally, it is preferred to keep drainage improvements outside of the Town of Stonington 100-Foot Non-Infringement Zone.

9. *Construction details for the CIP concrete retaining wall should be provided.*

BSC Response: The concrete retaining wall will be cast as part of the building foundation, to be designed by the project Structural Engineer prior to applying for a building permit.

10. *More substantial E&S measures should be provided downgrade of the proposed septic system. Perhaps silt fence back by straw bales, or similar.*

BSC Response: Staked strawbales backed by silt fence have been added to Sheet C-1.1 as suggested.

11. *A potential location for the dewatering hay bale basin (type 1) should be shown.*

BSC Response: A dewatering basin location has been added to Sheet C-1.1.

12. *Filter inserts have been proposed for the yard drains in the narratives for the project. We would recommend a call-out be added to the plans, or detail.*

BSC Response: A callout has been added to Sheet C-3.1 to indicate filter inserts during construction.

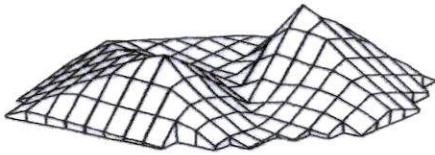
Please feel free to contact me at mstephan@bscgroup.com or 617-896-4554 should you wish to discuss any of these responses.

Sincerely,
BSC Group-Connecticut, Inc.



Matt Stephan, P.E.

Project Engineer - Associate



Resource Management & Mapping

61 Liberty Street, Chester, CT 06412 860.526.2530 fred.guenther.rmm@gmail.com

March 20, 2024

Keith Neilson, PE
Docko Inc
PO Box 421
Mystic, CT 06355

Re: Calculated Areas on Enders Island

Dear Keith:

Per your request, I have calculated the areas included in the perimeters of both Mean High Water (MHW) and the Coastal Jurisdiction Line (CJL) surrounding Enders Island. The data and locations of the tidal lines are per the topographic survey I conducted in 2023.

The areas are as follows:

Mean High Water Perimeter

448,047 SQ FT M/L / 10.29 ACRES M/L

Coastal Jurisdiction Line Perimeter

435,942 SQ FT M/L / 10.01 ACRES M/L

*M/L = more or less

We had also discussed the possibility of the causeway being included in the total area. I quickly inspected the limits of the causeway per DEEP aerial photos, which results in an approximate area of 22,067 SQ FT M/L / 0.51 ACRES M/L. I'm not certain that it's necessary to include the causeway as it may be a separate parcel than the island. Deed research would likely reveal the answer here.

Please let me know if you have any questions.

Regards,

Fred Guenther, LS



REVISED

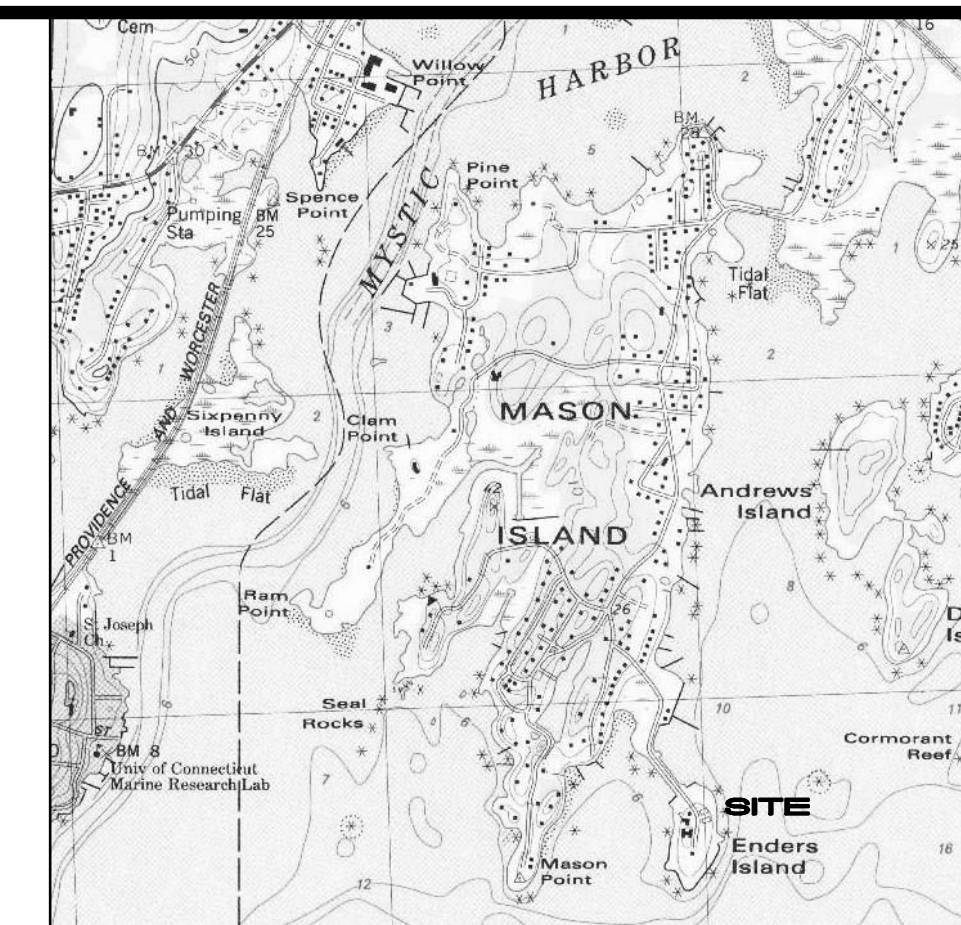
PZ2402SPA/CAM

TOWN OF CHESTER
PLANNING & ZONING

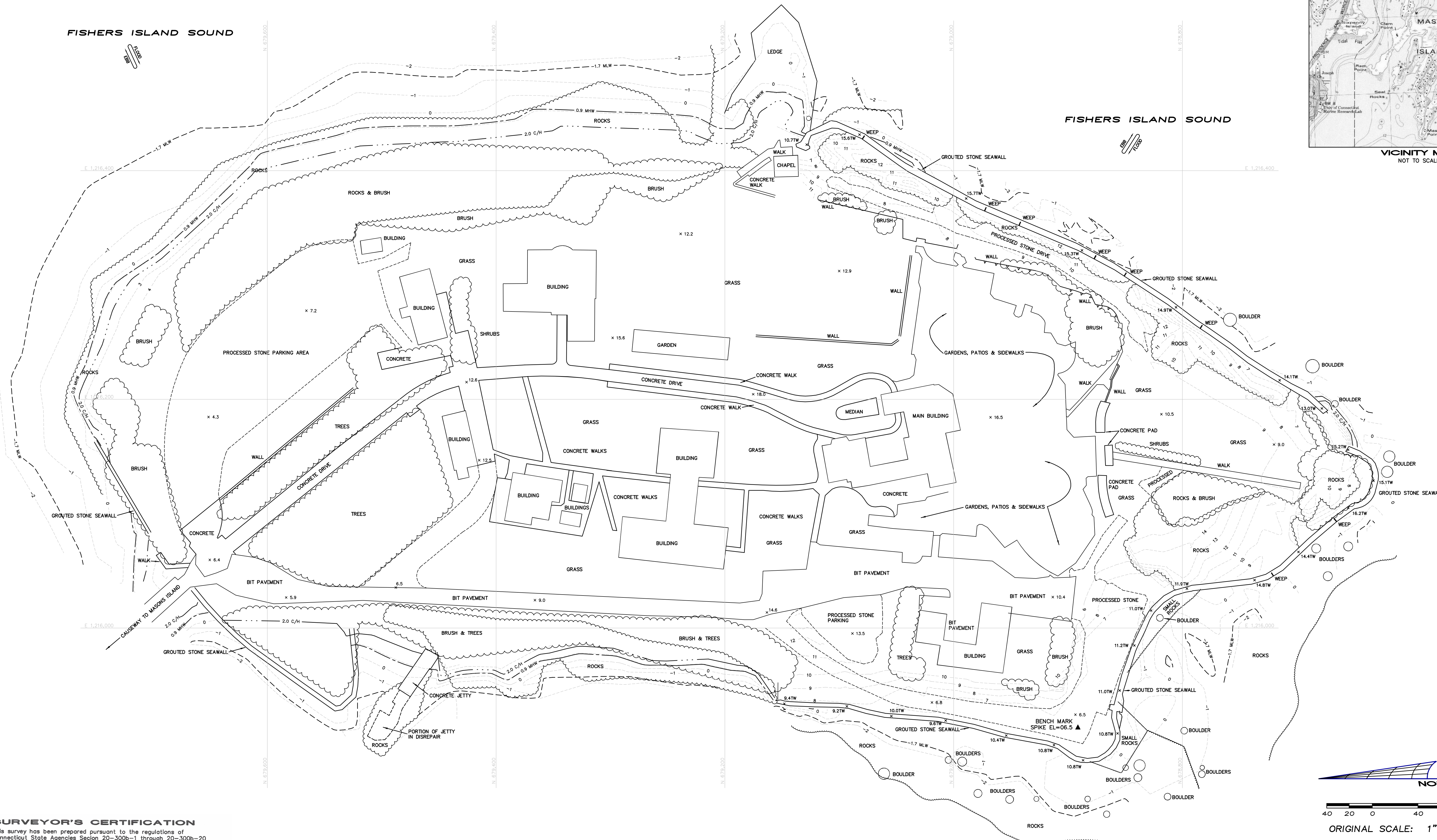
2024 MAY 14 P 3:50

RECEIVED

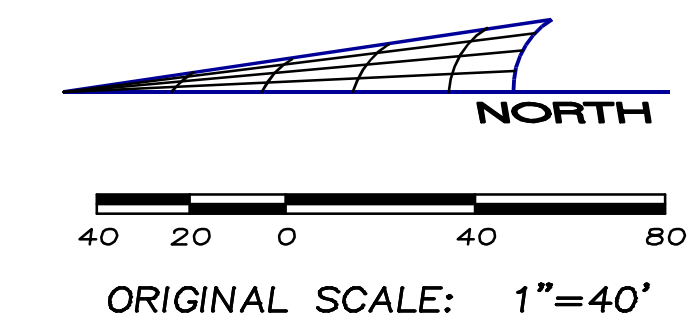
FISHERS ISLAND SOUND



VICINITY MAP
NOT TO SCALE



FISHERS ISLAND SOUND



SURVEYOR'S CERTIFICATION
 This survey has been prepared pursuant to the regulations of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards For Surveys And Maps In The State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc., on September 26, 1996.
 The horizontal accuracy of the survey of the area upland of the mean low water line conforms to class A-2.
 The horizontal accuracy of the survey of the area waterward of the mean low water line conforms to a class B.
 All topographic information shown conforms to a class T-2.

To my knowledge and belief, this map is substantially correct as noted hereon

F. W. Guenther
 F.W. Guenther
 CT LS 16528
 Date 11-01-23

- NOTES**
1. This plan depicts a Topographic Survey conducted in September 2023.
 2. North and coordinates shown are referenced to NAD83.
 3. Elevations are referenced to NAVD88 and tidal elevations are as follows:
 COASTAL JURISDICTION/HIGH TIDE LINE (C/H) = 2.0
 MEAN HIGH WATER (MHW) = 0.9
 NORTH AMERICAN VERTICAL DATUM-1988 (NAVD) = 0.0
 MEAN SEA LEVEL (MSL) = -0.1
 MEAN TIDE LEVEL (MTL) = -0.2
 MEAN LOW WATER (MLW) = -1.7
 MEAN LOWER LOW WATER (MLLW) = -1.9

REVISIONS
 11-01-23 ADDED CONTOURS TO INTERTIDAL ZONE NORTH OF SEAWALL SURVEY

TOPOGRAPHIC SURVEY
 PROPERTY OF
 ST EDMUND OF CONNECTICUT INC
 ENDERS ISLAND
 MYSTIC-STONINGTON, CT

**RESOURCE MANAGEMENT
 and MAPPING**
 SURVEYING/MAPPING GPS

61 LIBERTY STREET, CHESTER, CT 06412 860.526.2530
 project no. 23.025 date 10-04-23 sheet 1 of 1

COPYRIGHT RESOURCE MANAGEMENT & MAPPING

PROPOSED IMPROVEMENTS AT ST. EDMUND'S RETREAT

SITE PLAN REVIEW APPLICATION TO THE TOWN OF STONINGTON

1 ENDERS ISLAND MYSTIC, CONNECTICUT

FEBRUARY 20, 2024

REVISED: MAY 14, 2023

PARCEL NOTES:

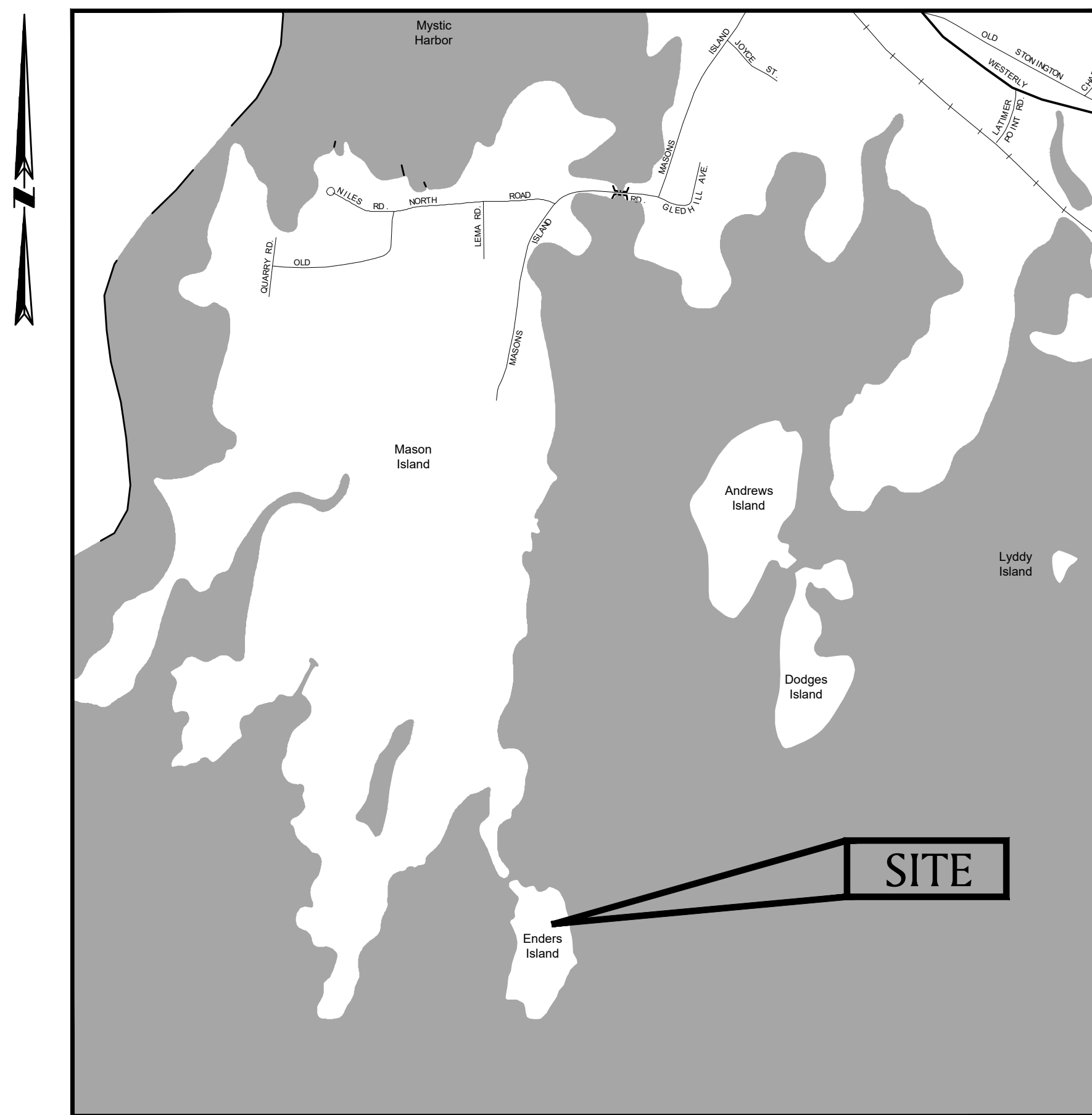
ZONE: RESIDENTIAL ZONE RC-120
MAP/BLOCK/LOT: 178-1-1-1

PREPARED BY:

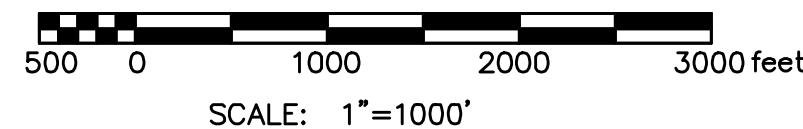


PREPARED FOR:

ST. EDMUND'S RETREAT, INC.
1 ENDERS ISLAND
MYSTIC, CT 06355



SITE MAP



ISSUED FOR SITE PLAN REVIEW

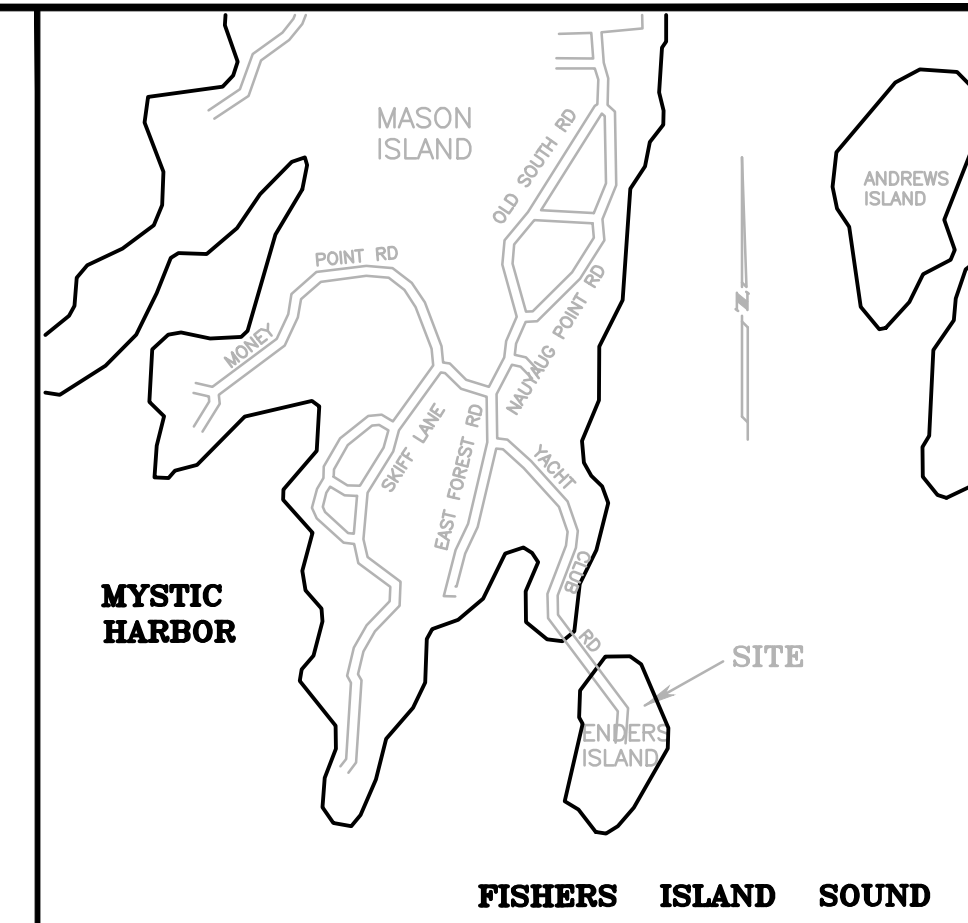
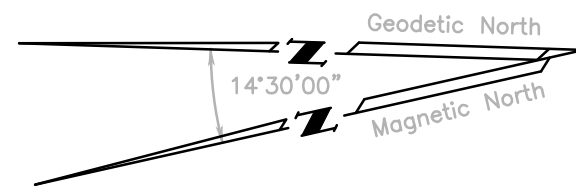
INDEX OF DRAWINGS

T-1.0	TITLE SHEET
SHEET 1	IMPROVEMENT LOCATION SURVEY
G-1.0	GENERAL SITE NOTES
OV-1.0	OVERALL SITE PLAN
C-1.1	SITE EROSION CONTROL & PREPARATION PLAN (KENYON COTTAGE)
C-1.2	SITE EROSION CONTROL & PREPARATION PLAN (PARKING LOT)
C-2.1	LAYOUT & MATERIALS PLAN (KENYON COTTAGE)
C-2.2	LAYOUT & MATERIALS PLAN (PARKING LOT)
C-3.1	GRADING, DRAINAGE & UTILITIES PLAN (KENYON COTTAGE)
C-3.2	GRADING, DRAINAGE & UTILITIES PLAN (PARKING LOT)
C-4.0 - 4.1	DETAILS
C-5.1	SUBSURFACE SEWAGE DISPOSAL DESIGN PLAN
L-1.1	PLANTING PLAN (KENYON COTTAGE)
L-1.2	PLANTING PLAN (PARKING LOT)
L-2.0	LANDSCAPING DETAILS
L-3.0	PHOTOMETRICS & LIGHTING DETAILS
AS-1	EXISTING SITE PLAN
A0-1	EXISTING STRUCTURE DATA TABLE
AS-2	DEMO SITE PLAN
AS-3	PROPOSED SITE PLAN
A0-2	PROPOSED STRUCTURE DATA TABLE
AS-4	ARCHITECTURAL SITE PLAN
A1-0 - 1-2	FLOOR PLANS
A3-1 - 3-2	EXTERIOR ELEVATIONS
A3-3 - 3-5	3D VIEWS

Approved by the Town Planning and Zoning Commission under
Petition # _____ at meeting on _____

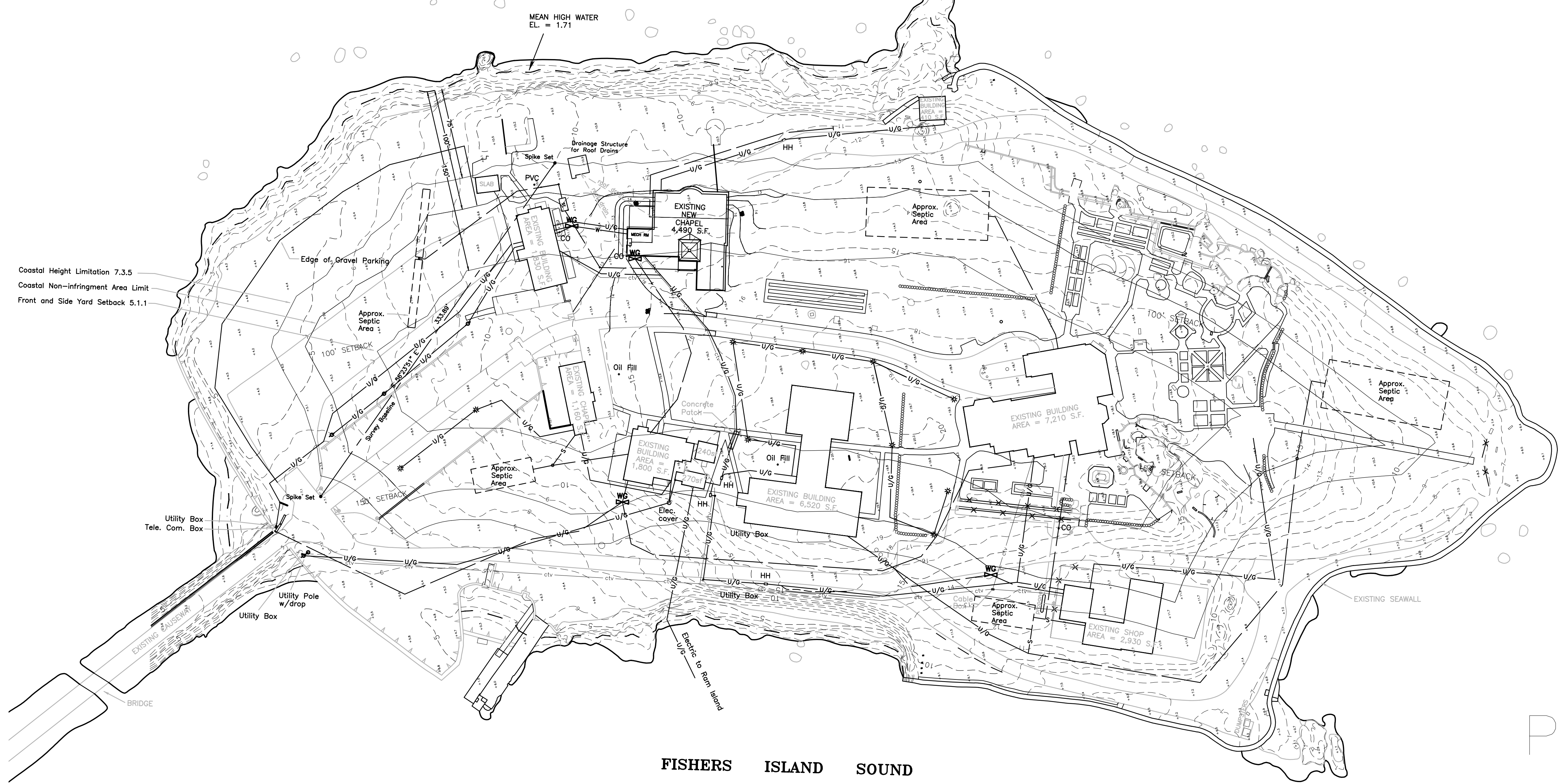
(date) _____ (Chairman's Signature) _____

Pursuant to Section 8-3(i) of the Connecticut General Statutes, all
work in connection with this approved Site Plan shall be
completed by: _____



LOCATION MAP SCALE: 1" = 1200'

FISHERS ISLAND SOUND



Coastal Height Limitation 7.3.5
Coastal Non-Infringement Area Limit
Front and Side Yard Setback 5.1.1

MEAN HIGH WATER
EL. = 1.71

- NOTES:
- 1.) This survey has been prepared pursuant to the Regulations of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996. This is an Improvement Location Survey. This plan was prepared from record research, other maps, limited field measurements and other sources. It is not to be construed as an accurate boundary survey and is subject to such changes an accurate boundary survey may disclose. This survey conforms to a Class A-2 Horizontal Accuracy Standard.
 - 2.) The as-built information depicted hereon is from a field survey performed September 24, 2003.

LEGEND

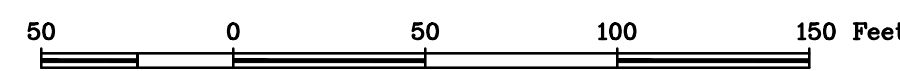
- W — WATER LINE
- WG WATER VALVE
- u/g — UNDERGROUND UTILITY SERVICE
- HH HAND HOLE
- ctv — CABLE TV SERVICE
- S — SEPTIC LINE
- CO CLEANOUT
- * LIGHT POLE
- U UTILITY POLE
- P — PROPANE LINE

PRELIMINARY

FISHERS ISLAND SOUND

IMPROVEMENT LOCATION SURVEY
PREPARED FOR
OUR LADY OF ASSUMPTION CHAPEL
SAINT EDMUNDS SOCIETY RETREAT & NOVITIATE
PLAT 178 BLOCK 1 LOT 1
ENDERS ISLAND
MYSTIC, CONNECTICUT

SCALE: 1" = 50' DRAWN BY: MEG
OCTOBER 2, 2003 CHECK BY: NDL

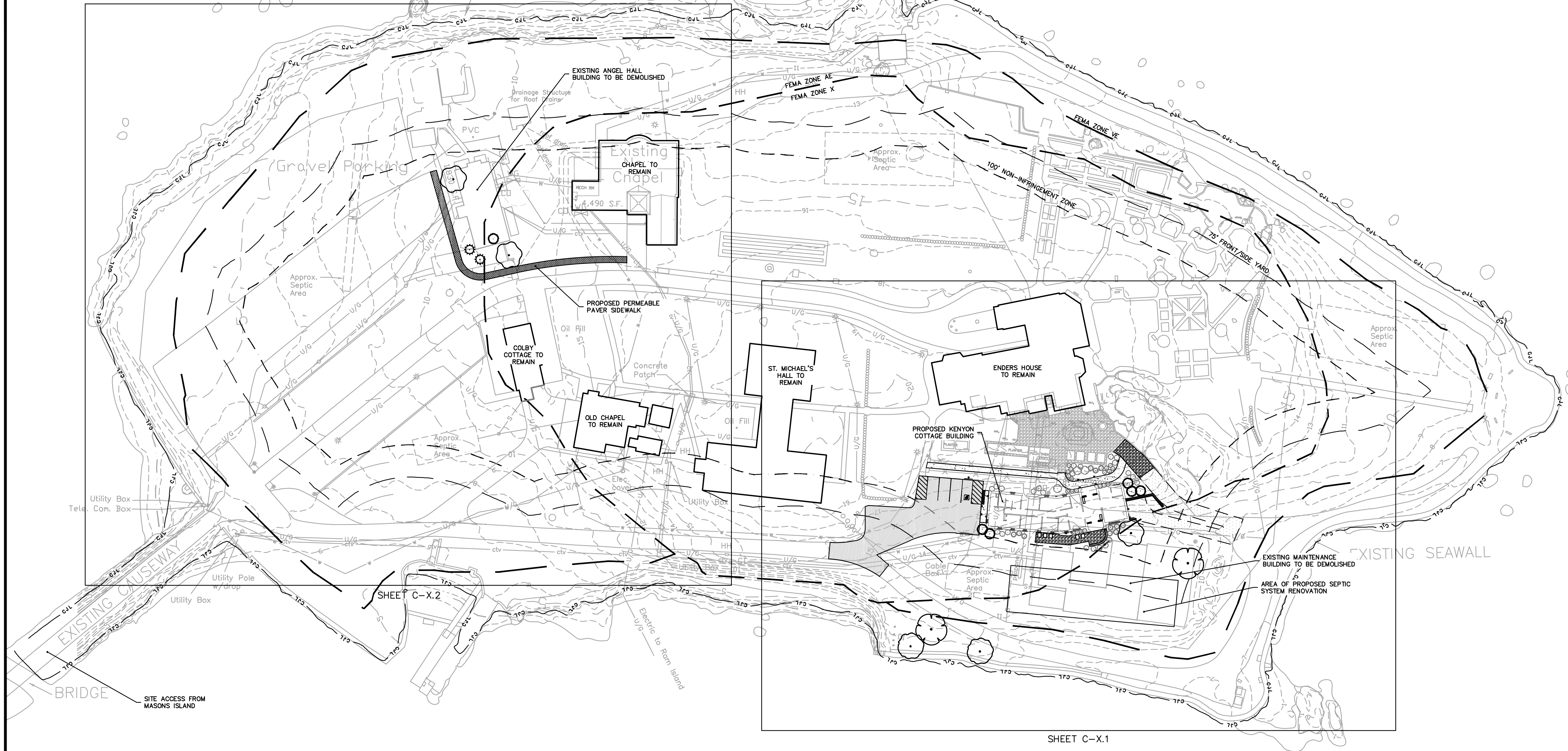


"To my knowledge and belief, this map is substantially correct as noted hereon."

CHERENZA & ASSOCIATES, LTD.
WESTERLY, RHODE ISLAND
SHEET: 1 OF 1 JOB NO.: 203146
FILE NO.:



MEAN HIGH WATER
EL. = 1.71



MATTHEW R. STEPHAN, PE NO. 34678

PROPOSED IMPROVEMENTS AT ST. EDMUND'S RETREAT

1 ENDERS ISLAND
IN
MYSTIC CONNECTICUT

OVERALL SITE PLAN

FEBRUARY 20, 2024

REVISIONS:		
NO.	DATE	REVISION
1	05/14/2024	REVISED PER P&Z COMMENTS

PREPARED FOR:
ST. EDMUND'S RETREAT
1 ENDERS ISLAND
MYSTIC, CT 06355

BSC GROUP
655 Winding Brook Drive
Glastonbury, Connecticut 06033
860 652 8227

© 2024 BSC GROUP, INC.
SCALE: 1" = 40'
0 20 40 80 FEET

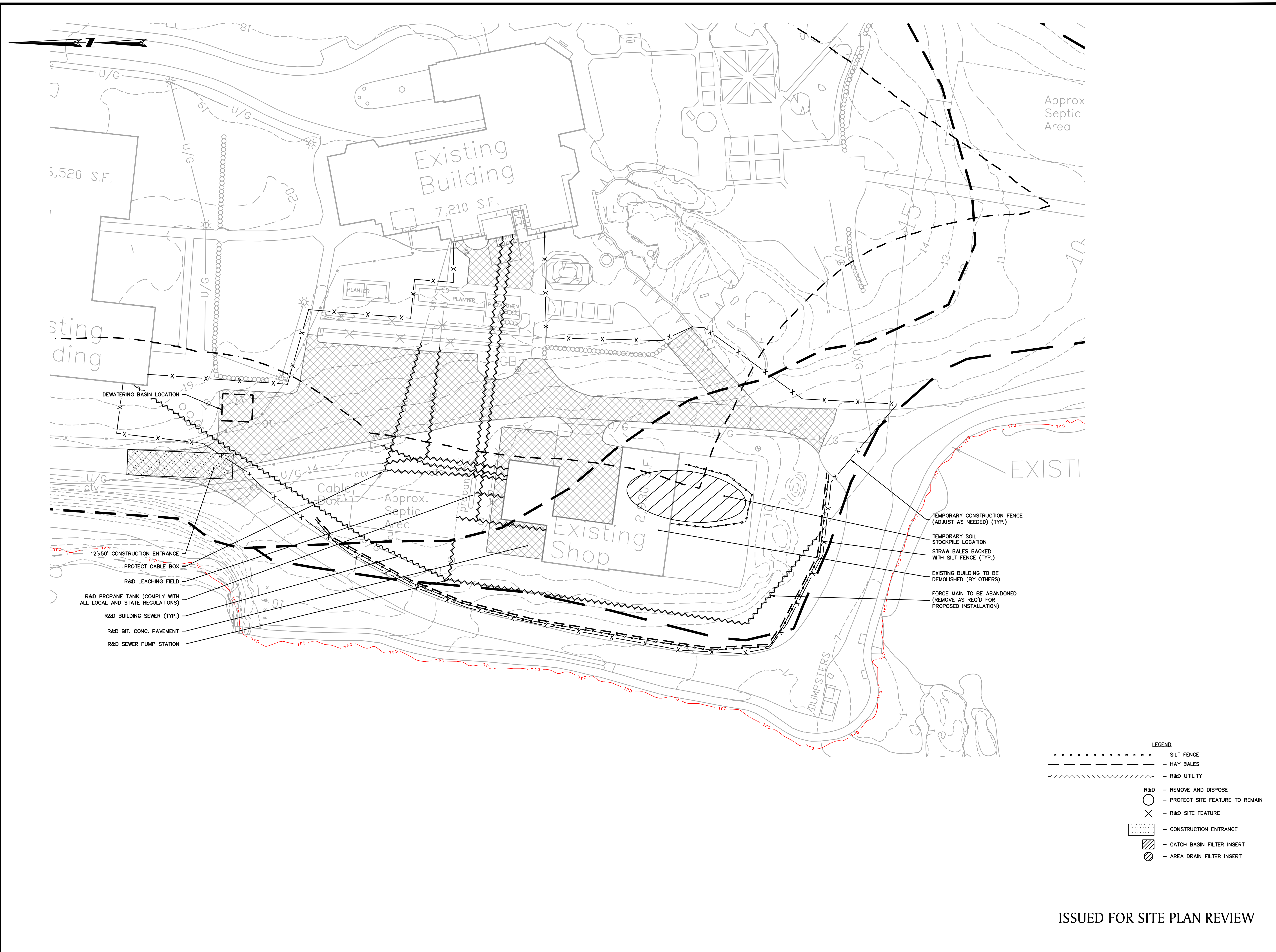
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DWG. NO:
JOB. NO: 83892.00

OV-1.0

RESIDENTIAL ZONE RC-120 BULK REQUIREMENTS								
	MINIMUM LOT AREA (SF)	MINIMUM FRONTAGE (FT)	MINIMUM FRONT YARD (FT)	MINIMUM SIDE YARD (FT)	MINIMUM REAR YARD (FT)	MAXIMUM HEIGHT (FT)	MAXIMUM FLOOR AREA RATIO	LOT COVERAGE (SF)
REQUIRED	120,000	300	75	75	100	25	0.083 ³	N/A
EXISTING	435,942 ⁴	N/A ¹	VARIES ²	VARIES ²	VARIES ²	VARIES ²	SEE ARCH. PLANS	106,981 (24.54%)
PROPOSED	435,942 ⁴	N/A ¹	106	106	106	22'-10"	SEE ARCH. PLANS	94,668 (21.72%)

¹ THE PROPERTY DOES NOT HAVE FRONTAGE ON AN EXISTING STATE OR TOWN STREET
² YARD AND HEIGHT REQUIREMENTS VARY PER BUILDING. EXISTING BUILDINGS CONSIDERED LEGAL NONCONFORMING.
³ VARIANCE WAS PREVIOUSLY GRANTED TO INCREASE THE FAR FROM 0.04 TO 0.083
⁴ AREA ABOVE COSTAL JURISDICTION LINE (C.J.L.), ELEVATION 2.0

ISSUED FOR SITE PLAN REVIEW



MATTHEW R. STEPHAN, PE NO. 34678

PROPOSED IMPROVEMENTS AT ST. EDMUND'S RETREAT

1 ENDERS ISLAND
IN
MYSTIC CONNECTICUT

SITE EROSION CONTROL & PREPARATION PLAN (KENYON COTTAGE)

FEBRUARY 20, 2024

REVISIONS:

NO.	DATE	REVISION
1	05/14/2024	REVISED PER P&Z COMMENTS

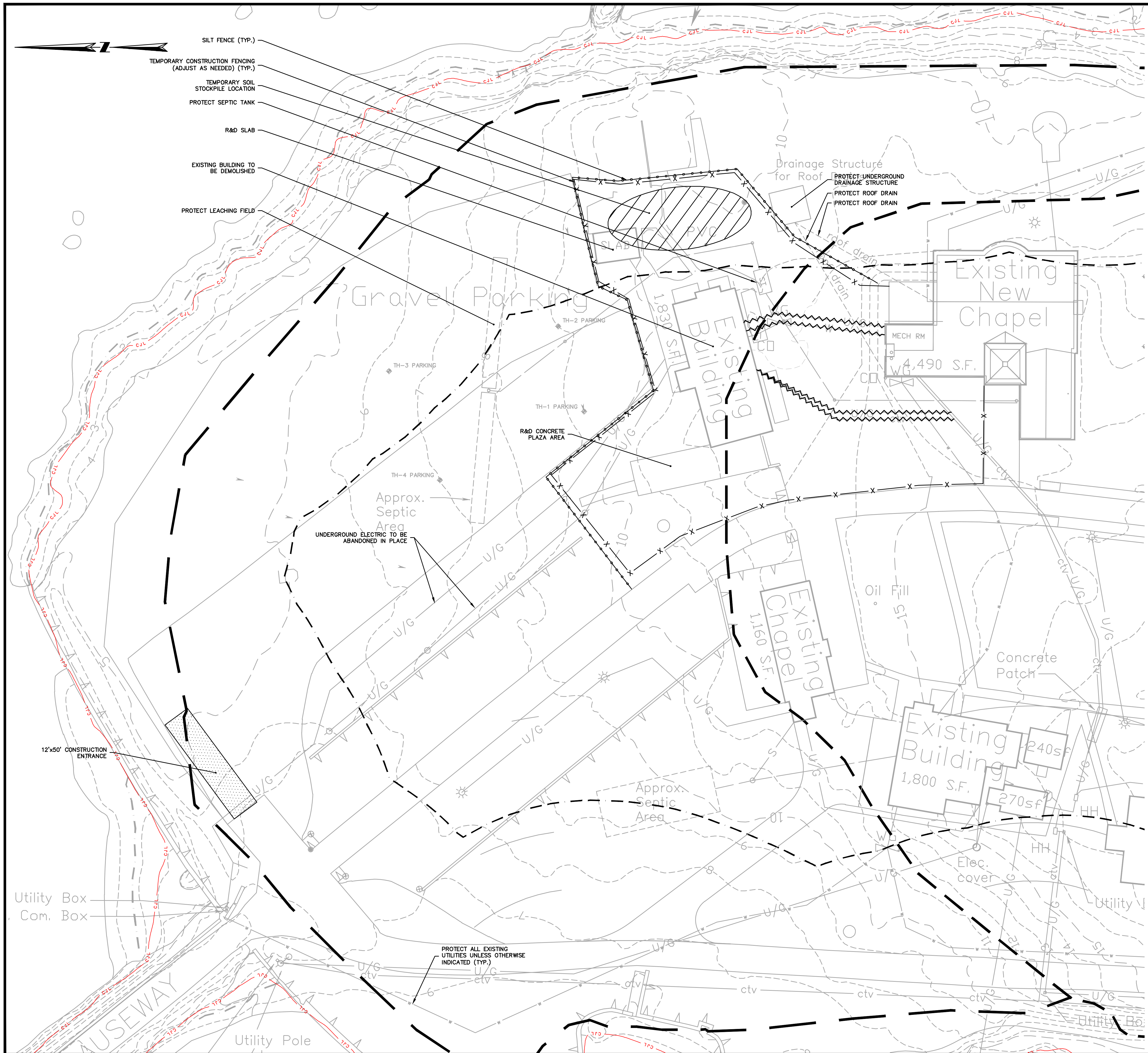
PREPARED FOR:
ST. EDMUND'S RETREAT
1 ENDERS ISLAND
MYSTIC, CT 06355

BSC GROUP
655 Winding Brook Drive
Glastonbury, Connecticut 06033
860 652 8227

© 2024 BSC GROUP, INC.
SCALE: 1" = 20'
0 10 20 40 FEET
FILE: P:\8389200\CIVIL\DRAWINGS
DWG. NO:
JOB. NO: 83892.00

ISSUED FOR SITE PLAN REVIEW

C-1.1



- SILT FENCE (TYP.)
- TEMPORARY CONSTRUCTION FENCING (ADJUST AS NEEDED) (TYP.)
- TEMPORARY SOIL STOCKPILE LOCATION
- PROTECT SEPTIC TANK
- R&D SLAB
- EXISTING BUILDING TO BE DEMOLISHED
- PROTECT LEACHING FIELD

- LEGEND**
- - - - - SILT FENCE
 - - - - - HAY BALES
 - - - - - R&D UTILITY
 - R&D - REMOVE AND DISPOSE
 - - PROTECT SITE FEATURE TO REMAIN
 - × - R&D SITE FEATURE
 - ▨ - CONSTRUCTION ENTRANCE
 - ▨ - CATCH BASIN FILTER INSERT
 - ▨ - AREA DRAIN FILTER INSERT



MATTHEW R. STEPHAN, PE NO. 34678

PROPOSED IMPROVEMENTS AT ST. EDMUND'S RETREAT

1 ENDERS ISLAND
IN
MYSTIC CONNECTICUT

SITE EROSION CONTROL & PREPARATION PLAN (PARKING LOT)

FEBRUARY 20, 2024

REVISIONS:

NO.	DATE	REVISION
1	05/14/2024	REVISED PER P&Z COMMENTS

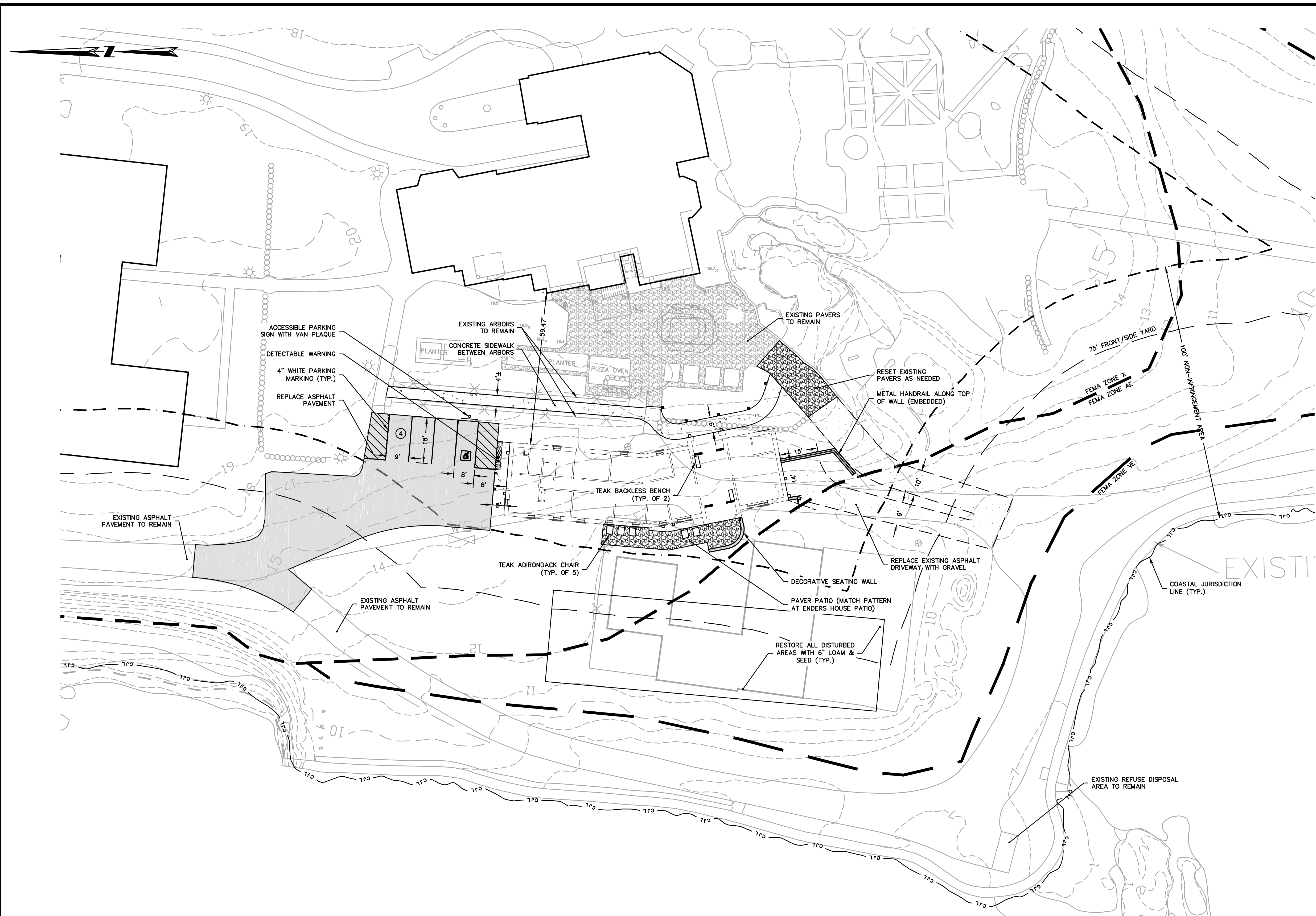
PREPARED FOR:
ST. EDMUND'S RETREAT
1 ENDERS ISLAND
MYSTIC, CT 06355

BSC GROUP
655 Winding Brook Drive
Glastonbury, Connecticut 06033
860 652 8227

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SCALE: 1" = 20'
0 10 20 40 FEET

FILE: P:\8389200\CIVIL_DRAWINGS
DWG. NO:
JOB. NO: 83892.00

ISSUED FOR SITE PLAN REVIEW



- LEGEND**
- YARD SETBACK
 - 100' NON-INFRINGEMENT ZONE
 - FEMA ZONE AE
 - FEMA ZONE X
 - PROPOSED PAVERS
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED GRAVEL SURFACE

ISSUED FOR SITE PLAN REVIEW



MATTHEW R. STEPHAN, PE NO. 34678

PROPOSED IMPROVEMENTS AT ST. EDMUND'S RETREAT

1 ENDERS ISLAND
IN
MYSTIC CONNECTICUT

LAYOUT & MATERIALS PLAN (KENYON COTTAGE)

FEBRUARY 20, 2024

REVISIONS:

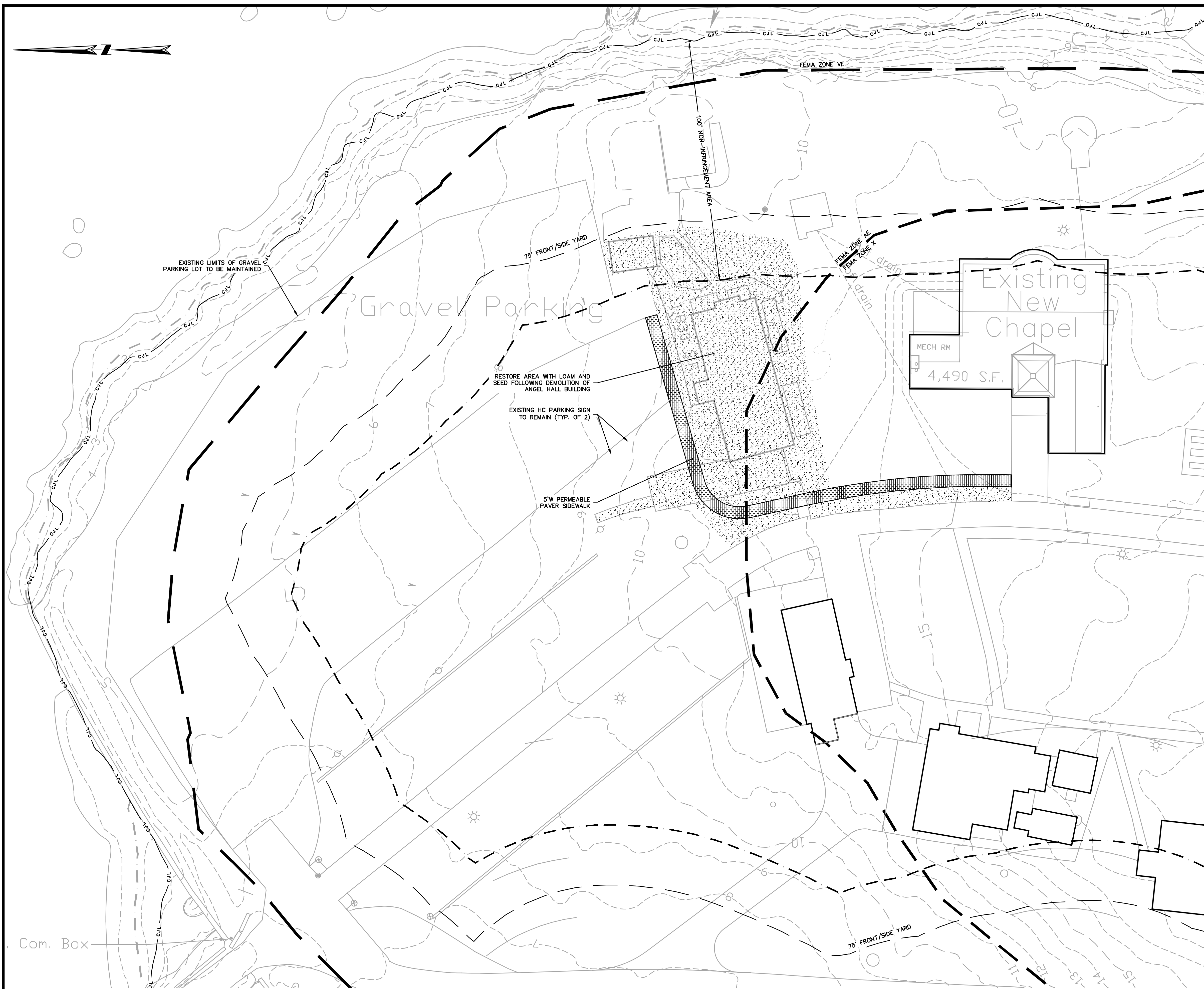
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LEGEND

- YARD SETBACK
- 100' NON-INFRINGEMENT ZONE
- FEMA ZONE AE
- PROPOSED PAVERS
- PROPOSED ASPHALT PAVEMENT
- PROPOSED GRAVEL SURFACE

ISSUED FOR SITE PLAN REVIEW



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1 ENDERS ISLAND
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LAYOUT & MATERIALS PLAN (PARKING LOT)

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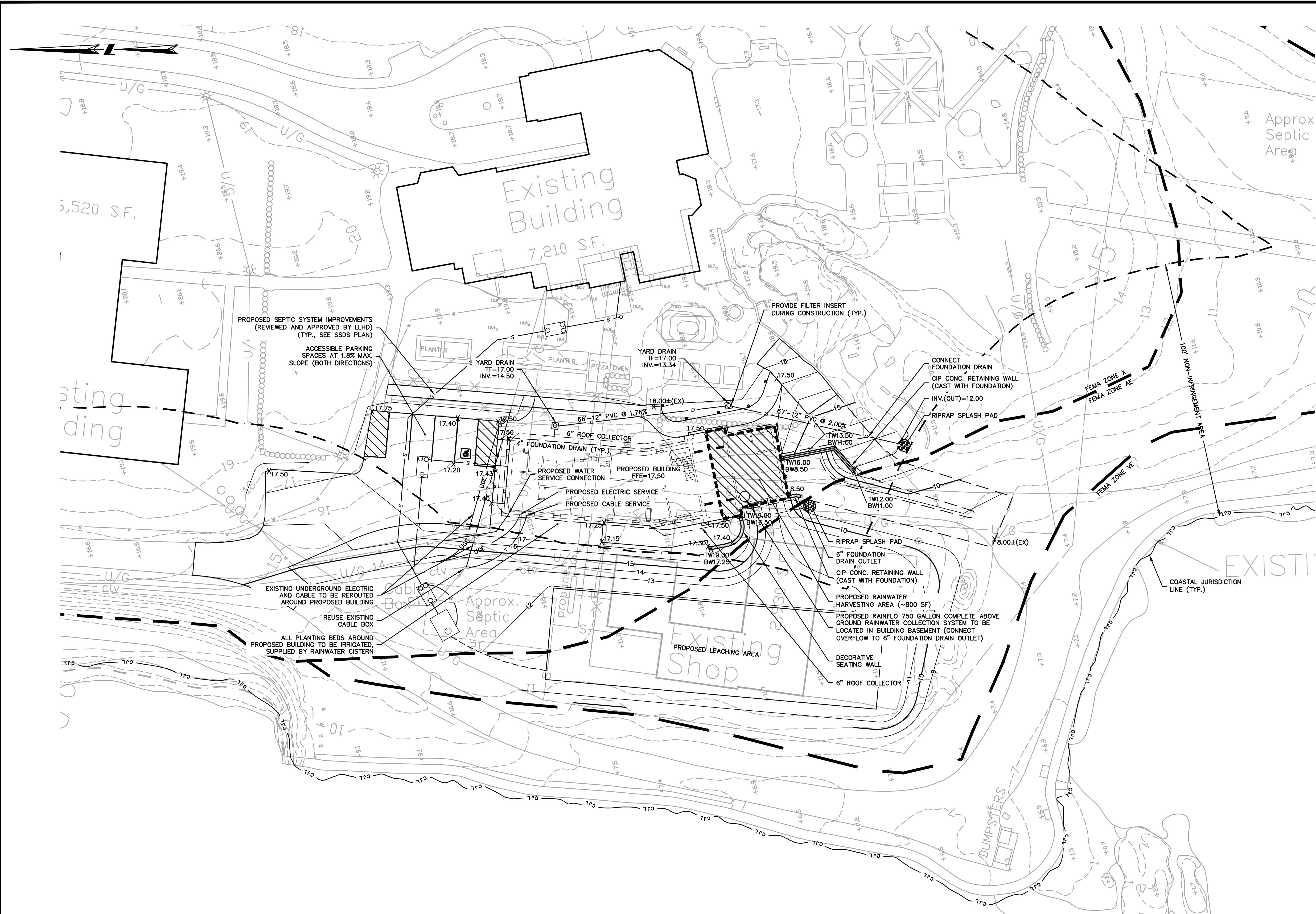
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DWG. NO:

JOB. NO: 83892.00

C-2.2

FEMA NOTES:
 NFIP FIRM PANEL NO.: 0529J
 FEMA FLOOD ELEVATION: EL. 12 (ZONE AE)



5,520 S.F.

Existing Building
7,210 S.F.

Existing Shop
2,330 S.F.

- LEGEND**
- 100 ——— TOPOGRAPHY: MAJOR INTERVAL
 - 99 ——— TOPOGRAPHY: MINOR INTERVAL
 - x100.00 TOPOGRAPHY: SPOT ELEVATION
 - TW ——— TOP OF WALL ELEVATION
 - BW ——— BOTTOM OF WALL ELEVATION
 - TF ——— TOP OF FRAME ELEVATION
 - CIP ——— CAST-IN-PLACE
 - CST ——— CONSTANT ELEVATION
 - D — D ——— STORM DRAINAGE PIPE
 - D — D ——— YARD DRAIN (YD)
 - D — D ——— UNDERDRAIN
 - D — D ——— ROOF LEADER COLLECTOR PIPE
 - D — D ——— DRAINAGE SLOPE DIRECTION

ROOF DRAINAGE NOTE:
 ALL ROOF DOWNSPOUTS WITHIN THE DESIGNATED RAINWATER HARVEST AREA SHALL BE COLLECTED AND PIPED TO THE PROPOSED RAINWATER COLLECTION SYSTEM TANK. ALL OTHER ROOF DOWNSPOUTS SHALL BE CONNECTED TO THE 6-INCH ROOF LEADER COLLECTOR PIPE.

RAINWATER CISTERN SIZING:
 PROPOSED ROOF AREA: 800 SF
 WATER QUALITY STORM: 1.3 IN RAINFALL
 STORAGE VOL.: 800 SF x 1.3 IN x 1 FT/12 IN x 7.48 GAL./CF = 648 GALLONS
 PROPOSED TANK SIZE: 750 GALLONS
 PRETREATMENT PROVIDED: ROOF RUNOFF ONLY, NO PRETREATMENT REQUIRED



MATTHEW R. STEPHAN, PE NO. 34678

PROPOSED IMPROVEMENTS AT ST. EDMUND'S RETREAT

1 ENDERS ISLAND
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 MYSTIC CONNECTICUT

GRADING, DRAINAGE & UTILITIES PLAN (KENYON COTTAGE)

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 JOB. NO: 83892.00

C-3.1



FEMA NOTES:
 NFIP FIRM PANEL NO.:0529J
 FEMA FLOOD ELEVATION: EL. 12 (ZONE AE)



MATTHEW R. STEPHAN, PE NO. 34678

PROPOSED IMPROVEMENTS AT ST. EDMUND'S RETREAT

1 ENDERS ISLAND
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GRADING, DRAINAGE & UTILITIES PLAN (PARKING LOT)

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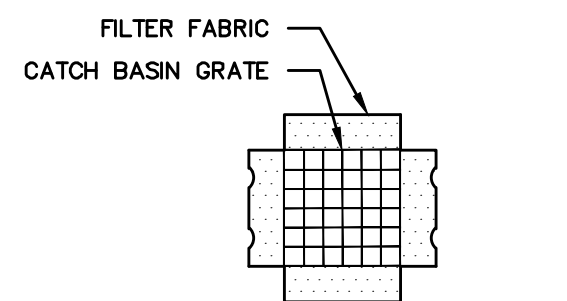
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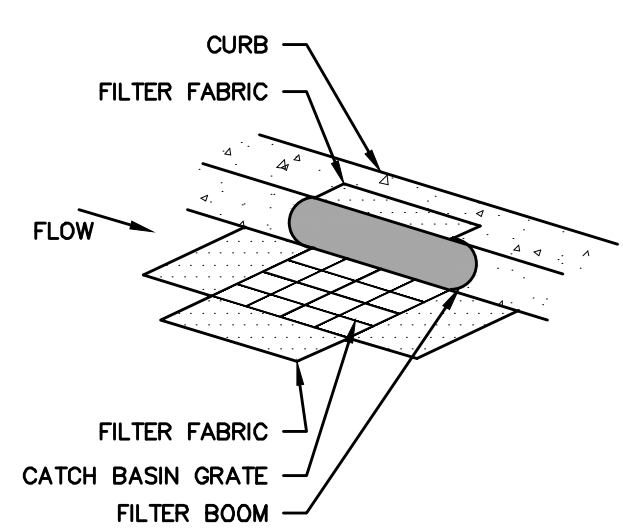
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C-3.2

- LEGEND**
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 - 99 — TOPOGRAPHY: MINOR INTERVAL
 - x100.00 — TOPOGRAPHY: SPOT ELEVATION
 - TW — TOP OF WALL ELEVATION
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 - CST — CONSTANT ELEVATION
 - — STORM DRAINAGE PIPE
 - ☒ — YARD DRAIN (YD)
 - — UNDERDRAIN
 - — ROOF LEADER COLLECTOR PIPE
 - ↘ — DRAINAGE SLOPE DIRECTION

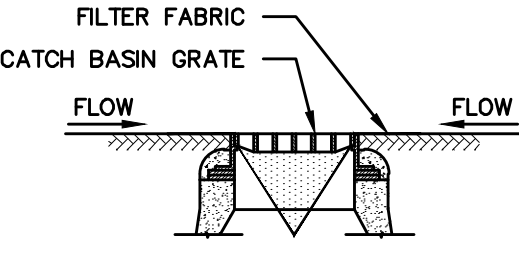
ISSUED FOR SITE PLAN REVIEW



TYPE "C-1" CATCH BASIN - PLAN VIEW



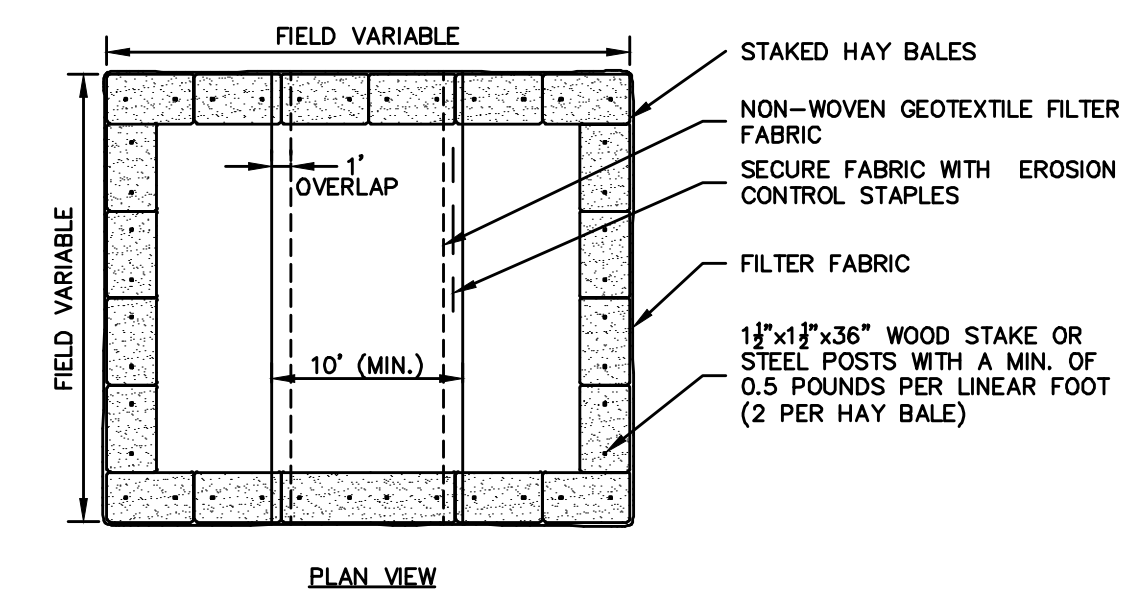
TYPE "C" CATCH BASIN



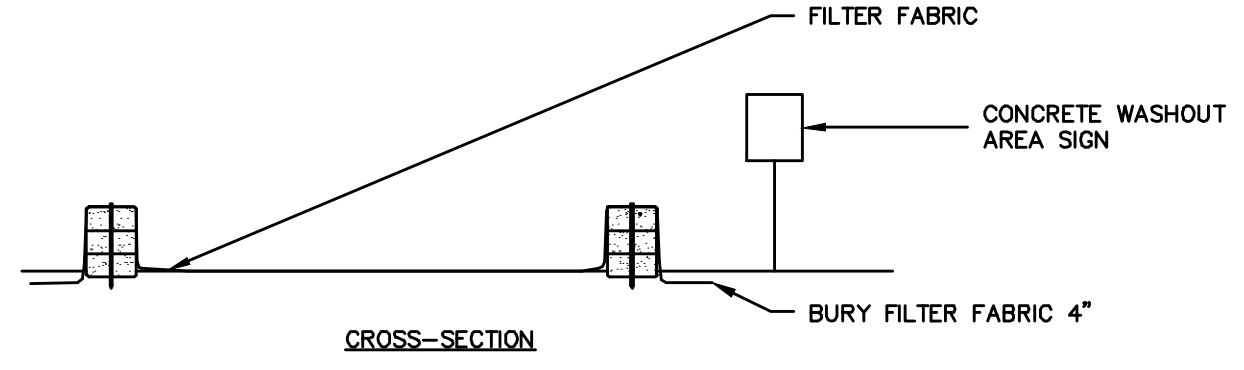
TYPE "C-1" CATCH BASIN - SECTION VIEW

GENERAL NOTES

1. PROVIDE INLET PROTECTION TO ALL EXISTING CATCH BASINS IN THE VICINITY OF CONSTRUCTION. PROTECT NEW CATCH BASINS AS THEY ARE CONSTRUCTED.
2. GRATE TO BE PLACED OVER FILTER FABRIC.



PLAN VIEW



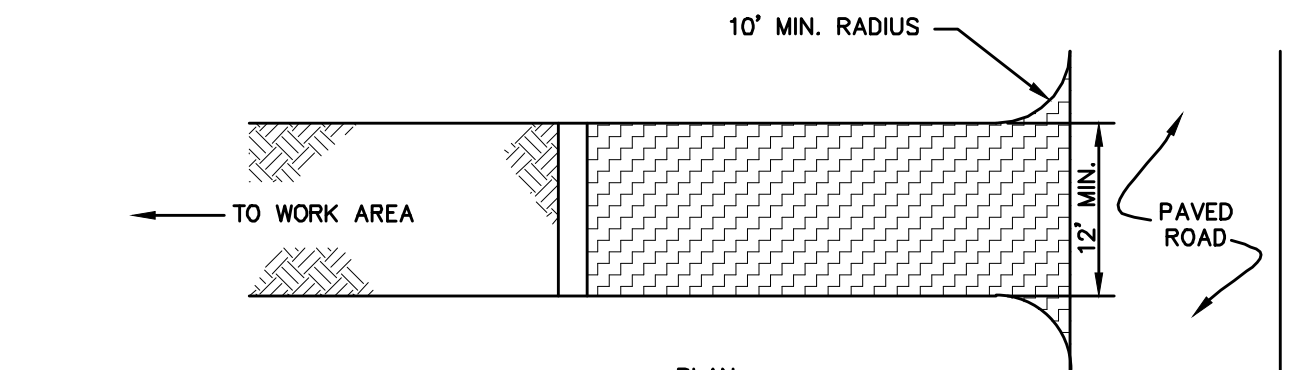
CROSS-SECTION

NOTES:

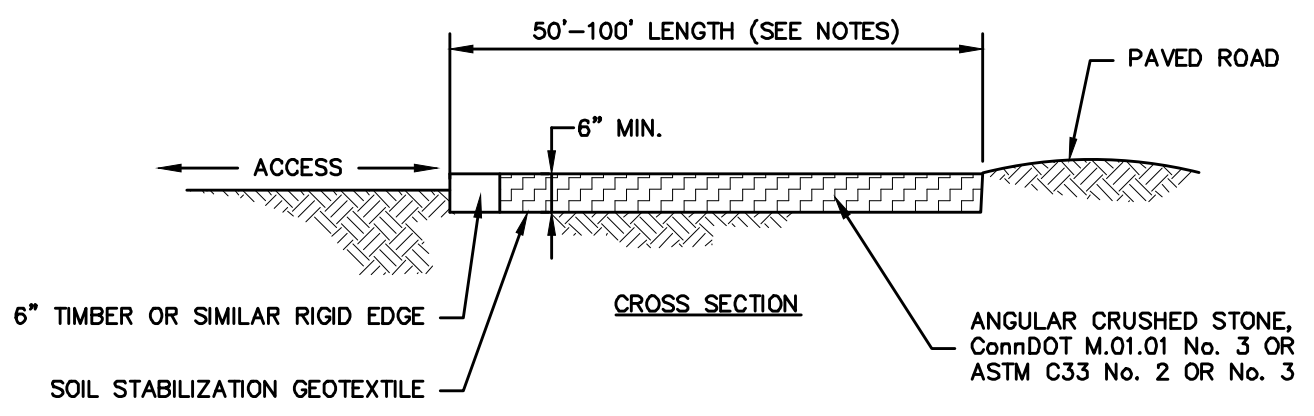
1. CONSTRUCT WASHOUT AREA LARGE ENOUGH TO ENSURE MATERIALS WILL BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.
2. WASHOUT AREA SHALL BE LARGE ENOUGH TO RETAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT OPERATION.
3. WEEKLY INSPECTIONS OF WASHOUT AREAS SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE WASHOUT AREA.

TEMPORARY CONCRETE WASHOUT AREA

SCALE: NONE



PLAN



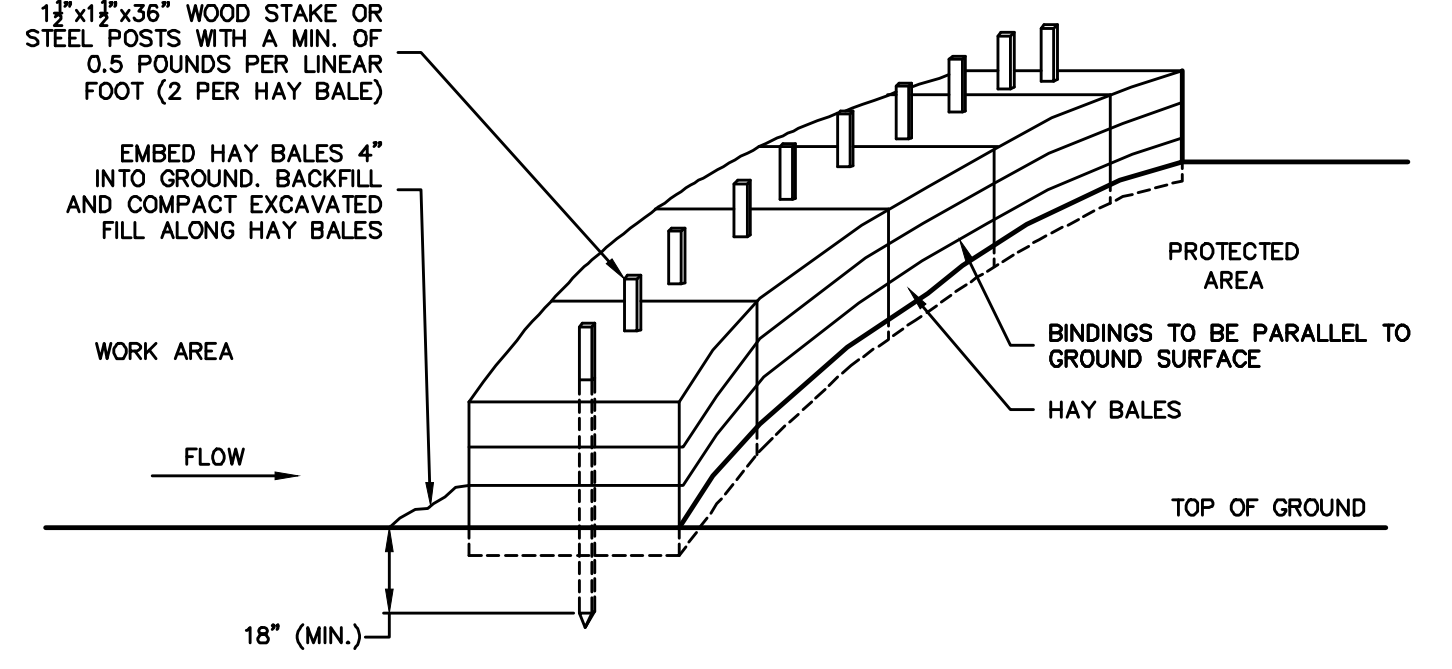
CROSS SECTION

NOTES:

1. REMOVE TOPSOIL AND ORGANICS PRIOR TO CRUSHED STONE PLACEMENT.
2. INSTALL SUB-BASE OF FREE DRAINING BACKFILL OR ROAD STABILIZATION GEOTEXTILE AS NECESSARY ON UNSTABLE SOILS.
3. LENGTH SHALL BE 50 FOOT MINIMUM. WHERE TRACKED SEDIMENTS CONTAIN LESS THAN 80% SAND, LENGTH SHALL BE 100 FOOT MINIMUM.
4. IF THE GRADE OF THE CONSTRUCTION ENTRANCE DRAINS TO THE PAVED SURFACE AND IT EXCEEDS 2% SLOPE, CONSTRUCT ENTRANCE AT LEAST 15 FEET FROM ITS ENTRANCE ONTO THE PAVED SURFACE WHILE DIVERTING RUN-OFF WATER TO A SETTLING OR FILTERING AREA.
5. CONSTRUCT ANY DRAINAGE AND SETTLING FACILITIES REQUIRED TO ACCOMMODATE VEHICLE WASHING OPERATIONS. DIVERT ALL WASH WATER AWAY FROM ENTRANCE TO THE SETTLING AREA.
6. MAINTAIN ENTRANCE IS A CONDITION THAT WILL PREVENT WASHING OF PAVED SURFACES.

CONSTRUCTION ENTRANCE

SCALE: NONE
EC-101-CT



GENERAL NOTES

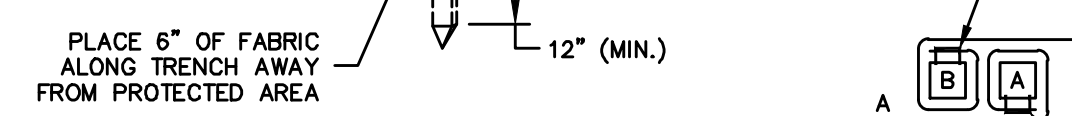
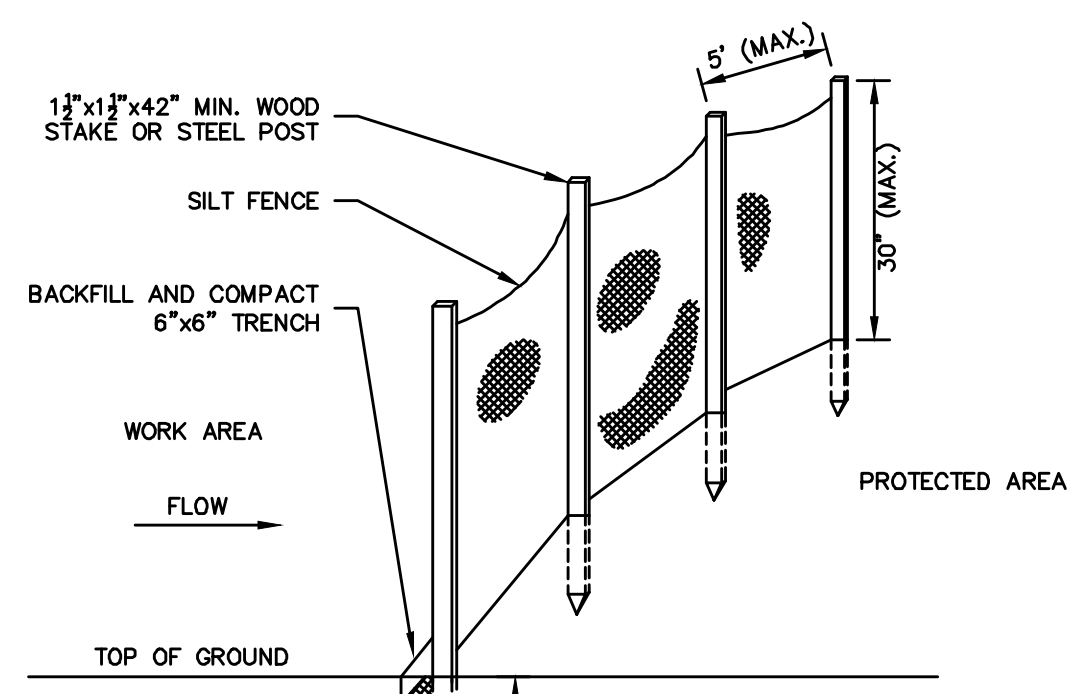
1. STRAW BALES SHALL BE MADE OF STRAW WITH 40 POUND MIN. WEIGHT AND 120 POUND MAX. WEIGHT HELD TOGETHER BY TWINE OR WIRE.
2. PLACE STRAW BALES ON CONTOUR AND WING THE LAST STRAW BALES UP SLOPE SO THAT THE TOP OF THE LAST SEVERAL STRAW BALES ARE HIGHER THAN THE LINE OF STRAW BALES.
3. DRIVE FIRST STAKE IN EACH BALE TOWARD THE PREVIOUSLY LAID BALE TO FORCE THEM TOGETHER.
4. PUT ONE BALE PERPENDICULAR ALONG BALE BARRIER EACH 100 FEET.

STRAW BALE BARRIER

SCALE: NONE
EC-106-CT

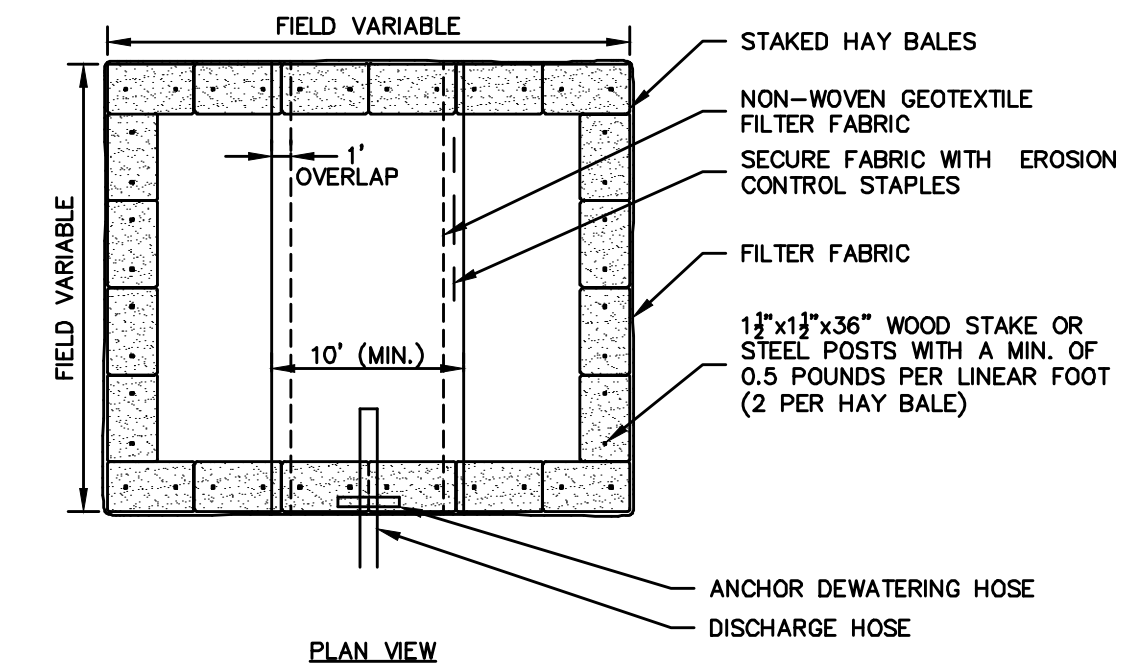
CATCH BASIN FILTER INSERT

SCALE: NONE

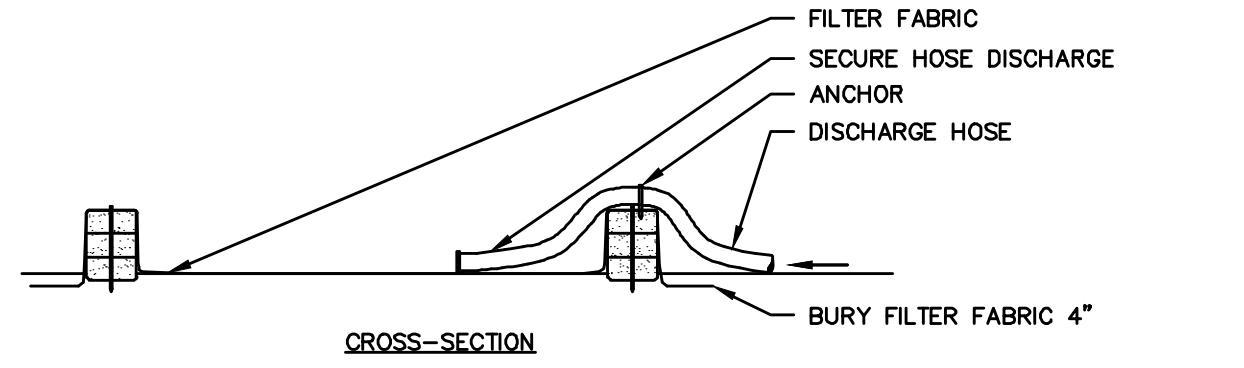


GENERAL NOTES

1. FOR SLOPE & SWALE INSTALLATIONS, EXTEND FENCE ON SLOPE SUCH THAT BOTTOM ENDS OF FENCE WILL BE HIGHER THAN THE TOP OF THE LOWEST PORTION OF FENCE.
2. FOR FENCE INSTALLED ON LEVEL TERRAIN INSTALL WING SECTIONS PERPENDICULAR TO MAIN BARRIER AT 50'-100' INTERVALS.



PLAN VIEW



CROSS-SECTION

GENERAL NOTES

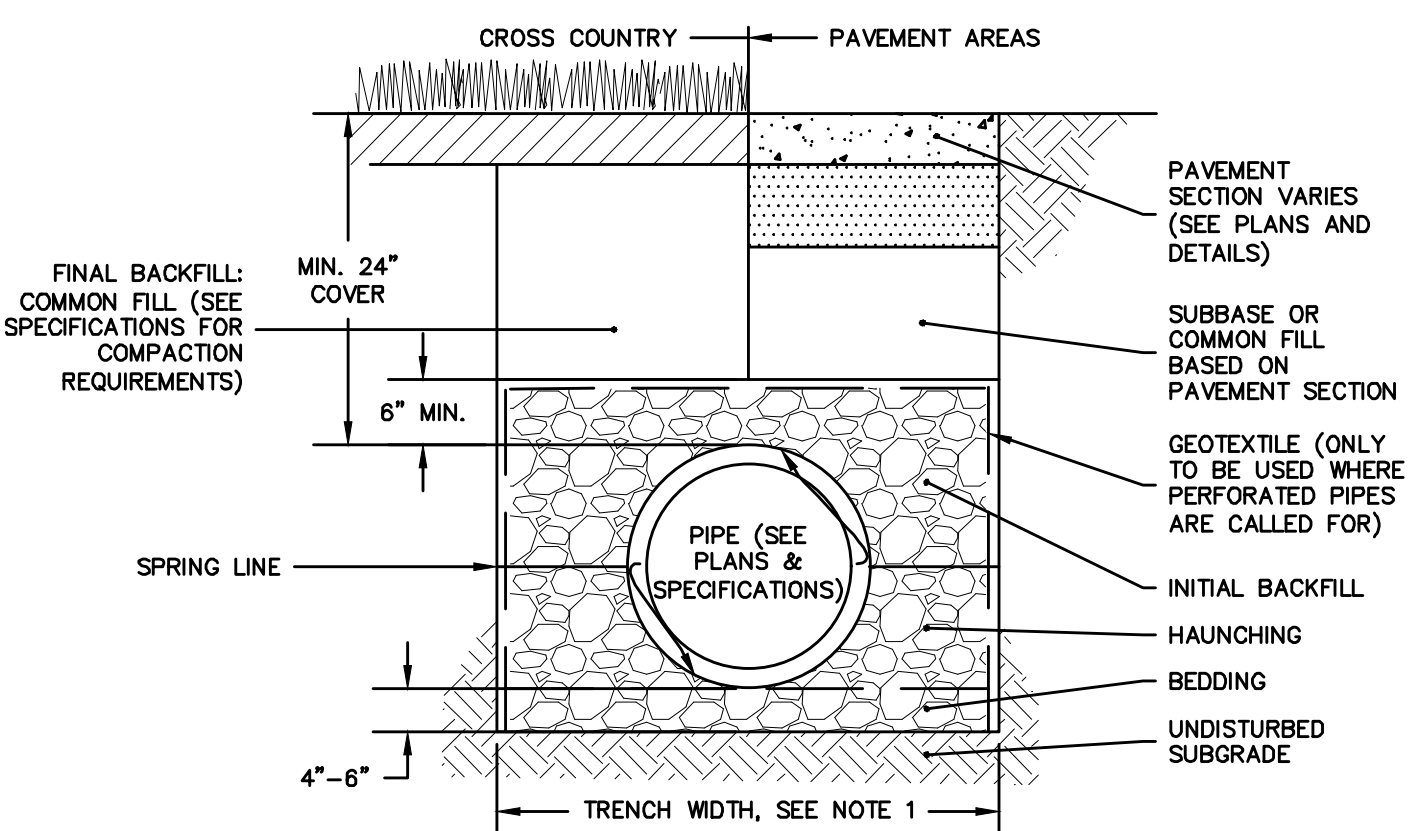
1. NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS.
2. THE BASIN TO BE SIZED ACCORDING TO: CUBIC FEET OF STORAGE = PUMP DISCHARGE RATE (gpm) x 16.
3. SIZE SHOWN ON PLANS SHALL BE ADJUSTED AS REQUIRED FOR THE ACTUAL PUMPING RATE.

DEWATERING HAY BALE BASIN (TYPE 1)

SCALE: NONE
EC-114-CT

TYPICAL ASPHALT PAVING

SCALE: NONE



NOTES:

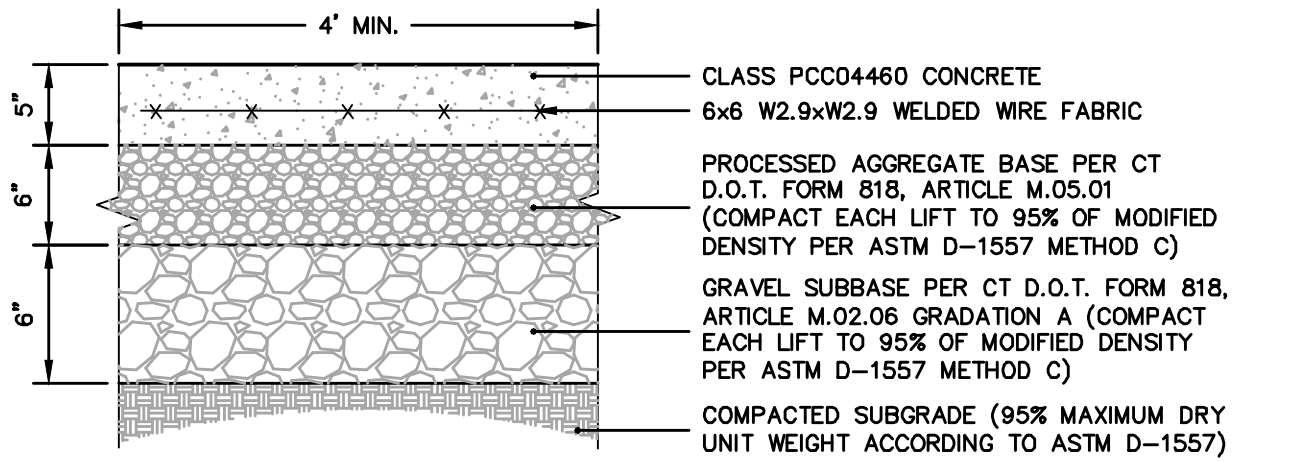
1. WHERE TRENCH WALLS ARE STABLE OR SUPPORTED, PROVIDE A WIDTH SUFFICIENT, BUT NO GREATER THAN NECESSARY, TO ENSURE WORKING ROOM TO PROPERLY PLACE AND COMPACT HAUNCHING AND OTHER EMBEDMENT MATERIALS. UNLESS OTHERWISE SPECIFIED BY THE PIPE MANUFACTURER, THE SPACE BETWEEN THE PIPE AND TRENCH WALL MUST BE WIDER THAN THE COMPACTION EQUIPMENT USED IN THE PIPE ZONE. MINIMUM WIDTH SHALL BE NOT LESS THAN THE GREATER OF EITHER THE PIPE OUTSIDE DIAMETER PLUS 16 INCHES OR THE PIPE OUTSIDE DIAMETER TIMES 1.25, PLUS 12 INCHES.
2. WHERE PERFORATED PIPES ARE CALLED-FOR, BEDDING, HAUNCHING, AND INITIAL BACKFILL SHALL BE CONDOT NO. 6 CRUSHED STONE SHALL MEET THE REQUIREMENTS OF FORM 816 M.08.
3. WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL PER THE SPECIFICATIONS. AS AN ALTERNATIVE, AND AT THE DISCRETION OF THE ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL UNDER SOME CIRCUMSTANCES.
4. BEDDING, HAUNCHING, AND INITIAL BACKFILL SHALL BE CONDOT NO. 6, NO. 67, OR NO. 8 AGGREGATE OR OTHER MATERIALS MEETING THE REQUIREMENTS OF ASTM D2321 FOR CLASS 1A, 1B, 1I, OR 1J UNLESS OTHERWISE INDICATED BY THE PIPE MANUFACTURER.

TYPICAL TRENCH SECTION - THERMOPLASTIC DRAINAGE PIPE

SCALE: NONE

CONCRETE SIDEWALK

SCALE: NONE

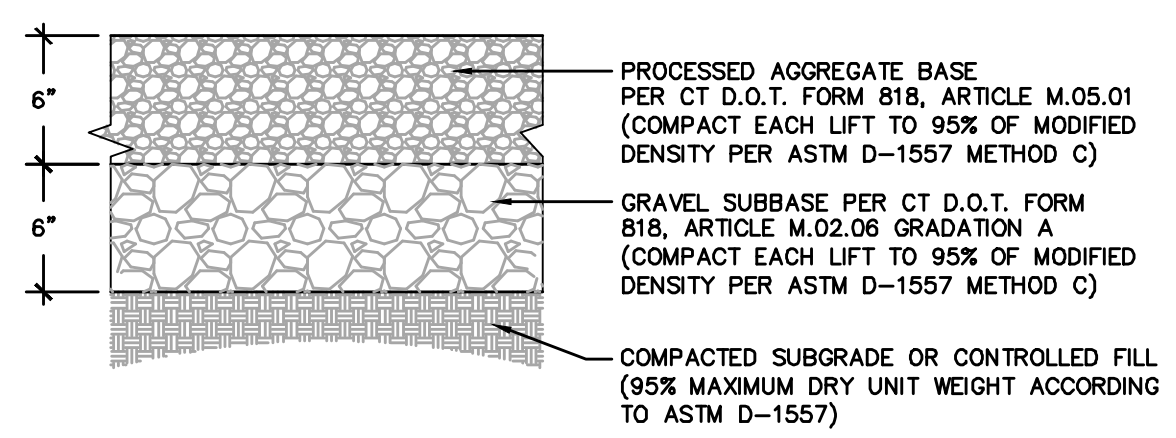


NOTES:

1. PLASTIC SHALL NOT BE USED WHEN WET CURING CONCRETE.
2. PRIOR TO CONCRETE PLACEMENT, THE CONTRACTOR SHALL HOLD A PRECONSTRUCTION MEETING WITH THE ENGINEER AND PREPARE MOCKUPS FOR REVIEW.
3. THE ENGINEER RESERVES THE RIGHT TO REJECT CONCRETE BASED ON AESTHETICS AND/OR INCONSISTENCY OF THE FINISHED PRODUCT.
4. WHERE CONCRETE SIDEWALK ABUTS THE BUILDING, PROVIDE EXPANSION JOINT MATERIAL AS MANUFACTURED BY W.R. MEADOWS FIBRE EXPANSION JOINT, SAKRETE FIBER EXPANSION JOINT, OR EQUAL, AND SHALL INCLUDE A PREFORMED, DISPOSABLE RESERVOIR TO ACCEPT MANUFACTURER RECOMMENDED SEALANT.

SILT FENCE BARRIER

SCALE: NONE
EC-107



TYPICAL GRAVEL DRIVEWAY

SCALE: NONE

AREA DRAIN (HDPE OR PVC)

SCALE: NONE

DETAILS\LD\STORM DRAINAGE\AREA DRAIN (HDPE-PVC).DWG

06/08



MATTHEW R. STEPHAN, PE NO. 34678

PROPOSED IMPROVEMENTS AT ST. EDMUND'S RETREAT

1 ENDERS ISLAND
IN
MYSTIC CONNECTICUT
CIVIL DETAILS

FEBRUARY 20, 2024

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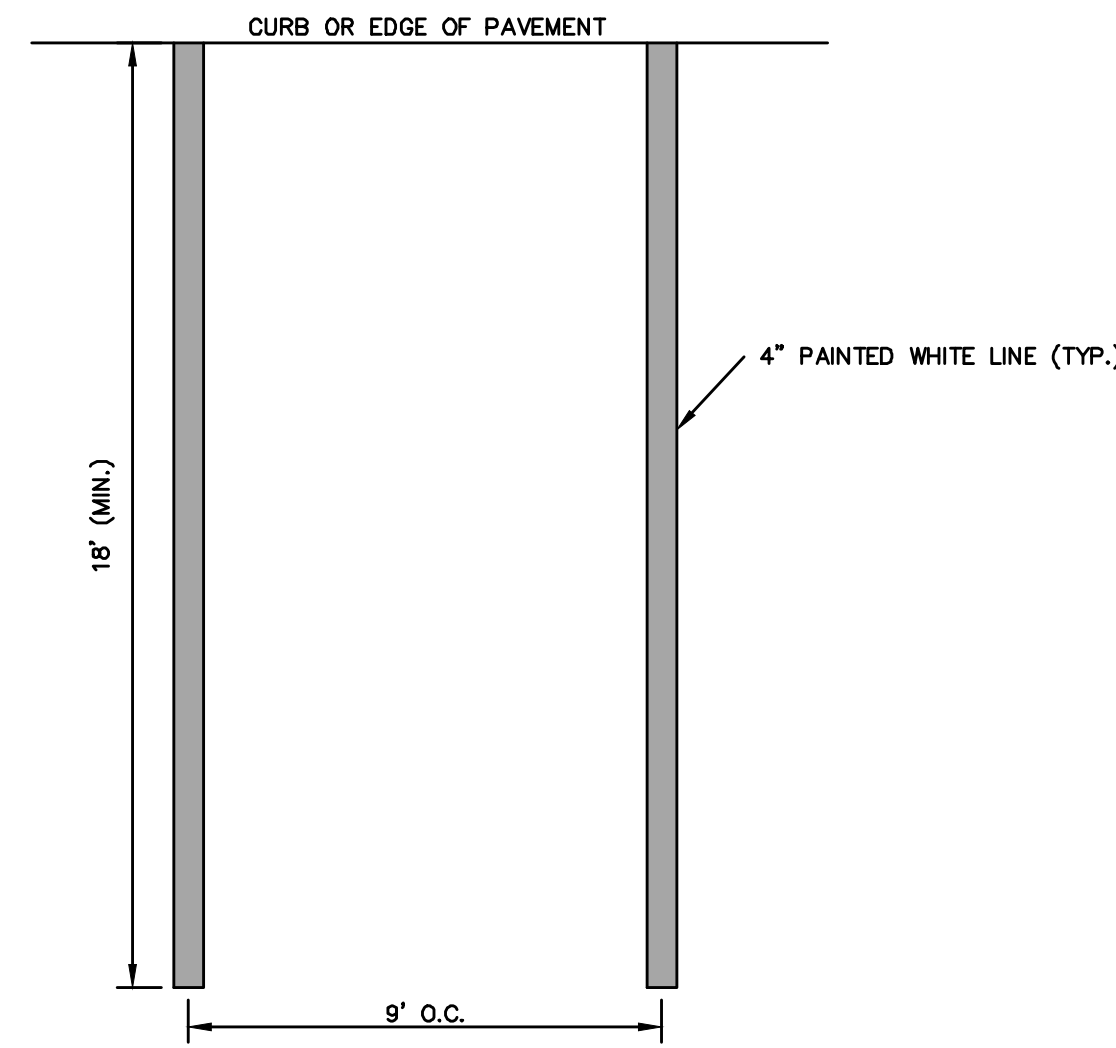
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860 652 8227

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SCALE: AS SHOWN

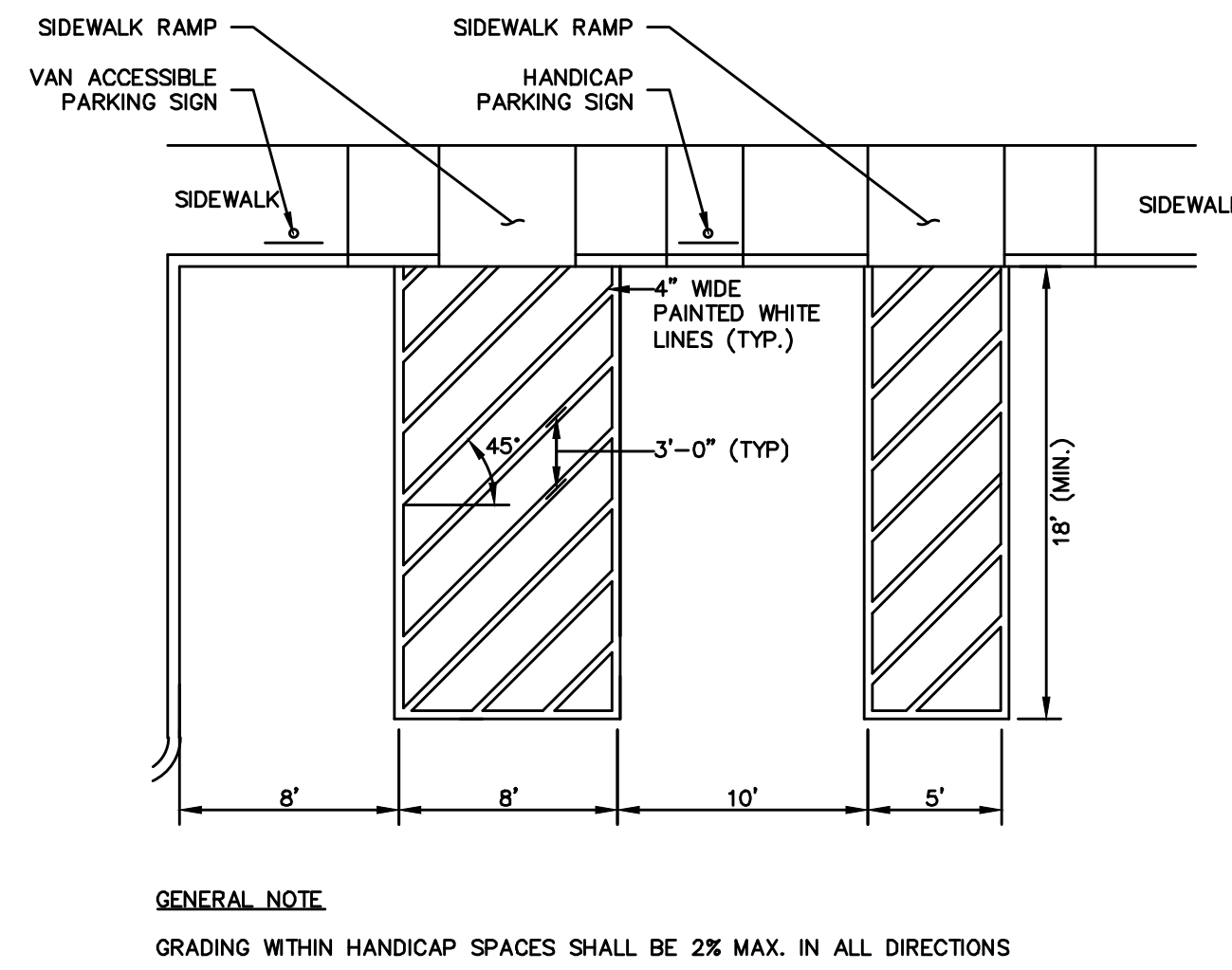
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JOB. NO: 83892.00
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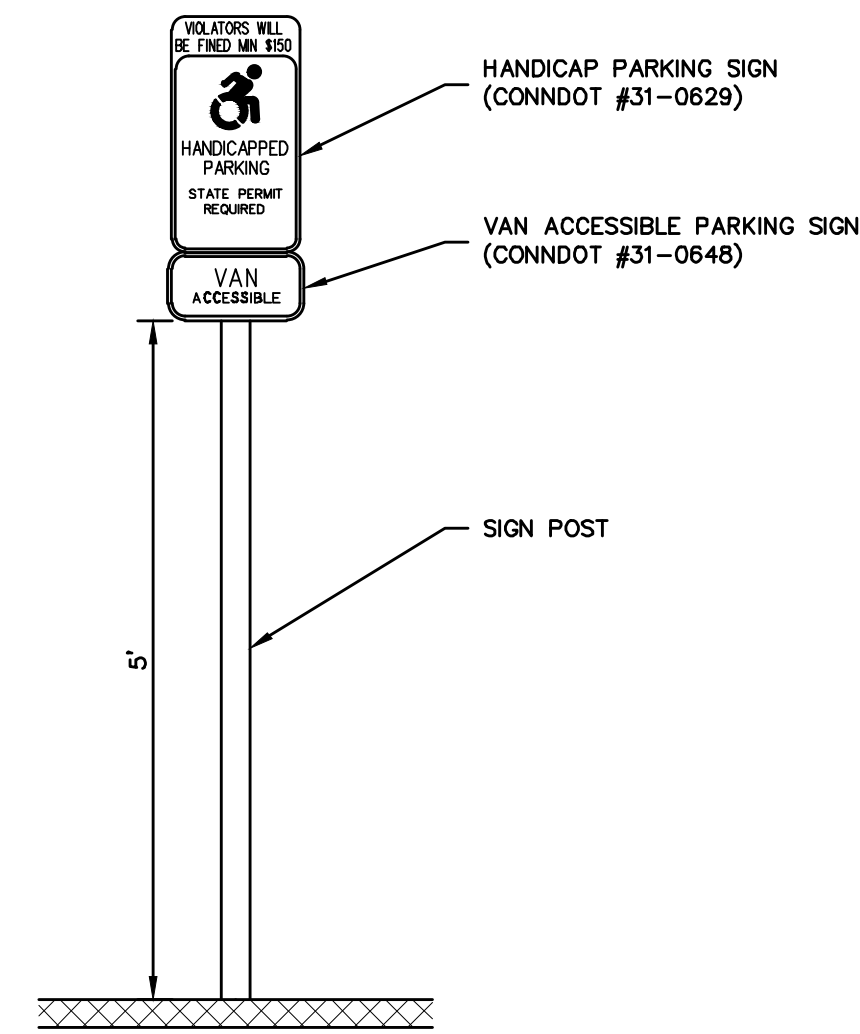
STANDARD PAINTED PARKING MARKINGS

SCALE: NONE



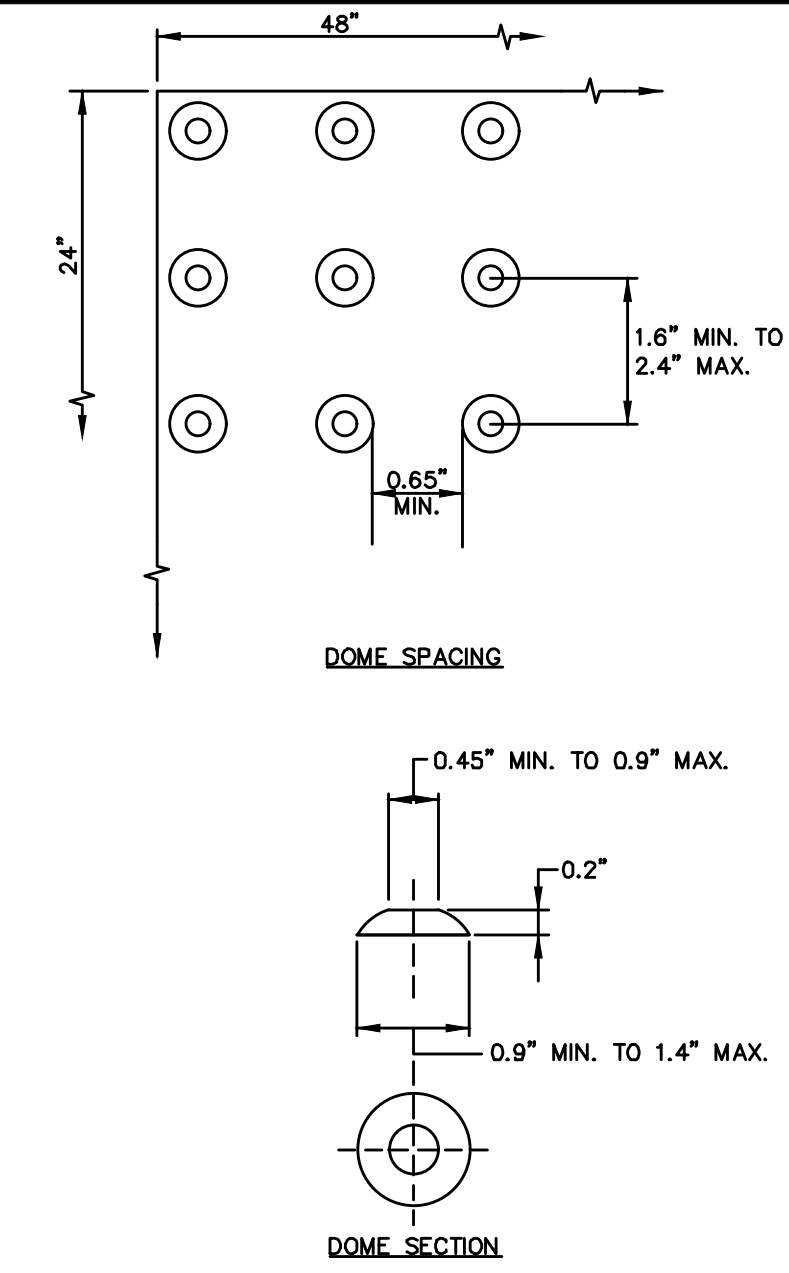
ACCESSIBLE PARKING SPACES

SCALE: NONE
HC-110-CT



ACCESSIBLE PARKING SIGN

SCALE: NONE
HC-111-CT



DETECTABLE WARNING STRIP

SCALE: NONE
HC-108-CT



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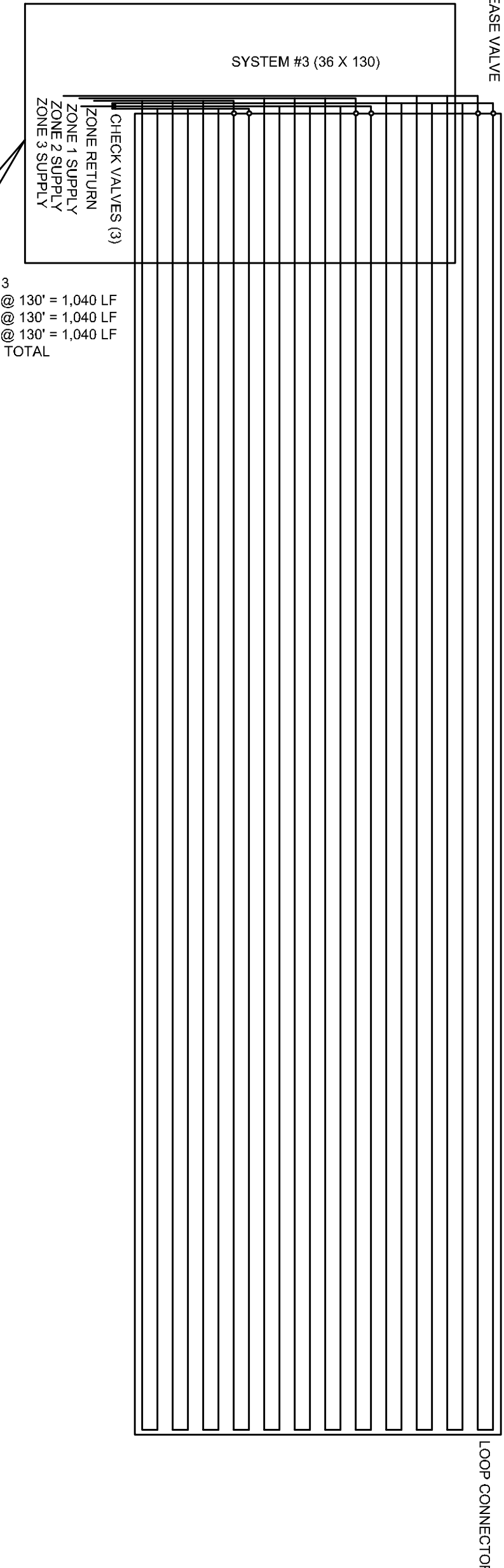
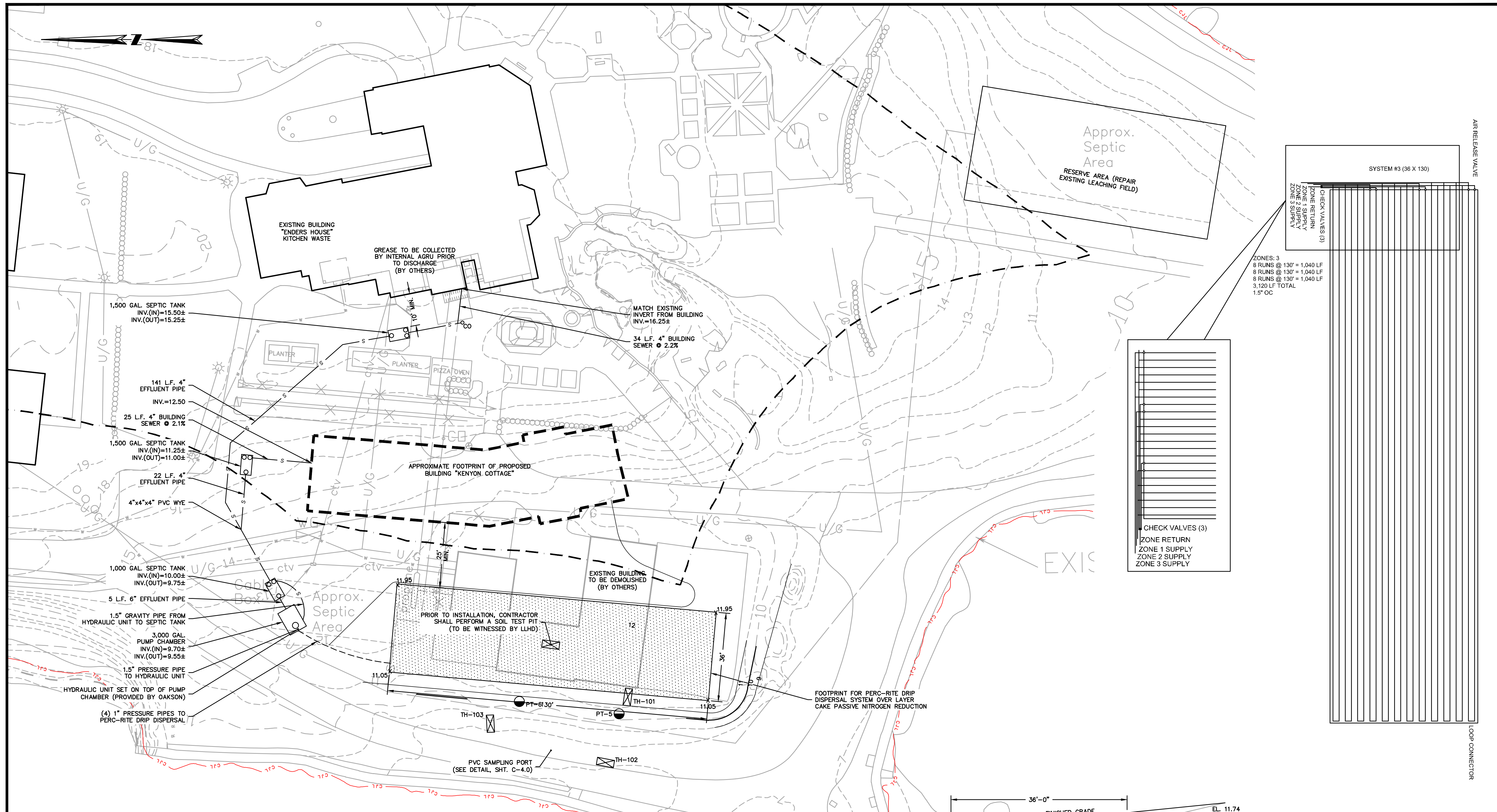
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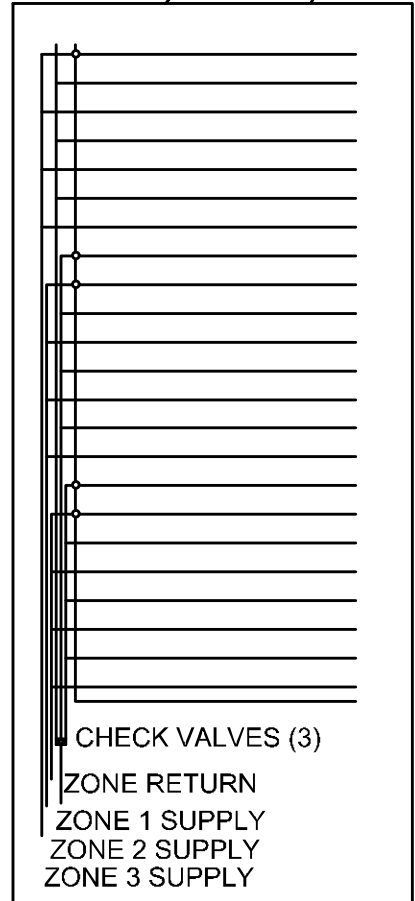
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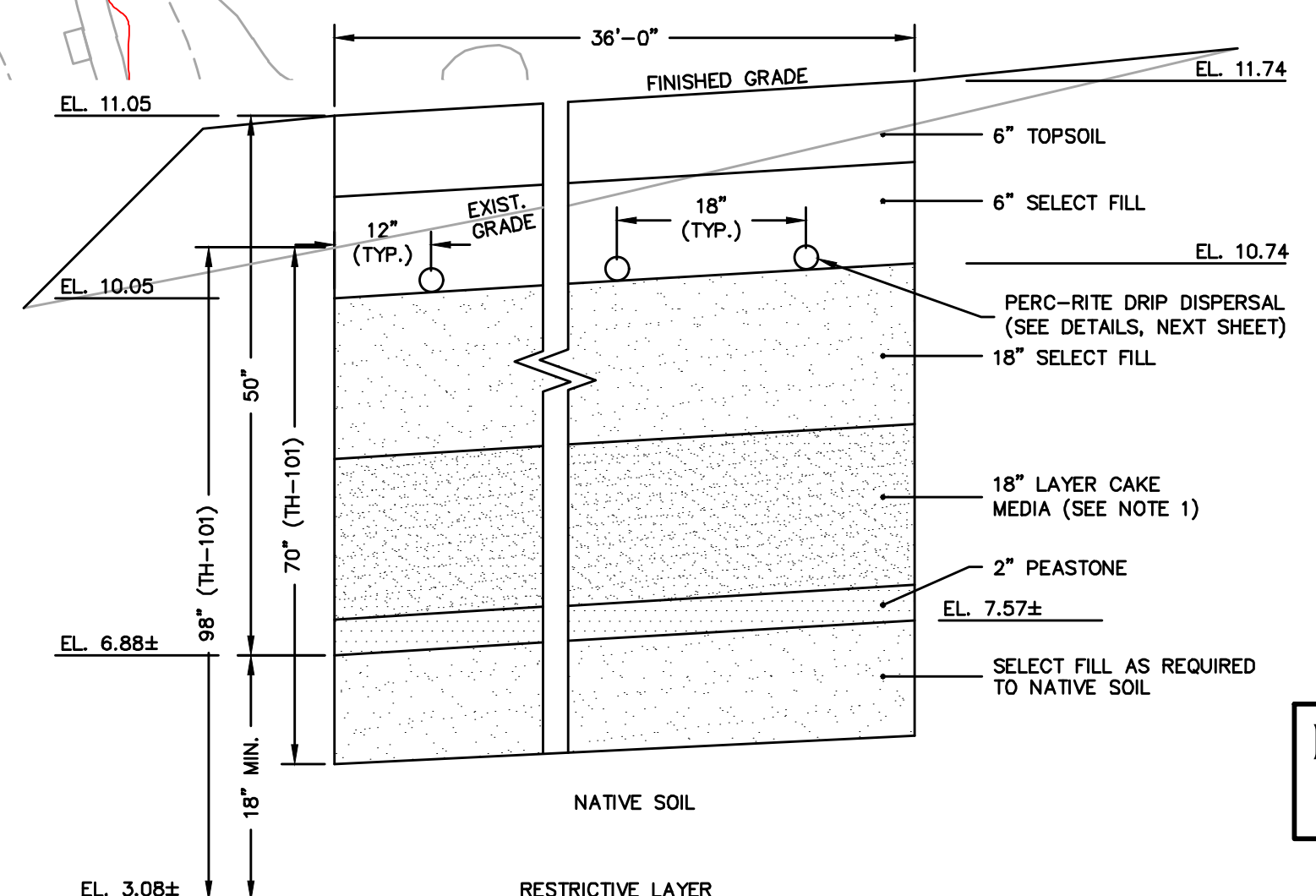
C-4.1



ZONES: 3
 8 RUNS @ 130' = 1,040 LF
 8 RUNS @ 130' = 1,040 LF
 8 RUNS @ 130' = 1,040 LF
 3,120 LF TOTAL
 1.5" OC



- DESIGN CRITERIA:**
- PERCOLATION RATE: LESS THAN 10.1 MIN. / INCH
 - DESIGN FLOW RATE: 721 GPD + 1,040 GPD = 1,761 GPD
 - LEACHING AREA REQUIRED BY HEALTH CODE: 902 SF + 1,300 SF = 2,202 SF
 - MOTTILING: NOT ENCOUNTERED
 - LEDGE: NOT ENCOUNTERED
 - THE MAXIMUM DEPTH INTO EXISTING GROUND = (98" - 18") = 80"
 - REQUIRED LENGTH OF 36" LEACHING TRENCH = 2,202 SF / (3 SF/LF) = 734 LF
 - REQUIRED PERC-RITE LINEAR FOOTAGE = 4 X 36" WIDE LEACHING TRENCH LENGTH = 734 LF X 4 = 2,936 LF
 - MINIMUM PERC-RITE FOOTPRINT AREA = 2,936 LF X 1.5 FT (MIN. SPACING) = 4,404 SF.
 - PROVIDED PERC-RITE FOOTPRINT AREA = 36 FT X 130 FT = 4,680 SF
- MINIMUM LEACHING SYSTEM SPREAD**
- (MLSS) = HF x FF x PF
- HYDRAULIC GRADIENT = 3.1% - 4.0%
- RECEIVING SOIL DEPTH = 60" (MAX. ALLOWED)
- HYDRAULIC FACTOR (HF) = 22
- FLOW FACTOR (FF) = 1,761/300 = 5.9
- PERC FACTOR (PF) = 1.0
- (MLSS) = (22 x 5.9 x 1.0) = 129.8 LF



- NOTES:**
- LAYER CAKE MEDIA (LCM) SHALL BE A BLEND OF 50% SAWDUST AND 50% SELECT FILL. PRIOR TO MIXING THE SAWDUST AND SELECT FILL, THE SELECT FILL SHALL BE BLENDED WITH 10% TO 20% SILT IN ORDER TO RETAIN MOISTURE IN THE MEDIA. CLAY WILL NOT BE PERMITTED. SAWDUST SHALL BE UNTREATED AND SOURCED FROM A LOCAL SAWMILL OR LUMBER YARD.
 - SELECT FILL SHALL BE IN A DAMP STATE WHEN BLENDING WITH SAWDUST TO CREATE THE LCM. LCM SHALL BE MIXED AT A LOCATION WITH A CLEAN HARD SURFACE (CONCRETE OR ASPHALT) TO ELIMINATE CONTAMINATION WITH SOIL/DIRT/DEBRIS AT THE CONSTRUCTION SITE. THE MIXTURE WILL THEN BE TRANSPORTED TO THE SITE FOR INSTALLATION. THE LCM SHALL BE PLACED IN 9-INCH LIFTS AND COMPACTED WITH A STANDARD DUTY FORWARD PLATE COMPACTOR IN A SINGLE PASS.

REVIEWED & APPROVED BY LLHD
 SHOWN FOR REFERENCE ONLY

LEACHING SYSTEM CROSS SECTION
 SCALE: NONE

ISSUED FOR SITE PLAN REVIEW



MATTHEW R. STEPHAN, PE NO. 34678

PROPOSED IMPROVEMENTS AT ST. EDMUND'S RETREAT

1 ENDERS ISLAND
 IN
 MYSTIC CONNECTICUT

SUBSURFACE SEWAGE DISPOSAL SYSTEM DESIGN

FEBRUARY 20, 2024

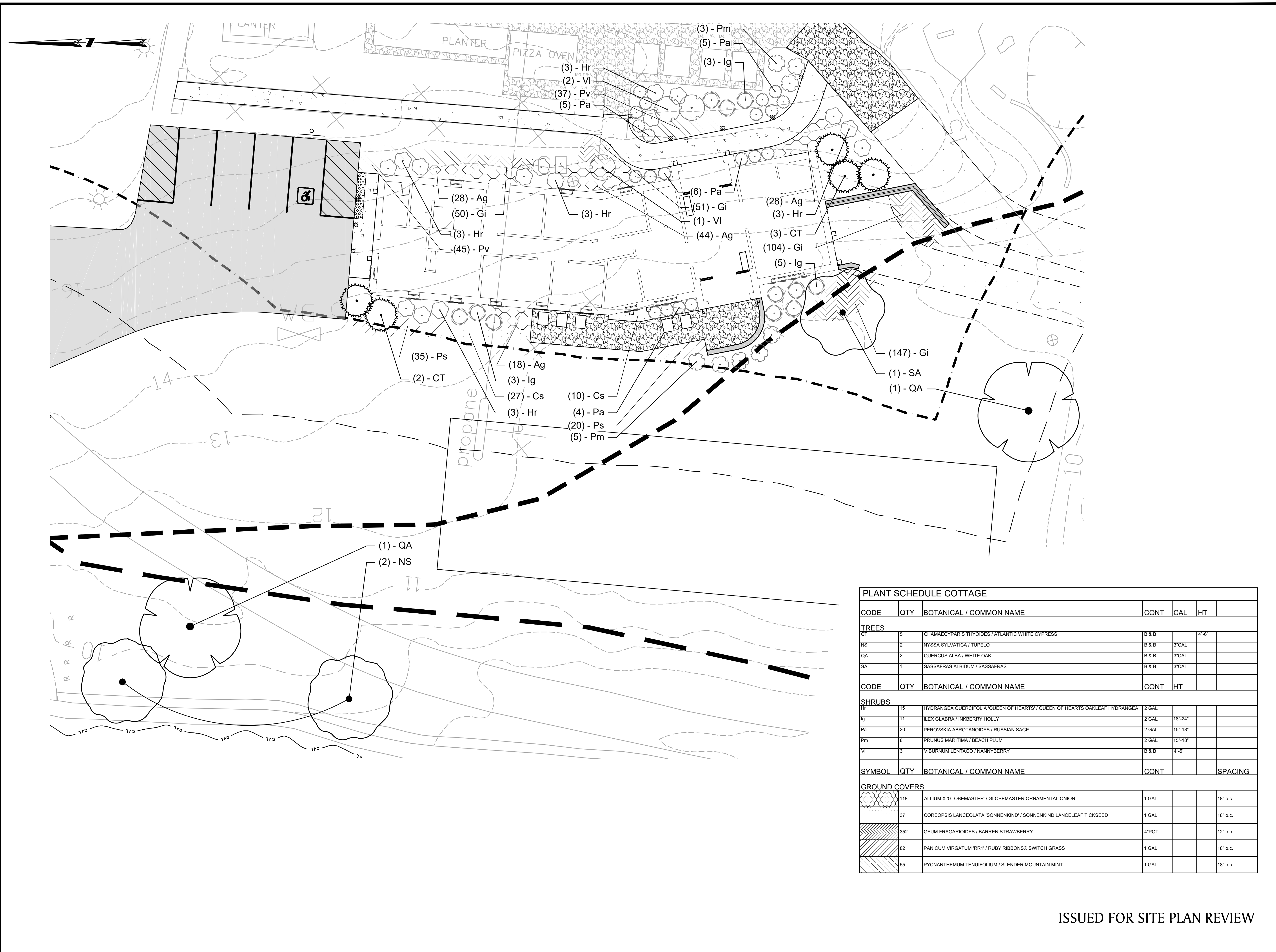
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 Glastonbury, Connecticut 06033
 860 652 8227

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 SCALE: 1" = 20'
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 DWG. NO:
 JOB. NO: 83892.00
C-5.1



RACHEL N. SALCH, PLA NO. 1438

PROPOSED IMPROVEMENTS AT ST. EDMUND'S RETREAT

1 ENDERS ISLAND
IN
MYSTIC CONNECTICUT

PLANTING PLAN (KENYON COTTAGE)

FEBRUARY 20, 2024

REVISIONS:

NO.	DATE	REVISION
1	05/14/2024	REVISED PER P&Z COMMENTS

PREPARED FOR:
ST. EDMUND'S RETREAT
1 ENDERS ISLAND
MYSTIC, CT 06355

BSC GROUP
655 Winding Brook Drive
Glastonbury, Connecticut 06033
860 652 8227

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SCALE: 1" = 10'

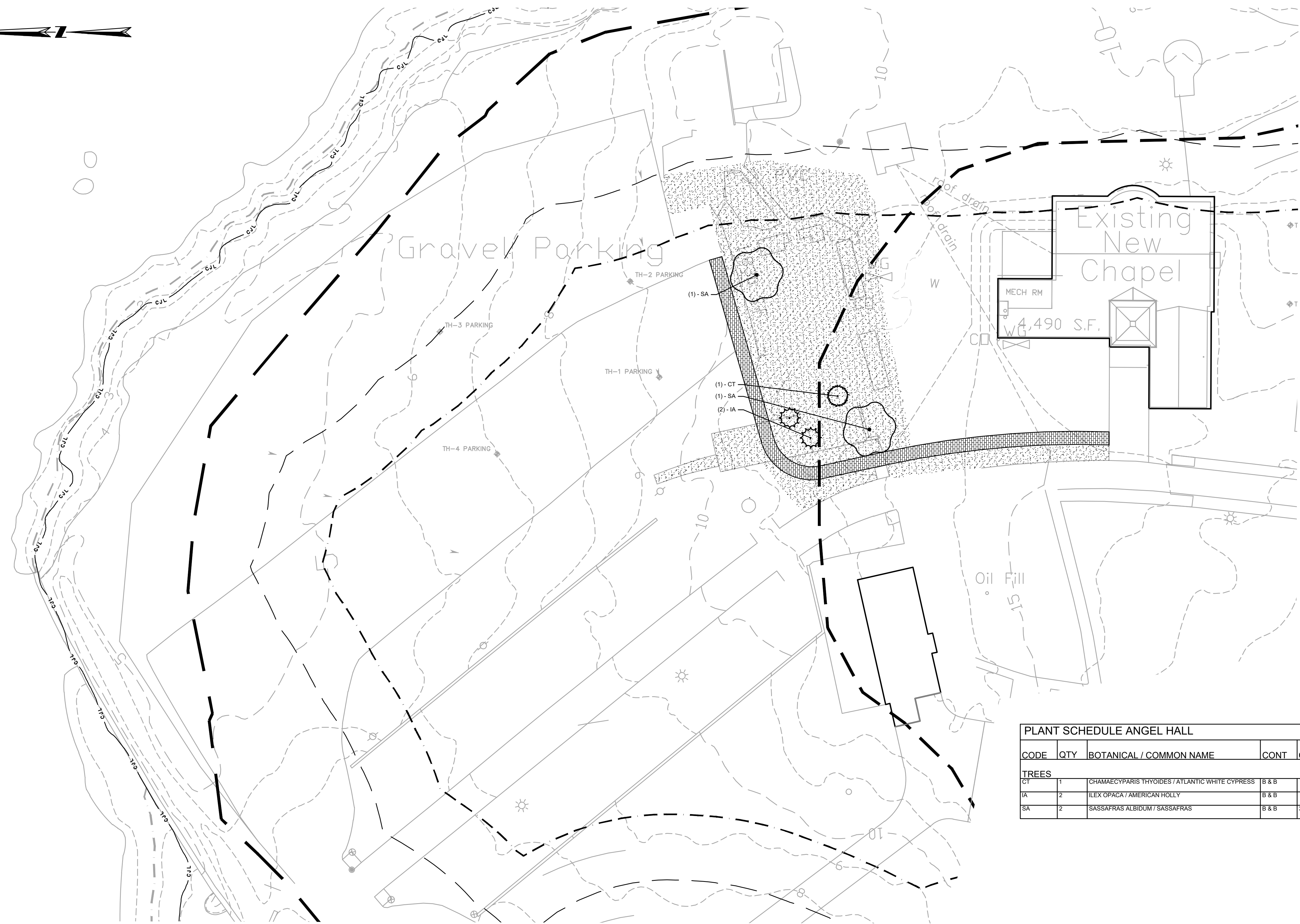


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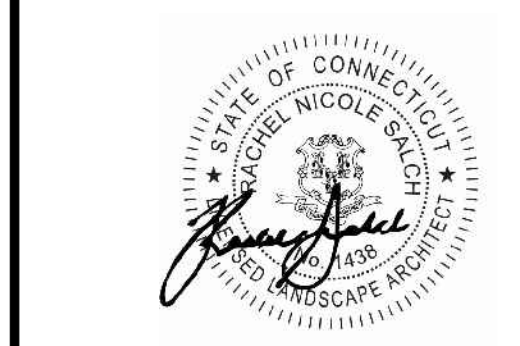
L-1.1

PLANT SCHEDULE COTTAGE					
CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT
TREES					
CT	5	CHAMAECYPARIS THYOIDES / ATLANTIC WHITE CYPRESS	B & B		4'-6'
NS	2	NYSSA SYLVATICA / TUPELO	B & B	3" CAL	
QA	2	QUERCUS ALBA / WHITE OAK	B & B	3" CAL	
SA	1	SASSAFRAS ALBIDUM / SASSAFRAS	B & B	3" CAL	
SHRUBS					
Hr	15	HYDRANGEA QUERCIFOLIA 'QUEEN OF HEARTS' / QUEEN OF HEARTS OAKLEAF HYDRANGEA	2 GAL		
Ig	11	ILEX GLABRA / INKBERRY HOLLY	2 GAL	18"-24"	
Pa	20	PEROVSKIA ABROTANOIDES / RUSSIAN SAGE	2 GAL	15"-18"	
Pm	8	PRUNUS MARITIMA / BEACH PLUM	2 GAL	15"-18"	
VI	3	VIBURNUM LENTAGO / NANNYBERRY	B & B	4'-5'	
GROUND COVERS					
	118	ALLIUM X 'GLOBEMASTER' / GLOBEMASTER ORNAMENTAL ONION	1 GAL		18" o.c.
	37	COREOPSIS LANCEOLATA 'SONNENKIND' / SONNENKIND LANCELEAF TICKSEED	1 GAL		18" o.c.
	352	GEUM FRAGARIOIDES / BARREN STRAWBERRY	4" POT		12" o.c.
	82	PANICUM VIRGATUM 'RR1' / RUBY RIBBONS® SWITCH GRASS	1 GAL		18" o.c.
	55	PYCNANTHEMUM TENUIFOLIUM / SLENDER MOUNTAIN MINT	1 GAL		18" o.c.

ISSUED FOR SITE PLAN REVIEW



PLANT SCHEDULE ANGEL HALL						
CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT	
TREES						
CT	1	CHAMAECYPARIS THYOIDES / ATLANTIC WHITE CYPRESS	B & B		4'-6"	
IA	2	ILEX OPACA / AMERICAN HOLLY	B & B		4'-6"	
SA	2	SASSAFRAS ALBIDUM / SASSAFRAS	B & B	3" CAL		



RACHEL N. SALCH, PLA NO. 1438

PROPOSED IMPROVEMENTS AT ST. EDMUND'S RETREAT

1 ENDERS ISLAND
IN
MYSTIC CONNECTICUT

PLANTING PLAN (PARKING LOT)

FEBRUARY 20, 2024

REVISIONS:		
NO.	DATE	REVISION
1	05/14/2024	REVISED PER P&Z COMMENTS

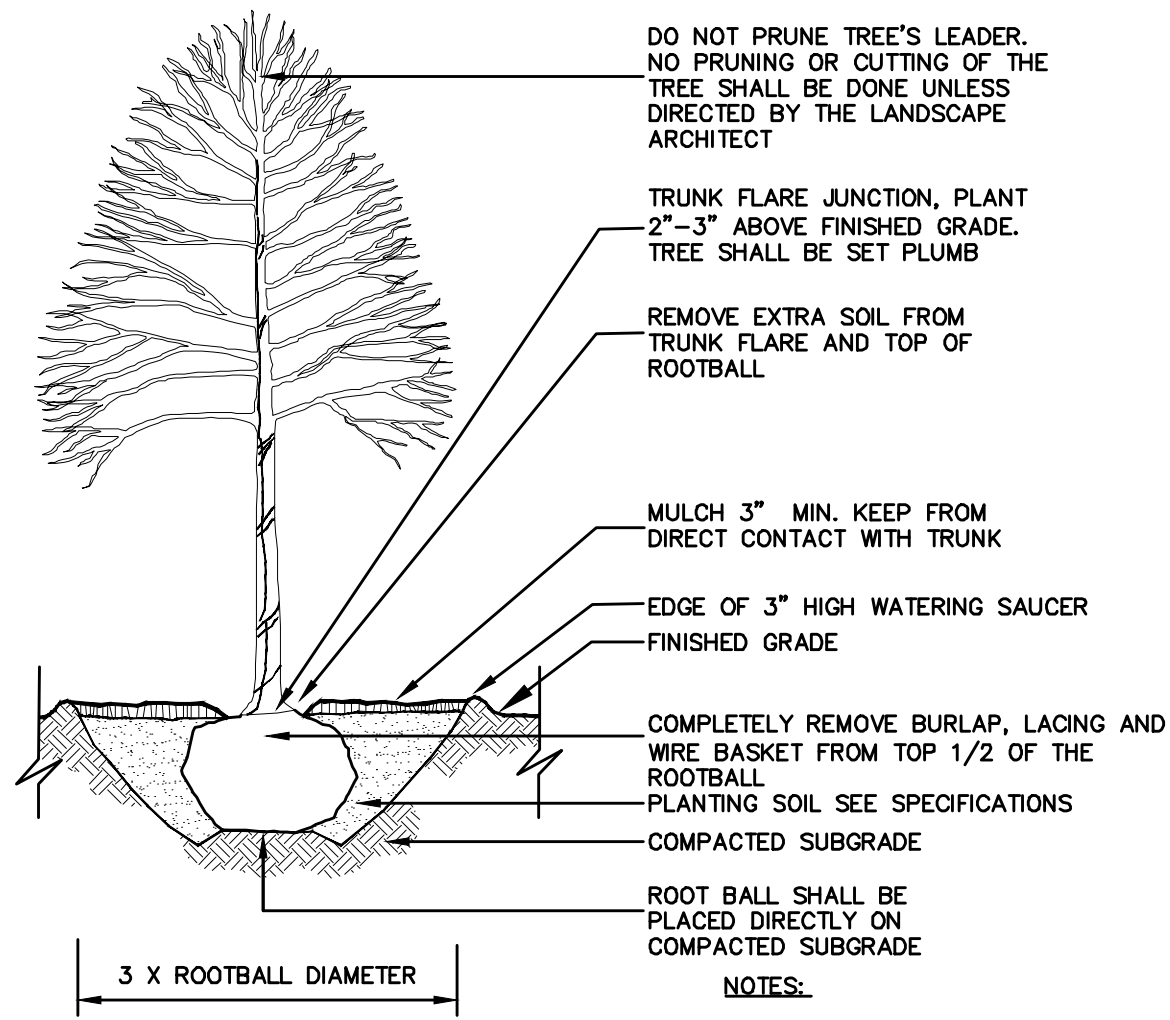
PREPARED FOR:
ST. EDMUND'S RETREAT
1 ENDERS ISLAND
MYSTIC, CT 06355

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Glastonbury, Connecticut 06033
860 652 8227

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SCALE: 1" = 20'
0 10 20 40 FEET

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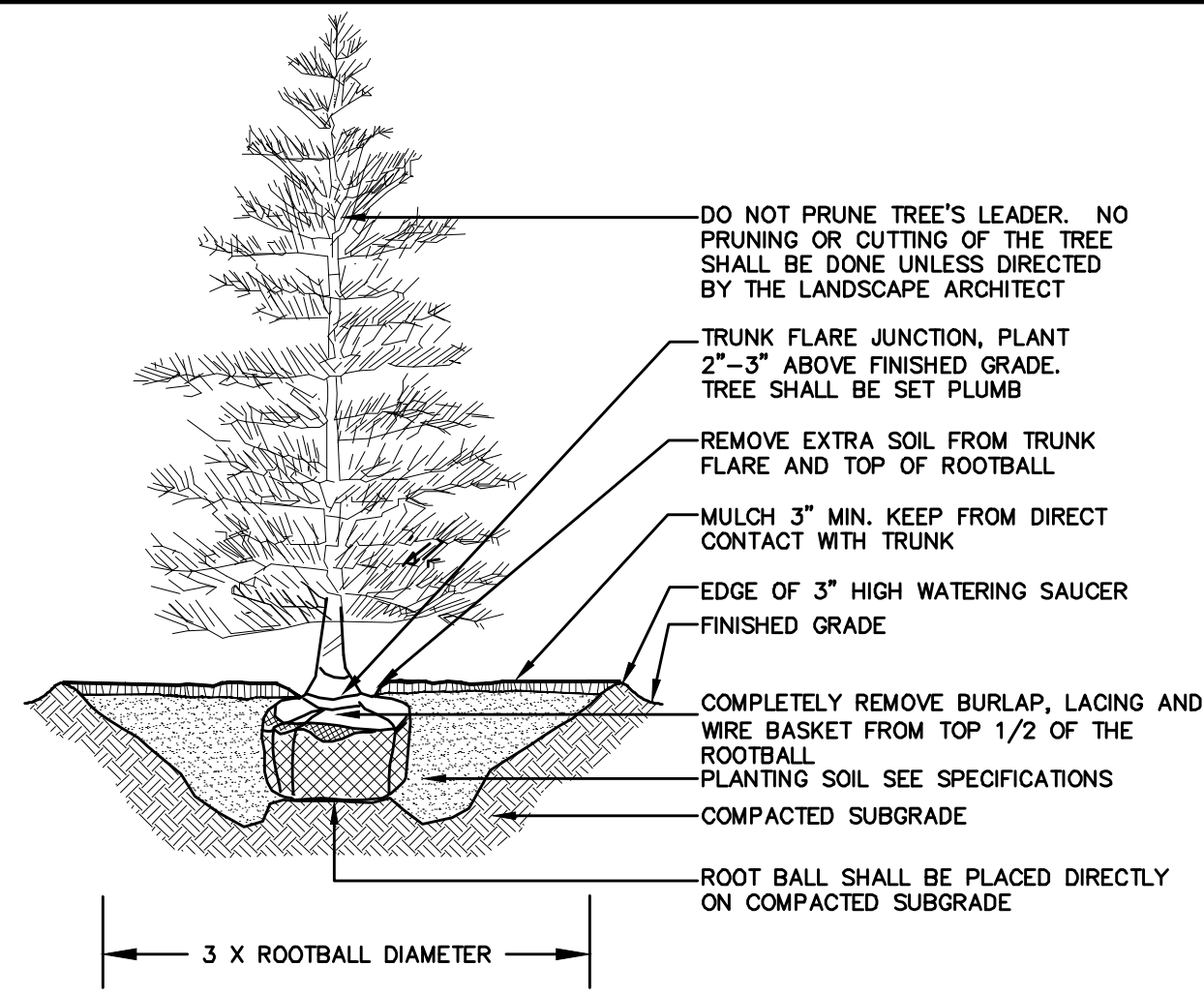
FILE: P:\8389200\CIVIL\DRAWINGS
DWG. NO:
JOB. NO: 83892.00 **L-1.2**



- NOTES:
1. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 2. SAUCER SHALL BE FLOODED TWICE DURING THE FIRST 24 HOURS AFTER PLANTING.
 3. DO NOT STAKE OR WRAP TREE UNLESS NOTED OTHERWISE.

DECIDUOUS TREE PLANTING

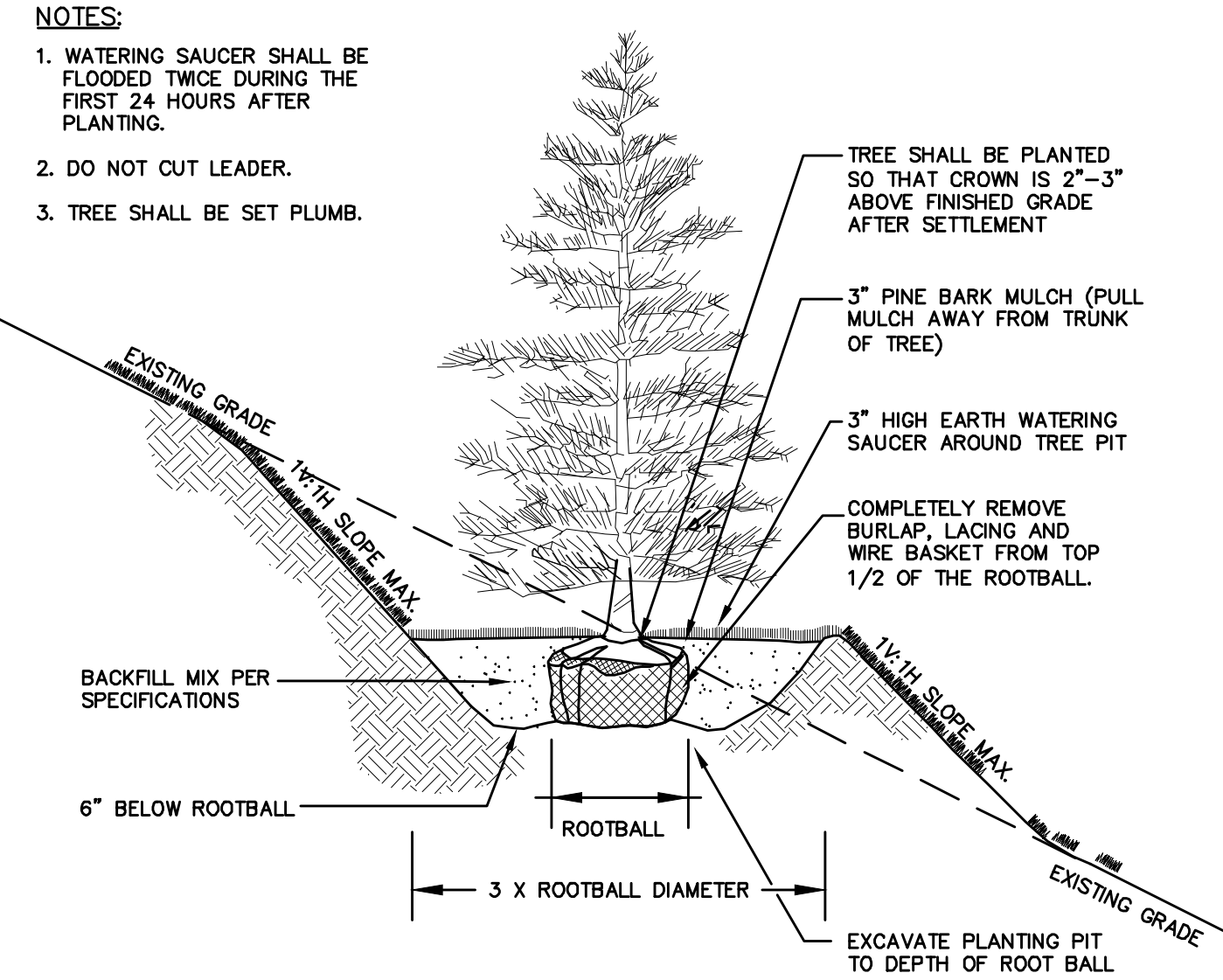
SCALE: NONE



- NOTES:
1. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 2. SAUCER SHALL BE FLOODED TWICE DURING THE FIRST 24 HOURS AFTER PLANTING.

EVERGREEN TREE PLANTING

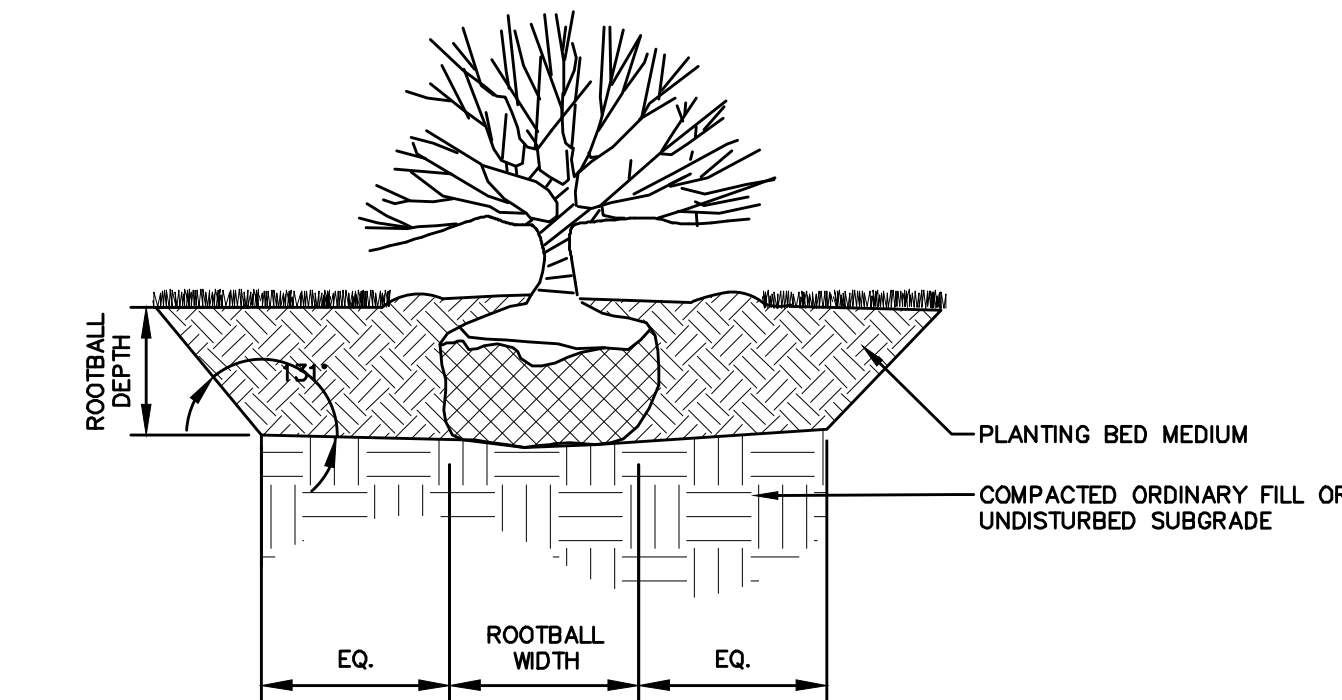
SCALE: NONE



TREE PLANTING ON SLOPE

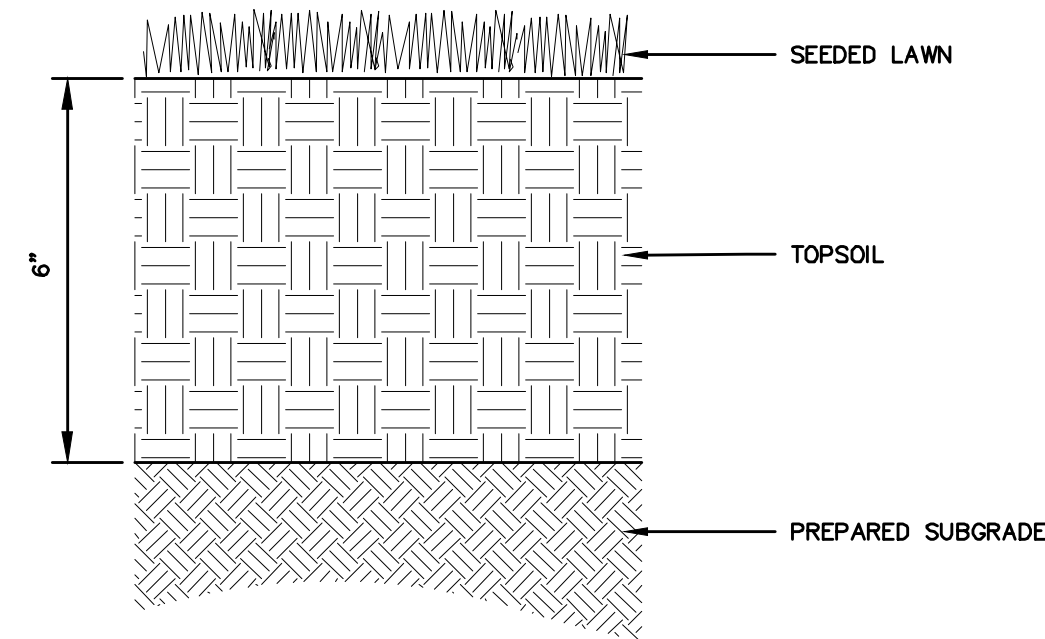
SCALE: NONE

- NOTES:
1. LOOSE OR CRACKED ROOT BALLS ARE UNACCEPTABLE.
 2. EXCAVATE TO REQUIRED DEPTH AND DO NOT EXCAVATE BELOW ROOT BALL DEPTH.
 3. SET SHRUBS PLUMB WITH ROOT FLARE 1" ABOVE FINISHED GRADE, BACKFILL WITH PLANTING MIX.
 4. FLOOD WATERING SAUCER TWICE IN FIRST 24 HOURS AFTER PLANTING.
 5. RAISE AND REPLANT ANY SHRUBS THAT SETTLE AFTER PLANTING & WATERING.
 6. REMOVE 1/3 BURLAP PRIOR TO BACKFILL. SYNTHETIC BURLAP UNACCEPTABLE.
 7. 2" DEPTH MULCH (KEEP MULCH 1" AWAY FROM SHRUB BASE) 3" HIGH EARTH WATERING SAUCER 1'-0" BEYOND ROOT BALL PLANTING MIXTURE.
 8. FOR CONTAINERIZED PLANTS: REMOVE CONTAINER PRIOR TO PLANTING, SCARIFY ROOT BALL BELOW EDGE 1/2" DEEP IN FOUR LOCATIONS.



SHRUB PLANTING

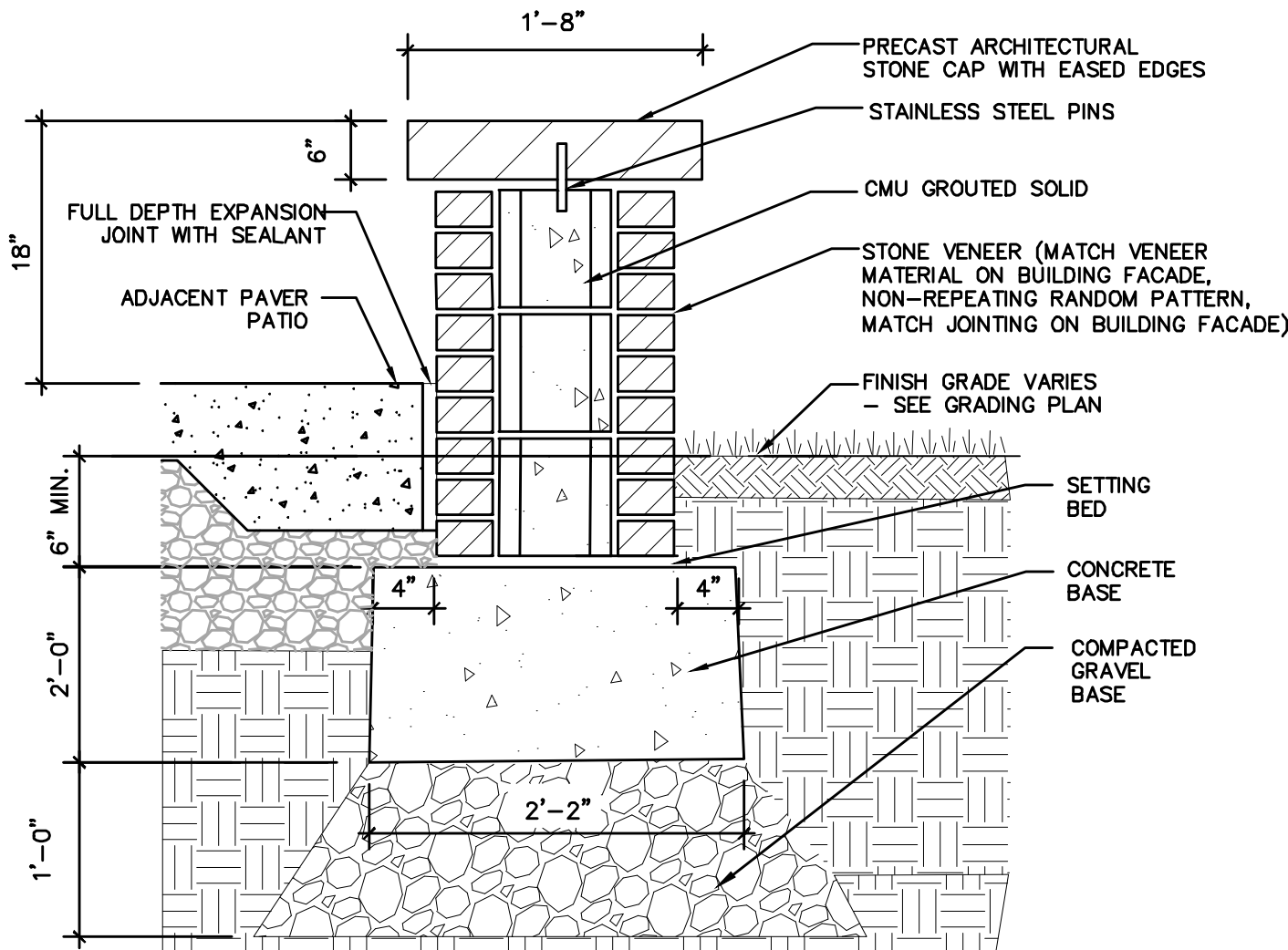
SCALE: NONE



- NOTES:
1. CONTRACTOR SHALL PREPARE SOILS IN ALL DISTURBED AREAS AND AREAS USED FOR EQUIPMENT ACCESS.

SEEDED LAWN

SCALE: NONE



DECORATIVE SEATING WALL

SCALE: NONE



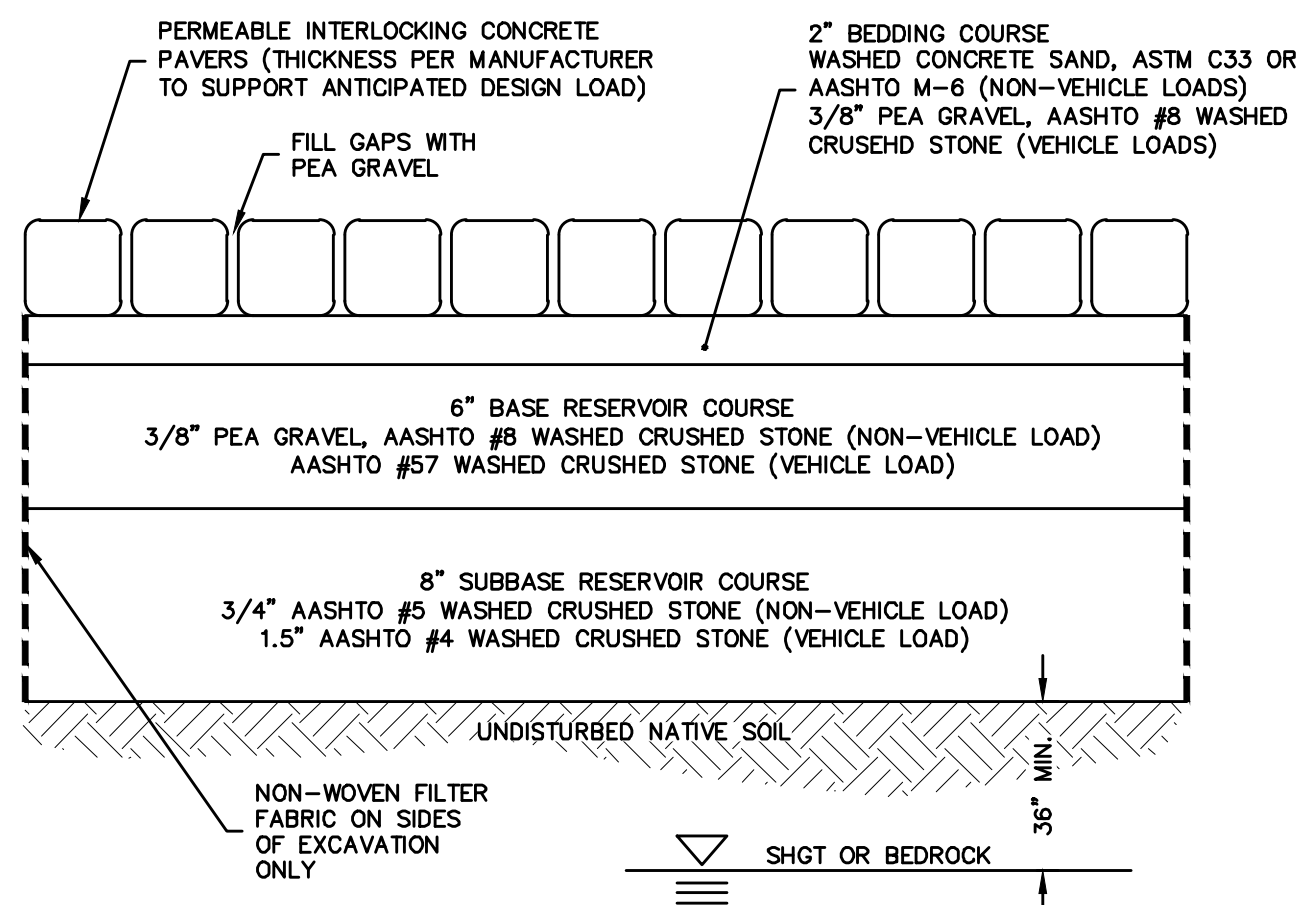
- NOTES:
1. PRODUCT SHALL BE FOXHALL 4"-7" BACKLESS BENCH, AS MANUFACTURED BY COUNTRY CASUAL TEAK, OR APPROVED EQUIVALENT.
 2. DIMENSIONS: 55" L x 18" W x 17" H

TEAK BACKLESS BENCH



- NOTES:
1. PRODUCT SHALL BE ASPEN TEAK ADIRONDACK CHAIR, AS MANUFACTURED BY COUNTRY CASUAL TEAK, OR APPROVED EQUIVALENT.
 2. DIMENSIONS: 37" L x 29" W x 36-3/4" H

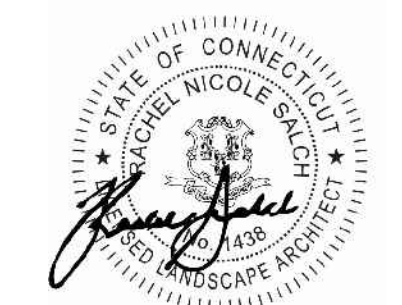
TEAK ADIRONDACK CHAIR



- NOTES:
1. DESIGN, CONSTRUCTION, AND MAINTENANCE OF PERMEABLE PAVERS SHALL BE IN ACCORDANCE WITH THE 2024 CT STORMWATER QUALITY MANUAL (WQM), CHAPTER 13, PERMEABLE PAVEMENT.
 2. NON-WOVEN FILTER FABRIC SHALL COMPLY WITH CT DOT FORM 618 M.08.01.19.
 3. THE EXISTING NATIVE SUBGRADE MATERIAL SHALL NOT BE COMPACTED OR SUBJECTED TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC.

PERMEABLE PAVERS

SCALE: NONE



RACHEL N. SALCH, PLA NO. 1438

PROPOSED IMPROVEMENTS AT ST. EDMUND'S RETREAT

1 ENDERS ISLAND IN MYSTIC CONNECTICUT

LANDSCAPING DETAILS

FEBRUARY 20, 2024

REVISIONS:	
NO.	DATE
1	05/14/2024

REVISED PER P&Z COMMENTS

PREPARED FOR:
ST. EDMUND'S RETREAT
1 ENDERS ISLAND
MYSTIC, CT 06355



655 Winding Brook Drive
Glastonbury, Connecticut 06033

860 652 8227

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SCALE: AS SHOWN

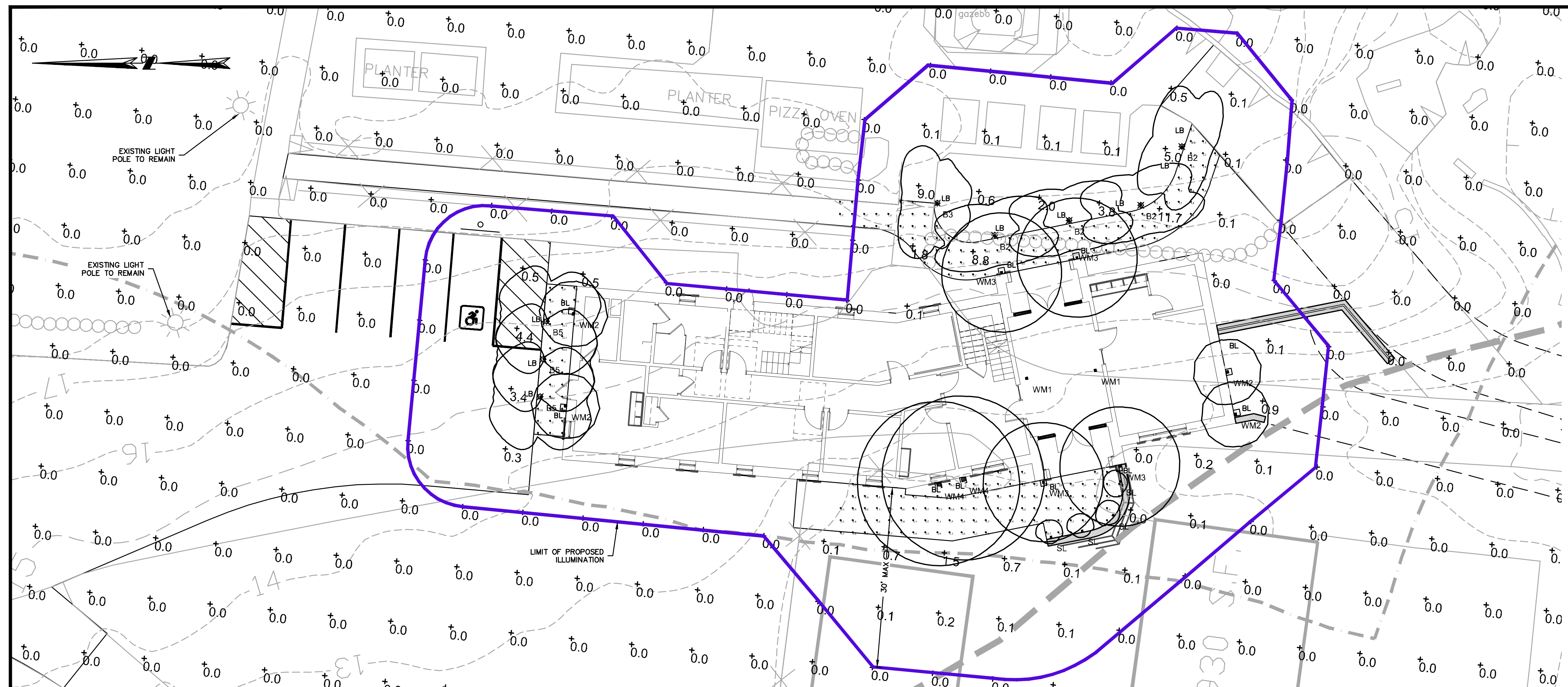
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DWG. NO:

JOB. NO: 83892.00

L-2.0

ISSUED FOR SITE PLAN REVIEW



LEGEND

☒ - LIGHTED BOLLARD
 □ - BUILDING LIGHT FIXTURE
 LB - LIGHTED BOLLARD
 BL - BUILDING LIGHT FIXTURE

*PROPOSED LIGHTING ON BUILDING EXTERIOR IS SHIELDED SUCH THAT THE LIGHT SOURCE IS NOT VISIBLE UNLESS DIRECTLY UNDERNEATH.



MATTHEW R. STEPHAN, PE NO. 34678

PROPOSED IMPROVEMENTS AT ST. EDMUND'S RETREAT

1 ENDERS ISLAND
 IN
 MYSTIC CONNECTICUT

PHOTOMETRICS &
 LIGHTING DETAILS

FEBRUARY 20, 2024

REVISIONS:

NO.	DATE	REVISION
1	05/14/2024	REVISED PER P&Z COMMENTS

ANP Lighting Specifications BL7903

BL7903 - LED
 Dark Sky Friendly

Weight: 19.0 lbs
 BUG: B1-U1-G0

BL7903_GL_M016LDD_N_49K_IBOLT_Z7
 Bolt Series Like Light Source Order CCT Accessories Finish

Specifications

FRAMES

Finish	Price	Weight	Height	Depth	Width
Coastal Bronze (75)	33K (3000K)	19.0	25.1"	4"	10.2"
Coastal Black (85)	33K (3000K)	19.0	25.1"	4"	10.2"
Natural Iron (20)	40K (4000K)	19.0	25.1"	4"	10.2"

ACCESSORIES

Item	Description	Price	Weight	Height	Depth	Width
1	BL7903_GL_M016LDD_N_49K_IBOLT_Z7	18.00	19.0	25.1"	4"	10.2"

Options

Item	Description	Price	Weight	Height	Depth	Width
1	Coastal Bronze (75)	33K (3000K)	19.0	25.1"	4"	10.2"
2	Coastal Black (85)	33K (3000K)	19.0	25.1"	4"	10.2"
3	Natural Iron (20)	40K (4000K)	19.0	25.1"	4"	10.2"

HUBBARDTON FORGE

Revere Medium Outdoor Sconce
 Base Item #: 302039

Selected Options

Lamping: Incandescent (DKT)
 Finish: Coastal Bronze (75)
 Accent: Coastal Burnished Steel (78)
 Configured Item #: 302039-1026
 Smart String: 302039-SKT-75-78
 Image shown may not correspond to selected options

Specifications

Dimensions	Value
Height	25.1"
Width	10.2"
Depth	4"
Product Weight	8 lbs
Mounting Height - Vertical	19.4"

Options

Lamping	Finish	Accent
Incandescent (DKT)	DI Rubbed Bronze (14) Coastal Bronze (75) Coastal Black (85) Natural Iron (20)	Coastal Bronze (75) Coastal Burnished Steel (78) White (82) Oil Rubbed Bronze (14) Coastal Dark Smoke (77) Coastal Black (85) Natural Iron (20)

FCC OUTDOOR LIGHTING

FCCSQ400 Down Only, Standard Drivers without Battery Backup
 4" Square wall, pendant or surface mount down cylinder outdoor

FEATURES

- 150-277V AC Input
- Marine grade epoxy resin lens
- Clear and glare tempered glass lens (802)
- 150-277V AC Input
- 150-277V AC Input (Standard)
- LED Wall Mount
- 150-277V AC Input

PERFORMANCE

Beam Spread: 15° (15°/15°/15°)
 CCT Options: 2700K | 3000K | 3500K | 4000K
 CR: 90
 Color Rendering: 2 (90CM) (Future to Future)
 Lumen: 800-9000 lm
 Lifetime: ~25,000 hours / L70 or better

ELECTRICAL

Voltage: Universal 150-277V AC standard, 0-70V optional
 Power Supply: High Class B, electronic high-power factor >90, THD <20%, FCC Title 47 Part 15 Class A, EMC/CE & EMI certified
 Power Consumption: Up to 3000 lm @ 30W
 Certification: CE, UL, ENEC, CE, RoHS, and PSE Certified. Wet location listed for wall or ceiling mount. IP65 ingress protection, 1.5M ANSI C136.37 Vibration resistance rated. IK09 (IK03) impact resistance rated. IESNA LM79 Photometric testing by IALAP accredited test lab. IESNA LM80 LED testing by IALAP accredited test lab. IESNA TM30 Luminaire Lumen Depreciation projection to 70,000hrs.

PHYSICAL DIMENSIONS

Fixture	Length (H)	Pendant (PM)	Surface Mount (SF)	Wall Mount (WM)
FCCSQ40-10	10.98" height			
FCCSQ40-12	12.98" height			
FCCSQ40-14	14.98" height			
FCCSQ40-16	16.98" height			
FCCSQ40-18	18.98" height			
FCCSQ40-20	20.98" height			

Cylo 19413

Project name: _____ modifications: _____
 Project location: _____
 Specifier name: _____
 Specifier location: _____
 Quantity: _____
 Fixture type: _____

Base Specs
 19.5" h x 6" w x 4" d Opal Acrylic Bottom Diffuser

Notes
 Dark Sky friendly available — \$5 Inquire.
 Marine grade primer available — \$5 Inquire.

Fortis 18399CS

Project name: _____ modifications: _____
 Project location: _____
 Specifier name: _____
 Specifier location: _____
 Quantity: _____
 Fixture type: _____

Base Specs
 10" h x 10" w x 8.5" d

Notes
 Marine grade primer available — \$5 Inquire.

PROPOSED LIGHTED BOLLARD PROPOSED BUILDING LIGHT FIXTURE (WM1) PROPOSED BUILDING LIGHT FIXTURE (WM2) PROPOSED BUILDING LIGHT FIXTURE (WM3) PROPOSED BUILDING LIGHT FIXTURE (WM4)

Luminaire Schedule

Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
4	B2	Single	760	10	0.900	B0-U0-G0	ANP LTG BL7903-FR-M010LDD-T2-27K-FINISH / OPTICAL HT 3.5FT
1	B3	Single	804	10	0.900	B0-U0-G0	ANP LTG BL7903-FR-M010LDD-T3-27K-FINISH / OPTICAL HT 3.5FT
3	B5	Single	842	10	0.900	B1-U0-G0	ANP LTG BL7903-FR-M010LDD-T5-27K-FINISH / OPTICAL HT 3.5FT
4	SL	Single	67	0.01	0.900	B0-U1-G1	MINIUS CK-MP-27-TI-TRKDR16-PKMP-0115-DIM / MOUNTED @ 1.5FT AFG TO BOF
2	WM1	Single	1483	10.2	0.900	B1-U0-G1	HUBBARDTON 302039-SKT-80-78 / WALL MOUNTED @ 7FT AFG TO BOF / NOT DEPICTED IN CALCULATION AS NO IES FILES ARE AVAILABLE
4	WM2	Single	3021	5	0.134	B3-U1-G0	FC LTG FCCSQ400-10-WM-UNV-927-05L-BRE-50-DIM / WALL MOUNTED @ 7FT AFG TO BOF
4	WM3	Single	158	18.8	12.101	B0-U3-G0	ULTRALIGHTS LTG CYLO 19413 FINISH-02-QA / DARK SKY VERSION / WALL MOUNTED @ 7FT AFG TO BOF
2	WM4	Single	344	18.7	5.565	B0-U0-G0	ULTRALIGHTS LTG FORTIS 18399CS-02-QA / WALL MOUNTED @ 7FT AFG TO BOF

NOTES:

- THE COLOR TEMPERATURE OF ALL PROPOSED LIGHTING IS 2700K.
- PROPOSED EXTERIOR BUILDING AND SITE LIGHTING IS DARK SKY COMPLIANT.
- PHOTOMETRIC DATA IS NOT AVAILABLE FOR THE EXISTING SITE LIGHTING TO REMAIN.

Qty	Label	Arrangement	Lumens	Input Watts	LLF	BUG Rating	Description
4	B2	Single	760	10	0.900	B0-U0-G0	ANP LTG BL7903-FR-M010LDD-T2-27K-FINISH / OPTICAL HT 3.5FT
1	B3	Single	804	10	0.900	B0-U0-G0	ANP LTG BL7903-FR-M010LDD-T3-27K-FINISH / OPTICAL HT 3.5FT
3	B5	Single	842	10	0.900	B1-U0-G0	ANP LTG BL7903-FR-M010LDD-T5-27K-FINISH / OPTICAL HT 3.5FT
4	SL	Single	67	0.01	0.900	B0-U1-G1	MINIUS CK-MP-27-TI-TRKDR16-PKMP-0115-DIM / MOUNTED @ 1.5FT AFG TO BOF
2	WM1	Single	1483	10.2	0.900	B1-U0-G1	HUBBARDTON 302039-SKT-80-78 / WALL MOUNTED @ 7FT AFG TO BOF / NOT DEPICTED IN CALCULATION AS NO IES FILES ARE AVAILABLE
4	WM2	Single	3021	5	0.134	B3-U1-G0	FC LTG FCCSQ400-10-WM-UNV-927-05L-BRE-50-DIM / WALL MOUNTED @ 7FT AFG TO BOF
4	WM3	Single	158	18.8	12.101	B0-U3-G0	ULTRALIGHTS LTG CYLO 19413 FINISH-02-QA / DARK SKY VERSION / WALL MOUNTED @ 7FT AFG TO BOF
2	WM4	Single	344	18.7	5.565	B0-U0-G0	ULTRALIGHTS LTG FORTIS 18399CS-02-QA / WALL MOUNTED @ 7FT AFG TO BOF

ISSUED FOR SITE PLAN REVIEW

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 860 652 8227

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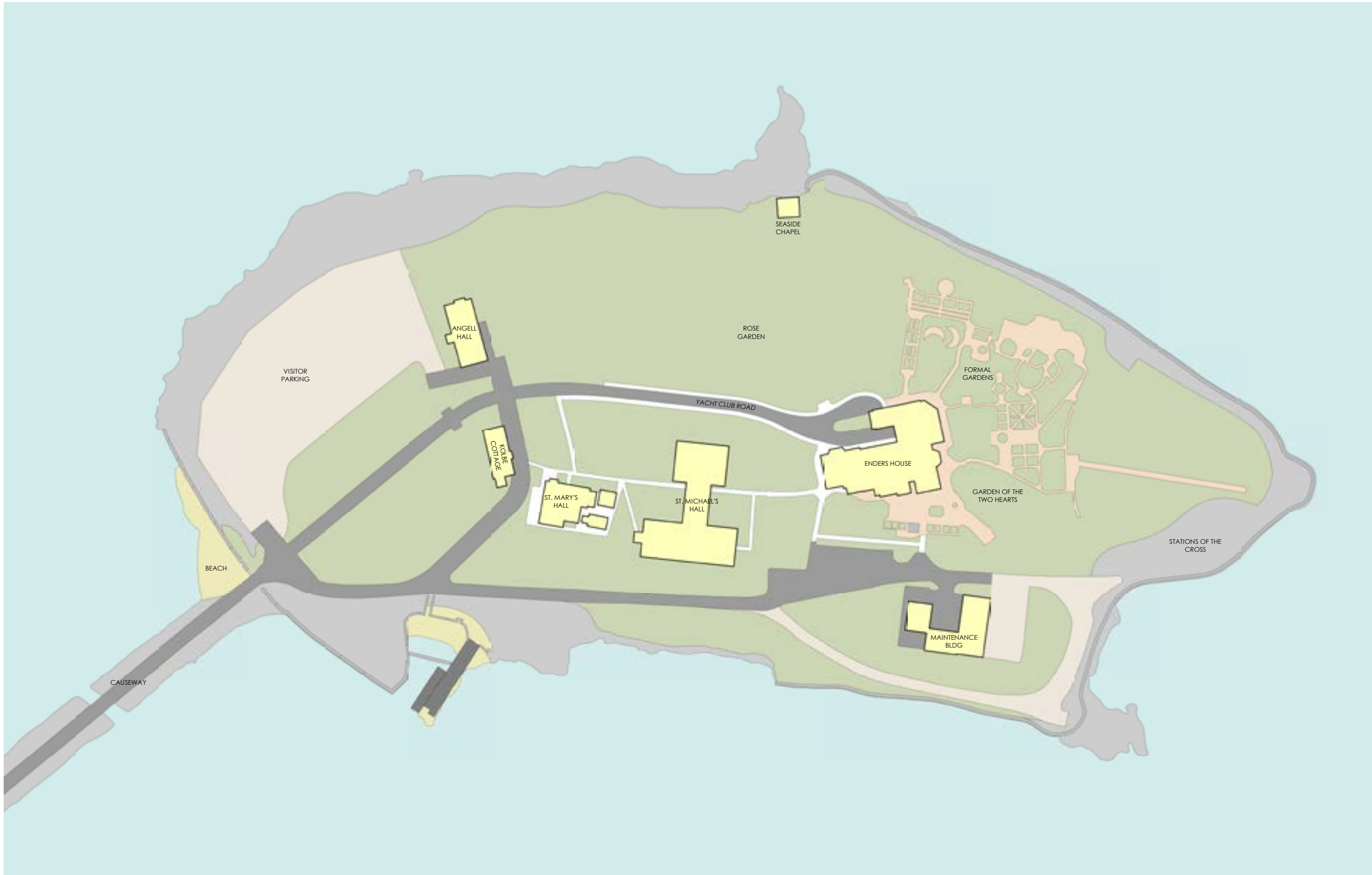


ST EDMUND'S RETREAT
KENYON COTTAGE RECOVERY CENTER
ENDERS ISLAND MYSTIC, CT

SITE PLAN REVIEW | MAY 21, 2024



EXISTING SITE PLAN - Before Chapel



ST. MICHAEL'S HALL:



ENDERS HOUSE:



KOLBE COTTAGE:



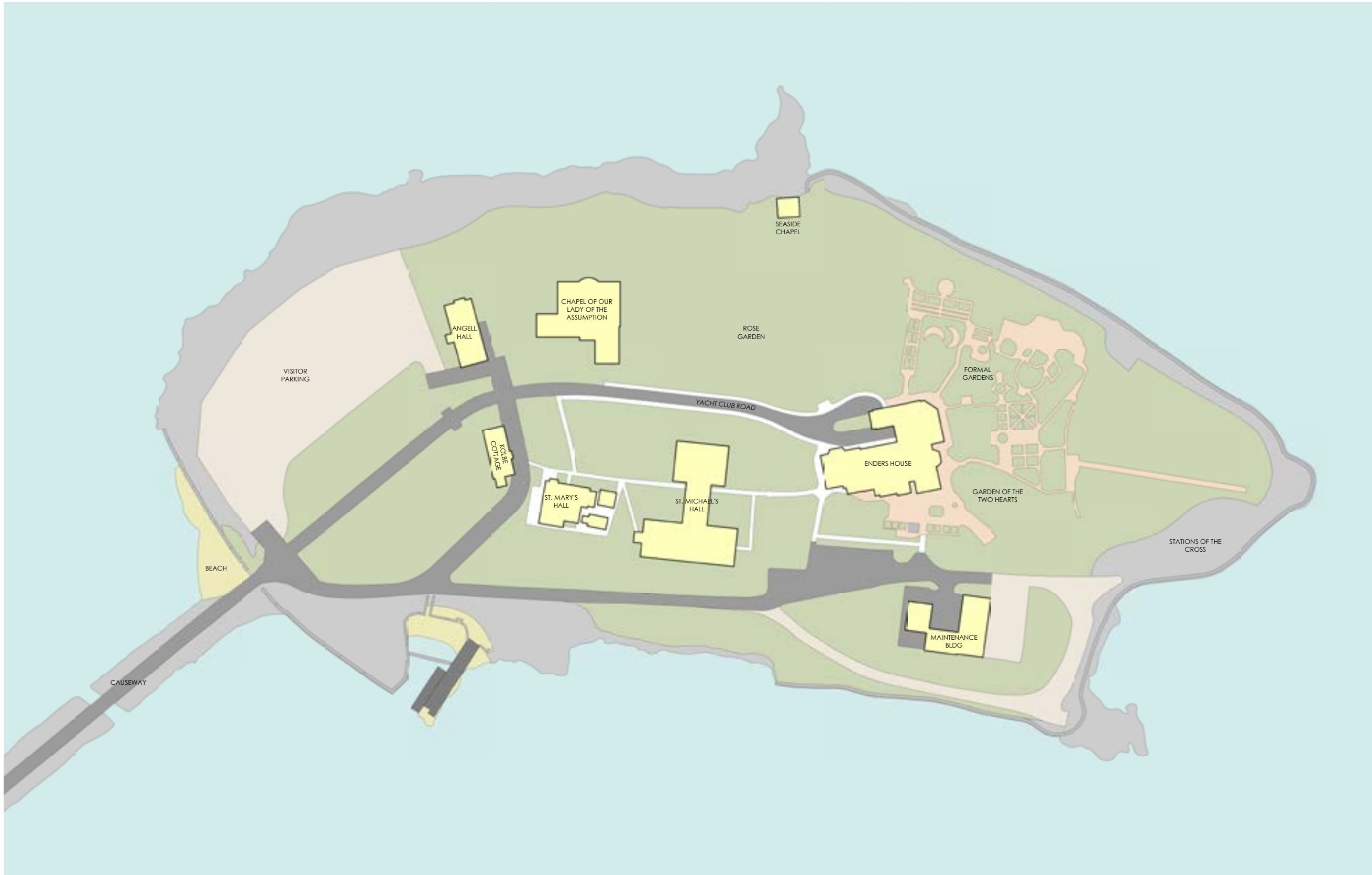
ANGELL HALL:



EXISTING STRUCTURE ANALYSIS

ENDERS ISLAND - DETAILED SQUARE FOOTAGE AND USE ANALYSIS											
STRUCTURE NAME	FUNCTION	EXST NO BEDS	ID	LAND USE CODE	HEIGHT	YEAR BUILT	SQUARE FEET (2018 STONINGTON LAND RECORDS- JV REPORT)	SQUARE FEET (SCAN DATA FROM 12/08/2022)	Additional Contributing SF	NON-CONTRIBUTING SQUARE FEET (PER ZONING REGULATIONS)	CONTRIBUTING SQUARE FEET
EXISTING STRUCTURES											
BEFORE CHAPEL CONSTRUCTION											
Enders House	Lodging; Dining (4 areas), Chapel, Commercial kitchen, Event venue, Meeting space, Retreat facility	12	178-1-1-5	9060 Church MDL-94	68'	1920s	15,287	15,583	323	249	15,657
Angell Hall	Offices, Meeting spaces, Event spaces		178-1-1-8	9060 Church MDL-94	37'		2,880	2,997		78	2,919
Kolbe Cottage	Office, Lodging	9	178-1-1-6	9060 Church MDL-94	35'	1930s	2,759	1,914		170	1,744
St. Mary's Hall/ Sacred Art Institute	Offices, Lodging	3	178-1-1-7	9060 Church MDL-94	35'	1930s	2,760	2,836		887	1,949
Basement Below 15' (non-contributing)					-		754	829		829	-
Floors Above 15'					-		2,006	2,007		58	-
Seaside Chapel	Chapel		178-1-1-2	9090 Conservation MDL-00	-		219	262			262
Shed 1			178-1-1-3	9090 Conservation MDL-00	-		185	230		47	183
Shed 2			178-1-1-9	9090 Conservation MDL-00	-		160	207		0	207
St. Michael's Hall	Lodging; Meeting rooms (3), Gift shop	56	178-1-1-1	9060 Church MDL-94	44'	1970	9,428	9,583		38	9,545
Maintenance Building	Meeting Space, Utility, Laundry		178-1-1-5	9060 Church MDL-94	28'	1998	2,616	2,807			2,807
TOTAL		80		0			36,294			2,029	35,273

EXISTING SITE PLAN - After Chapel



ST. MICHAEL'S HALL:



ENDERS HOUSE:



KOLBE COTTAGE:



ANGELL HALL:



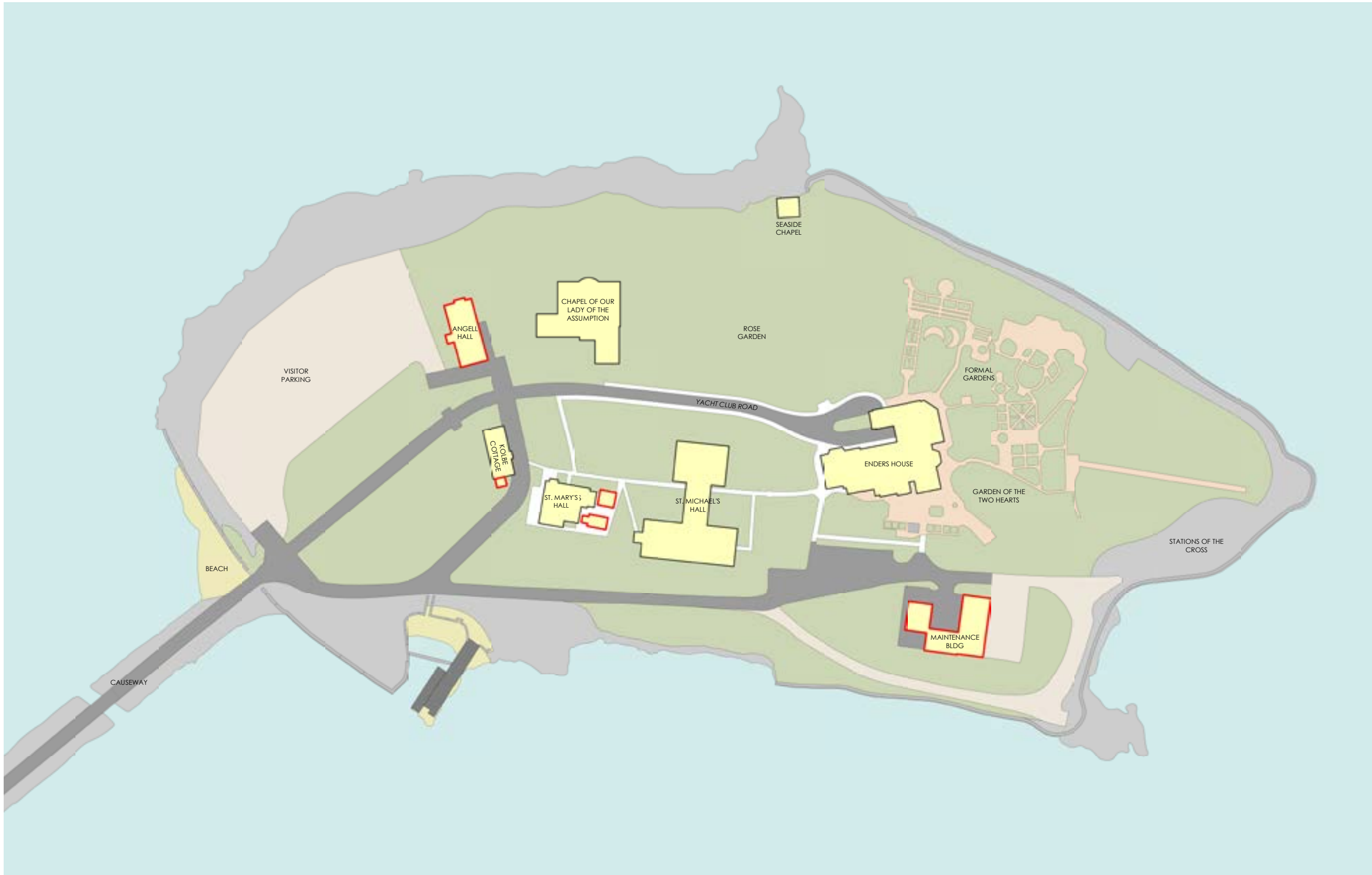
CHAPEL OF OUR LADY:



SITE PLANS
STRUCTURE ANALYSIS

ENDERS ISLAND - DETAILED SQUARE FOOTAGE AND USE ANALYSIS											
STRUCTURE NAME	FUNCTION	EXST NO BEDS	ID	LAND USE CODE	HEIGHT	YEAR BUILT	SQUARE FEET (2018 STONINGTON LAND RECORDS- JV REPORT)	SQUARE FEET (SCAN DATA FROM 12/08/2022)	Additional Contributing SF	NON-CONTRIBUTING SQUARE FEET (PER ZONING REGULATIONS)	CONTRIBUTING SQUARE FEET
EXISTING STRUCTURES											
BEFORE CHAPEL CONSTRUCTION											
Enders House	Lodging; Dining (4 areas), Chapel, Commercial kitchen, Event venue, Meeting space, Retreat facility	12	178-1-1-5	9060 Church MDL-94	68'	1920s	15,287	15,583	323	249	15,657
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Kolbe Cottage	Office, Lodging	9	178-1-1-6	9060 Church MDL-94	35'	1930s	2,759	1,914		170	1,744
St. Mary's Hall/ Sacred Art Institute	Offices, Lodging	3	178-1-1-7	9060 Church MDL-94	35'	1930s	2,760	2,836		887	1,949
	Basement Below 15' (non-contributing)				-		754	829		829	-
	Floors Above 15'				-		2,006	2,007		58	-
Seaside Chapel	Chapel		178-1-1-2	9090 Conservation MDL-00 9090	-		219	262			262
Shed 1			178-1-1-3	9090 Conservation MDL-00 9090	-		185	230		47	183
Shed 2			178-1-1-9	9090 Conservation MDL-00 9090	-		160	207		0	207
St. Michael's Hall	Lodging; Meeting rooms (3), Gift shop	56	178-1-1-1	9060 Church MDL-94	44'	1970	9,428	9,583		38	9,545
Maintenance Building	Meeting Space, Utility, Laundry		178-1-1-5	9060 Church MDL-94	28'	1998	2,616	2,807			2,807
TOTAL		80		0			36,294			2,029	35,273
AFTER CHAPEL CONSTRUCTION											
Chapel of Our Lady of the Assumption	Chapel		178-1-1-4	9060 Church MDL-94	50'-5"	2002	4,181	4,412			4,412
TOTAL				0			40,475			2,067	39,685
TOTAL LOT AREA		435,942									

SITE PLANS
DEMO SITE PLAN



SITE PLANS
PROPOSED SITE PLAN



SITE PLANS

PROPOSED STRUCTURE ANALYSIS

ENDERS ISLAND - DETAILED SQUARE FOOTAGE AND USE ANALYSIS													
STRUCTURE NAME	FUNCTION	EXST NO. OF BEDS	PROPOSED NO. BEDS	ID	LAND USE CODE	HEIGHT	YEAR BUILT	SQUARE FEET <small>(2018 STONINGTON LAND RECORDS - JV REPORT)</small>	SQUARE FEET (SCAN DATA FROM 12/08/2022)	Additional Contributing SF	NON-CONTRIBUTING SQUARE FEET (PER ZONING REGULATIONS)	STRUCTURES PROPOSED TO BE DEMO'D	CONTRIBUTING SQUARE FEET
EXISTING STRUCTURES													
BEFORE CHAPEL CONSTRUCTION													
Enders House	Lodging; Dining (4 areas), Chapel, Commercial kitchen, Event venue, Meeting space, Retreat facility	12	11	178-1-1-5	9060 Church MDL-94	68'	1920s	15,287	15,583	323	249	0	15,334
Angell Hall TO BE DEMO'D	Offices, meeting spaces, event spaces			178-1-1-8	9060 Church MDL-94	37'		2,880	2,997		78	2,997	0
Kolbe Cottage - ATTACHED MECH SHED TO BE DEMO'D	Office, Lodging	9	0	178-1-1-6	9060 Church MDL-94	35'	1930s	2,759	1,914		170	67	1,677
St. Mary's Hall/ Sacred Art Institute	Offices, Lodging	3	0	178-1-1-7	9060 Church MDL-94	35'	1930s	2,760	2,836		887		1,949
Basement Below 15' (non-contributing)						-		754	829		829	-	-
Floors Above 15'						-		2,006	2,007		58		-
Seaside Chapel	Chapel			178-1-1-2	9090 Conservation MDL-00	-		219	262			0	262
Shed 1 - TO BE DEMO'D				178-1-1-3	9090 Conservation MDL-00	-		185	230		47	230	0
Shed 2 - TO BE DEMO'D				178-1-1-9	9090 Conservation MDL-00	-		160	207		0	207	0
St. Michael's Hall	Lodging; Meeting rooms (3), Gift shop	56	56	178-1-1-1	9060 Church MDL-94	44'	1970	9,428	9,583		38	0	9,545
Maintenance Building TO BE DEMO'D	Meeting space, Utility, laundry			178-1-1-5	9060 Church MDL-94	28'	1998	2,616	2,807			2,807	0
Chapel of Our Lady of the Assumption	Chapel			178-1-1-4	9060 Church MDL-94	50.5'	2002	4,181	4,412			0	4,412
TOTAL		80	56					40,475			38	6,308	33,179
PROPOSED STRUCTURES													
Kenyon Cottage	Lodging; program space, fitness		13	178-1-1-5	9060 Church MDL-94	2025	22' - 11"	-	-	6,100	471	0	5,629
Basement Below 15'										3,000	3,000		
TOTAL			80										38,808
TOTAL LOT AREA												435,942	
FAR (CONTRIBUTING SF / LOT AREA)												0.089	

PROPOSED KENYON COTTAGE
ENDERS ISLAND

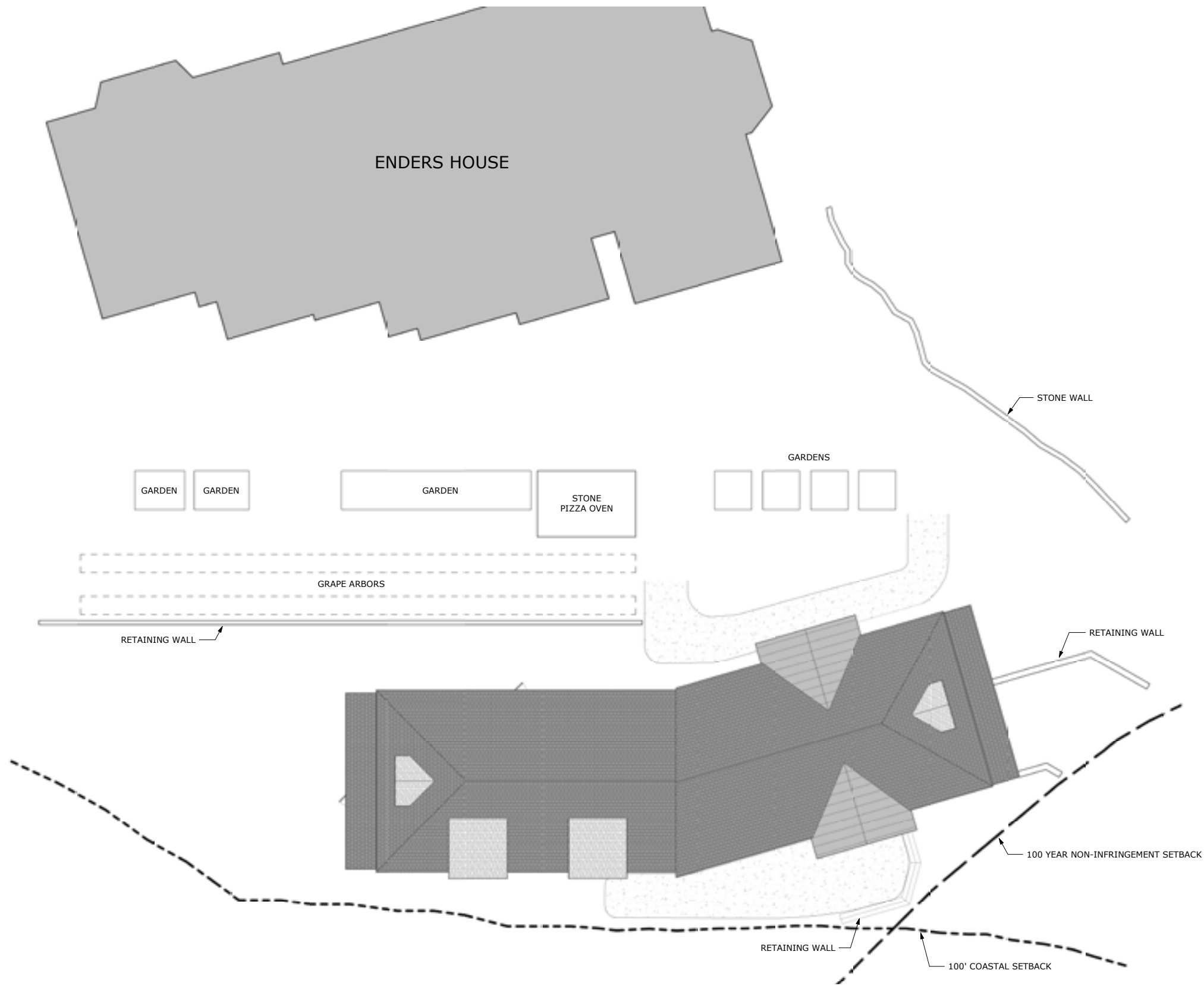
FLOOR PLANS
**ARCHITECTURAL
 SITE PLAN**



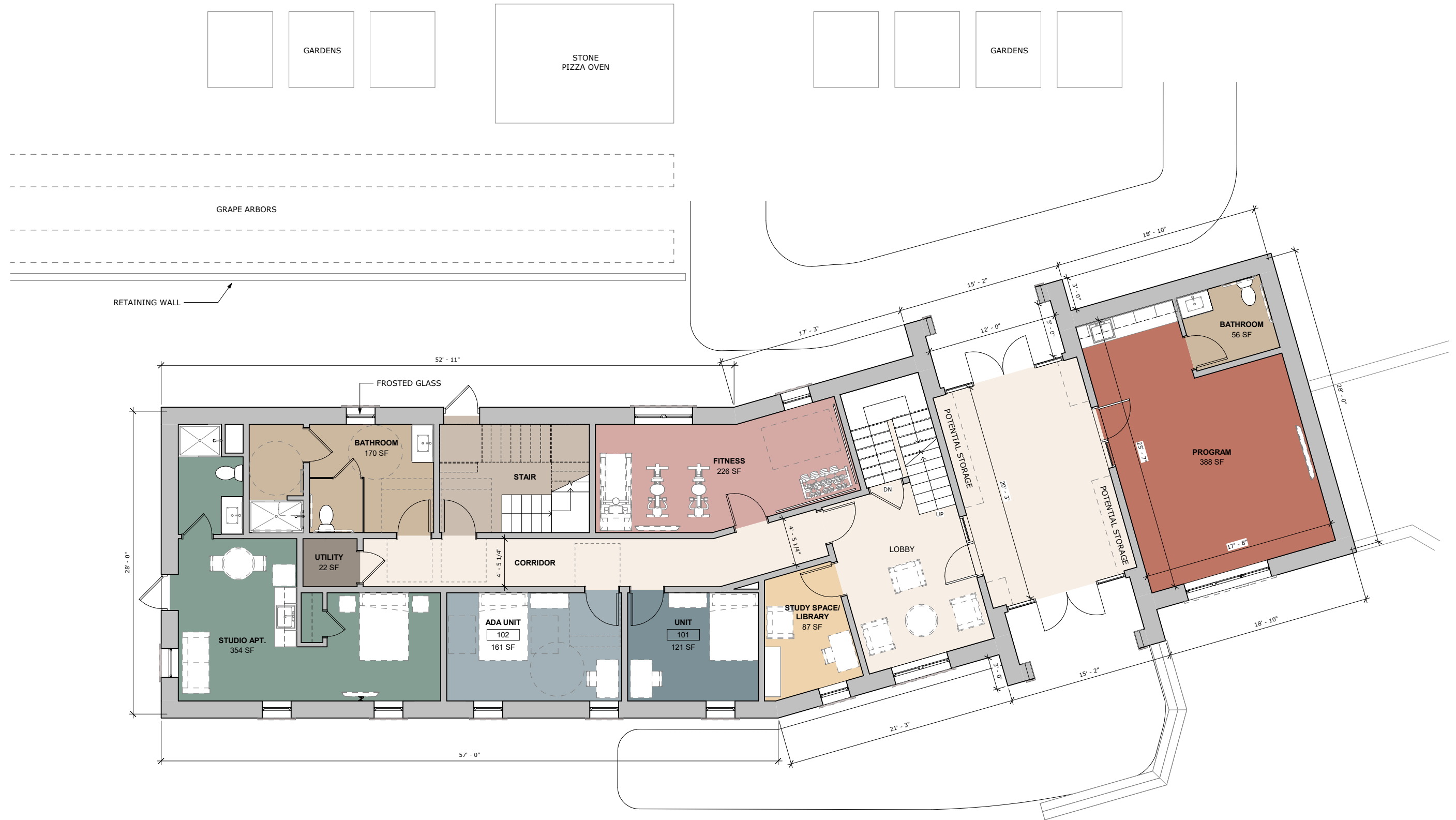
ENDERS HOUSE



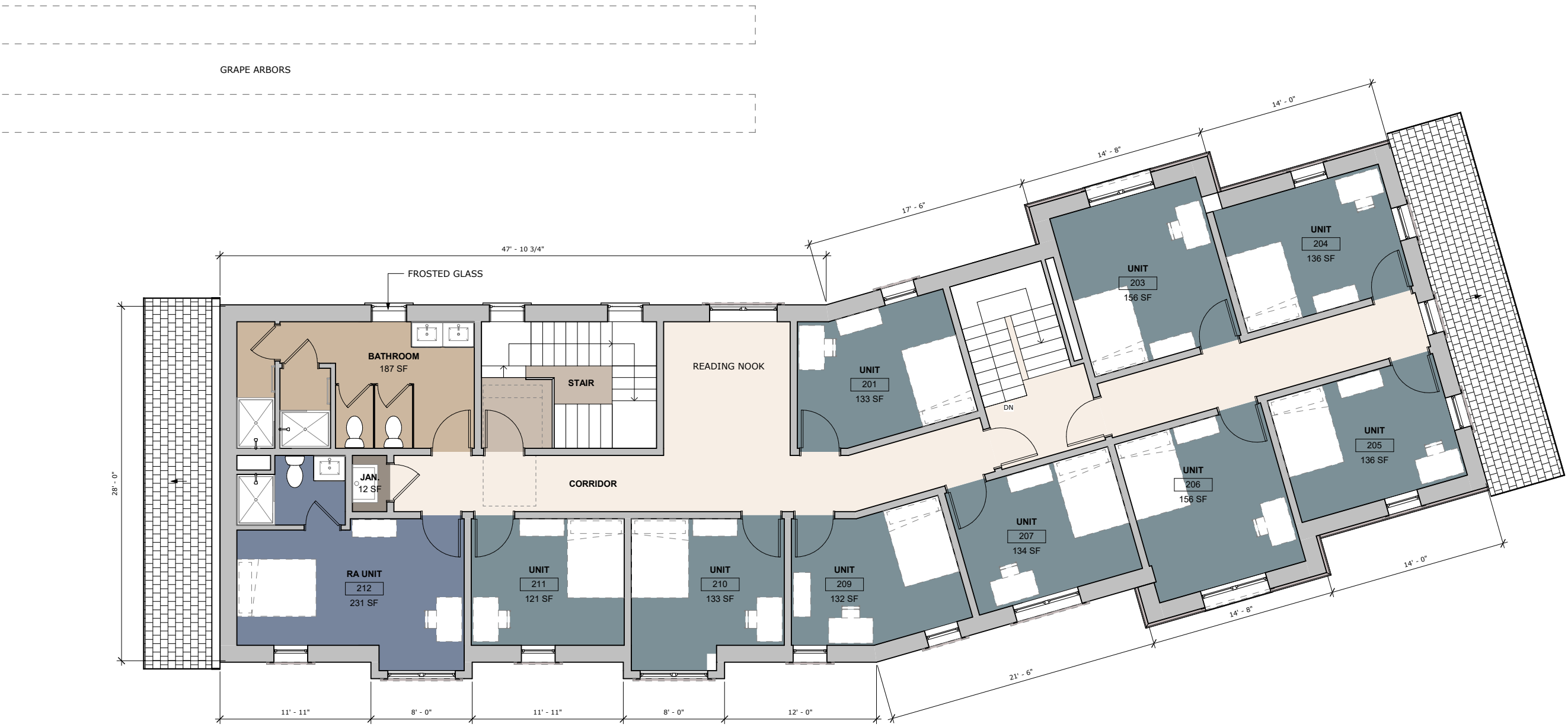
GRAPE ARBORS



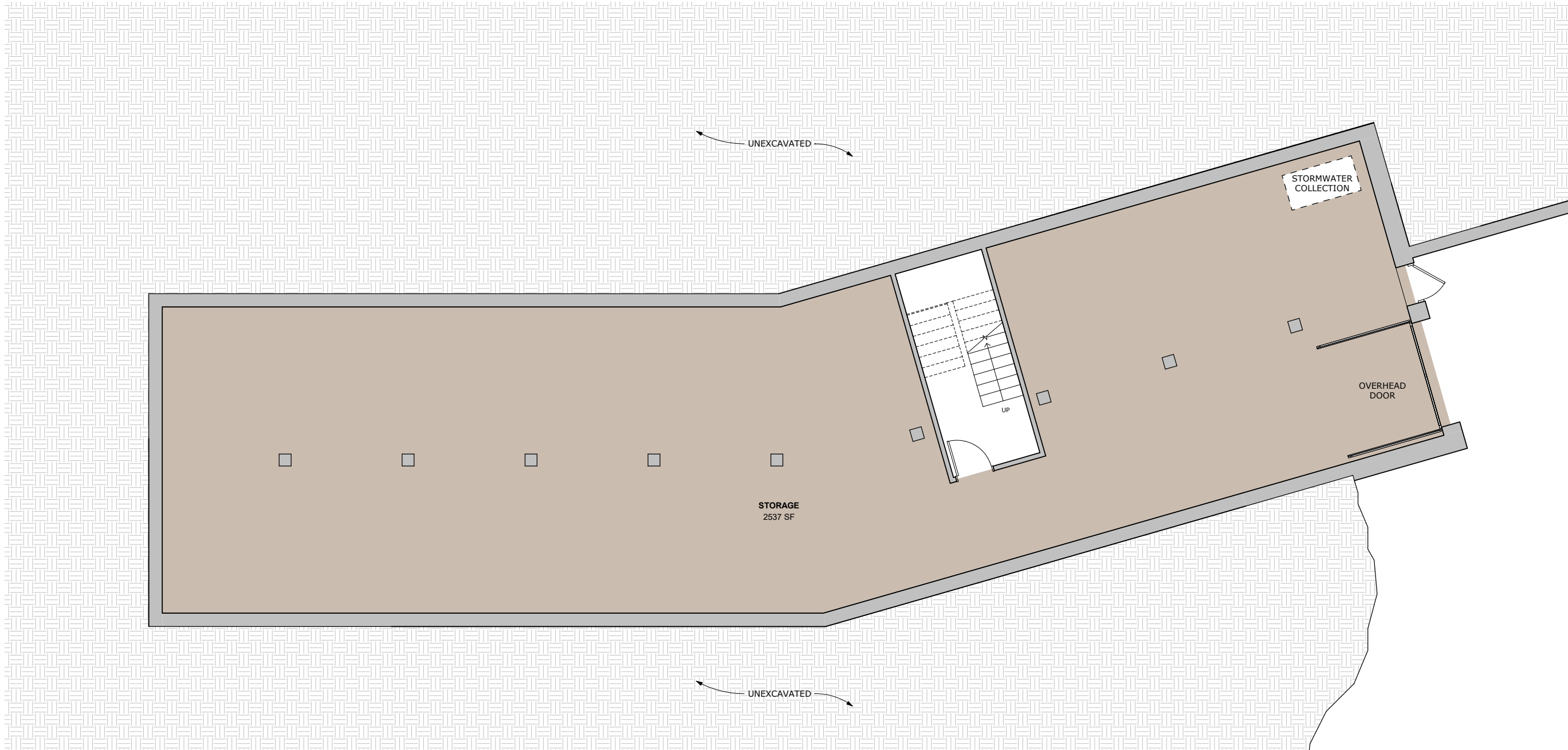
FLOOR PLANS
GROUND FLOOR



FLOOR PLANS
SECOND FLOOR



BASEMENT



3 D VIEW

FACING ENDERS HOUSE



3 D VIEW
OCEAN SIDE



3 D VIEW
ENDERS ISLAND OCEAN SIDE

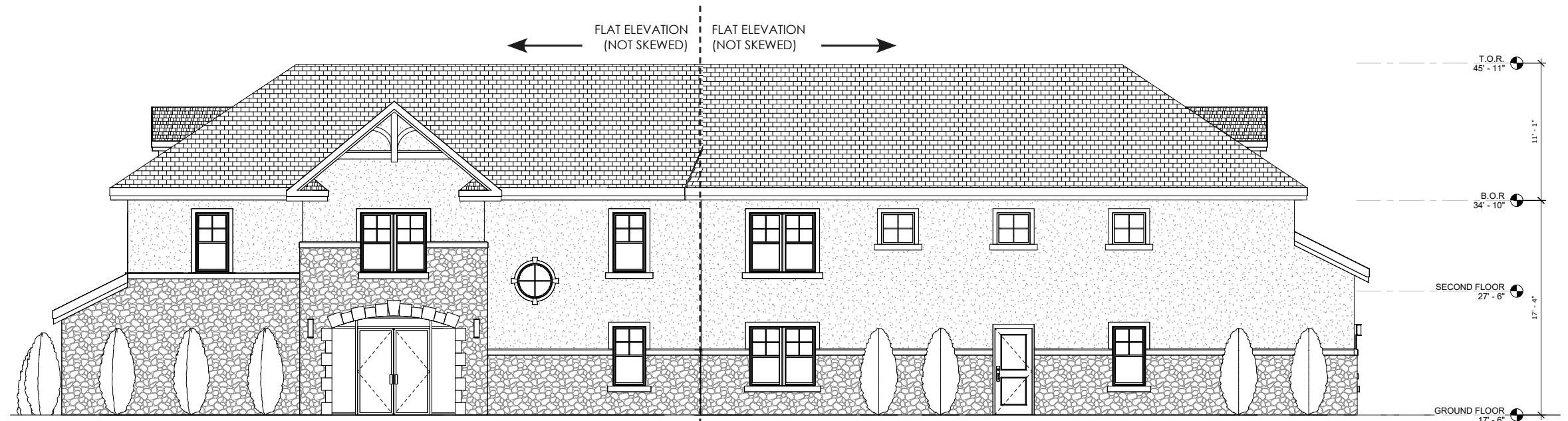


EXISTING ENDERS ISLAND OCEAN SIDE

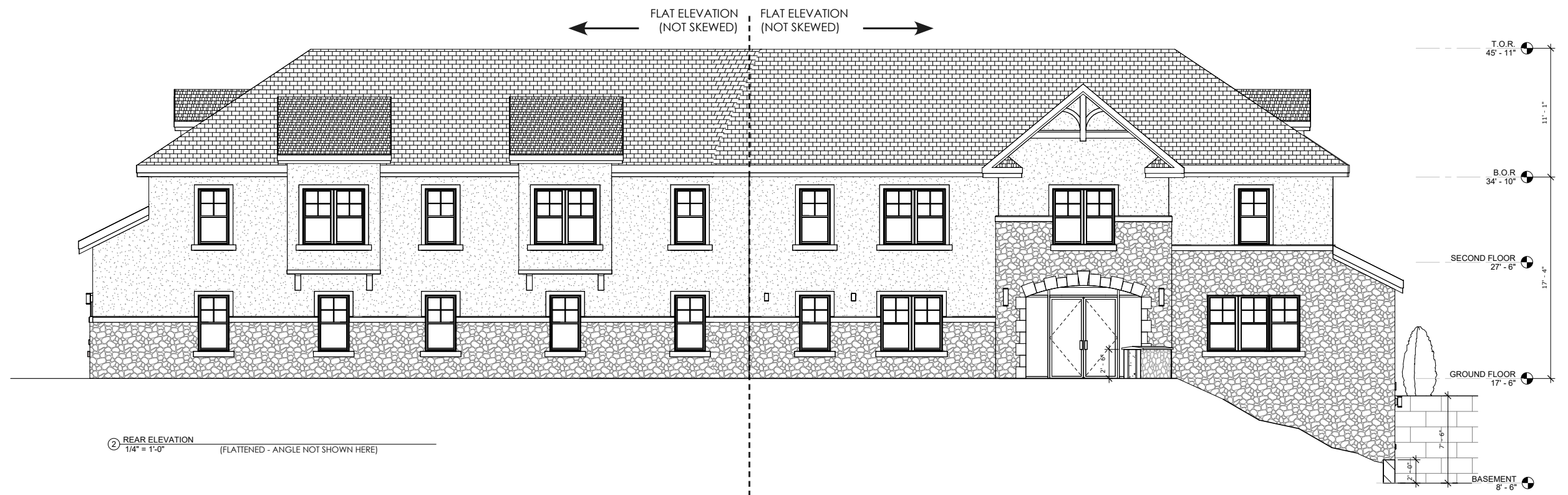


PROPOSED ENDERS ISLAND OCEAN SIDE

ELEVATIONS FACING/ VIEW



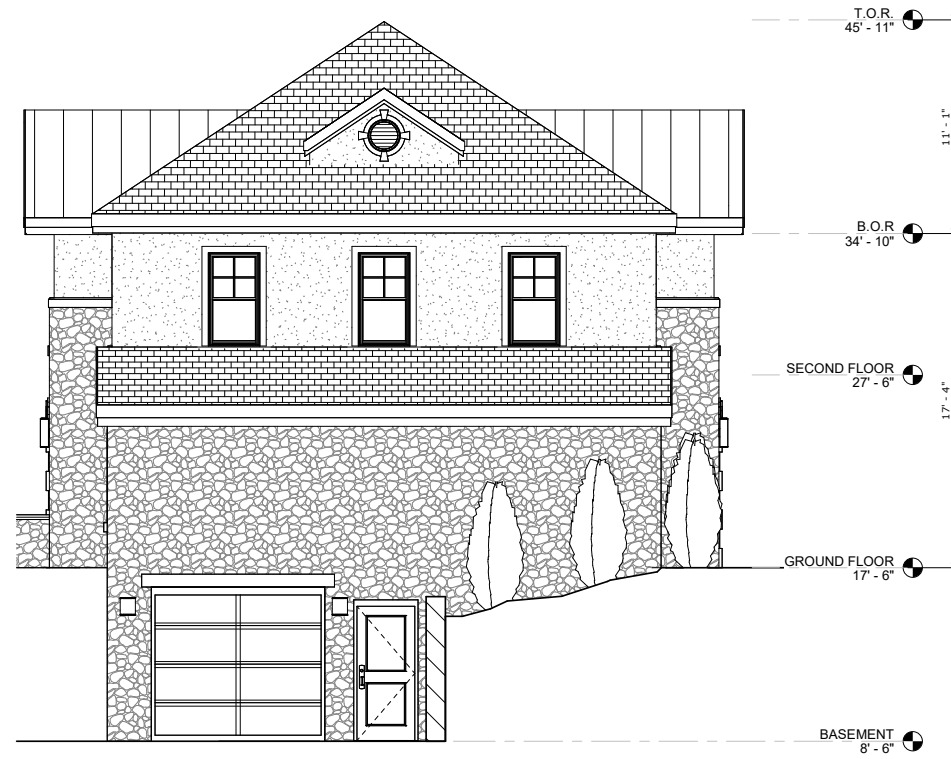
① FRONT ELEVATION
1/4" = 1'-0" (FLATTENED - ANGLE NOT SHOWN HERE)



② REAR ELEVATION
1/4" = 1'-0" (FLATTENED - ANGLE NOT SHOWN HERE)

ELEVATIONS

FACING/ VIEW



① LEFT FACING ELEVATION
1/4" = 1'-0"



② RIGHT FACING ELEVATION
1/4" = 1'-0"



ENDERS HOUSE

MATERIALITY



PRECEDENT

VISUAL APPROACH
INSPIRATION IMAGERY

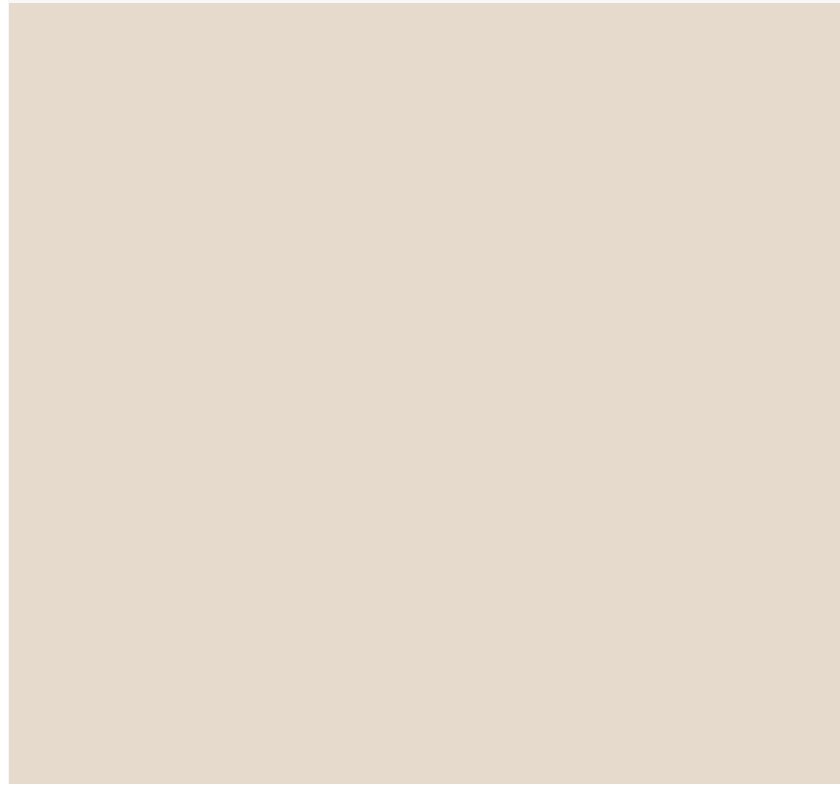


PRECEDENT

STONE VENEER - INSTONE DUTCH QUALITY



STUCCO - DRYVIT



VISUAL APPROACH
PRODUCT SELECTIONS

SOLAR ROOF TILES - TESLA



STONE KEYSTONES



ROOF SHINGLE - GAF





THANK YOU

ZDS

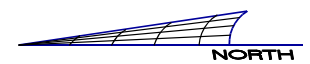
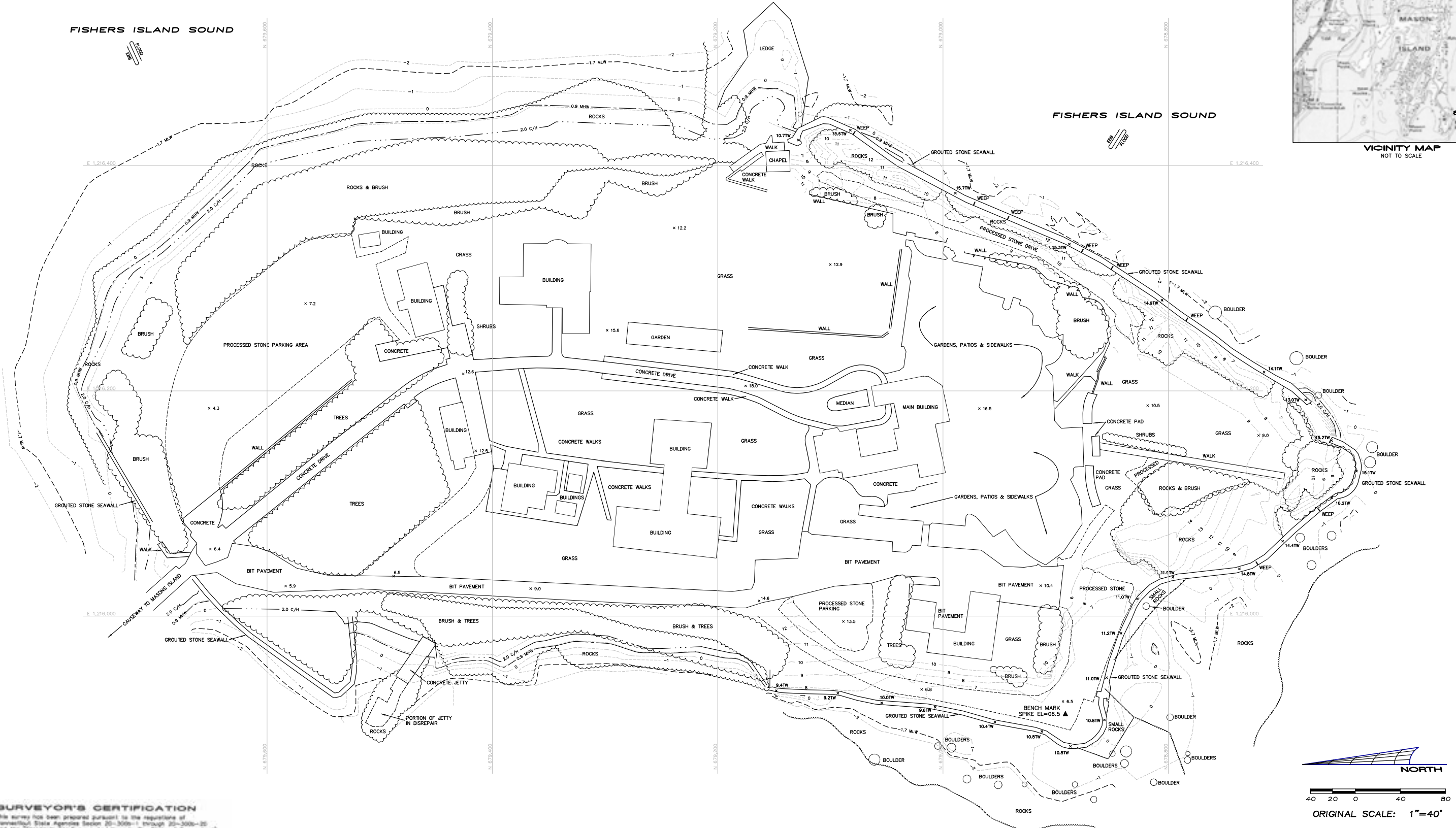
APPENDIX
EXISTING ENDERS ISLAND

FISHERS ISLAND SOUND

FISHERS ISLAND SOUND



VICINITY MAP NOT TO SCALE



40 20 0 40 80

ORIGINAL SCALE: 1"=40'

SURVEYOR'S CERTIFICATION

This survey has been prepared pursuant to the regulations of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.

The horizontal accuracy of the survey of the area upland of the mean low water line conforms to class A-2. The horizontal accuracy of the survey of the area waterward of the mean low water line conforms to a class B. All topographic information shown conforms to a class T-2.

Is any information and target, this map is substantially correct as noted herein:

F.N. Summer CT LS 18328 Date 11-01-23

NOTES

- This plan depicts a Topographic Survey conducted in September 2023.
- North and coordinates shown are referenced to NAD83.
- Elevations are referenced to NAVD88 and tidal elevations are as follows:

COASTAL JURISDICTION/HIGH TIDE LINE (C/H)	= 2.0
MEAN HIGH WATER (MHW)	= 0.9
NORTH AMERICAN VERTICAL DATUM-1988 (NAVD)	= 0.0
MEAN SEA LEVEL (MSL)	= -0.1
MEAN TIDE LEVEL (MTL)	= -0.2
MEAN LOW WATER (MLW)	= -1.7
MEAN LOWER LOW WATER (MLLW)	= -1.9

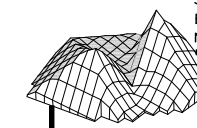
FISHERS ISLAND SOUND

REVISIONS

- 11-01-23 ADDED CONTOURS TO INTERTIDAL ZONE NORTH OF SEAWALL SURVEY

TOPOGRAPHIC SURVEY

PROPERTY OF ST EDMUND OF CONNECTICUT INC ENDERS ISLAND MYSTIC-STONINGTON, CT



RESOURCE MANAGEMENT and MAPPING

SURVEYING/MAPPING GPS

61 LIBERTY STREET, CHESTER, CT 06412 860.526.2530 project no. 23.025 date 10-04-23 sheet 1 of 1

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SITE PLANS

PROPOSED STRUCTURE ANALYSIS

ENDERS ISLAND - DETAILED SQUARE FOOTAGE AND USE ANALYSIS													
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Kolbe Cottage - ATTACHED MECH SHED TO BE DEMO'D	Office, Lodging	9	0	178-1-1-6	9060 Church MDL-94	35'	1930s	2,759	1,914		170	67	1,677
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Basement Below 15' (non-contributing)						-		754	829		829	-	-
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Shed 1 - TO BE DEMO'D				178-1-1-3	9090 Conservation MDL-00	-		185	230		47	230	0
Shed 2 - TO BE DEMO'D				178-1-1-9	9090 Conservation MDL-00	-		160	207		0	207	0
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TOTAL LOT AREA												435,942	
FAR (CONTRIBUTING SF / LOT AREA)												0.089	

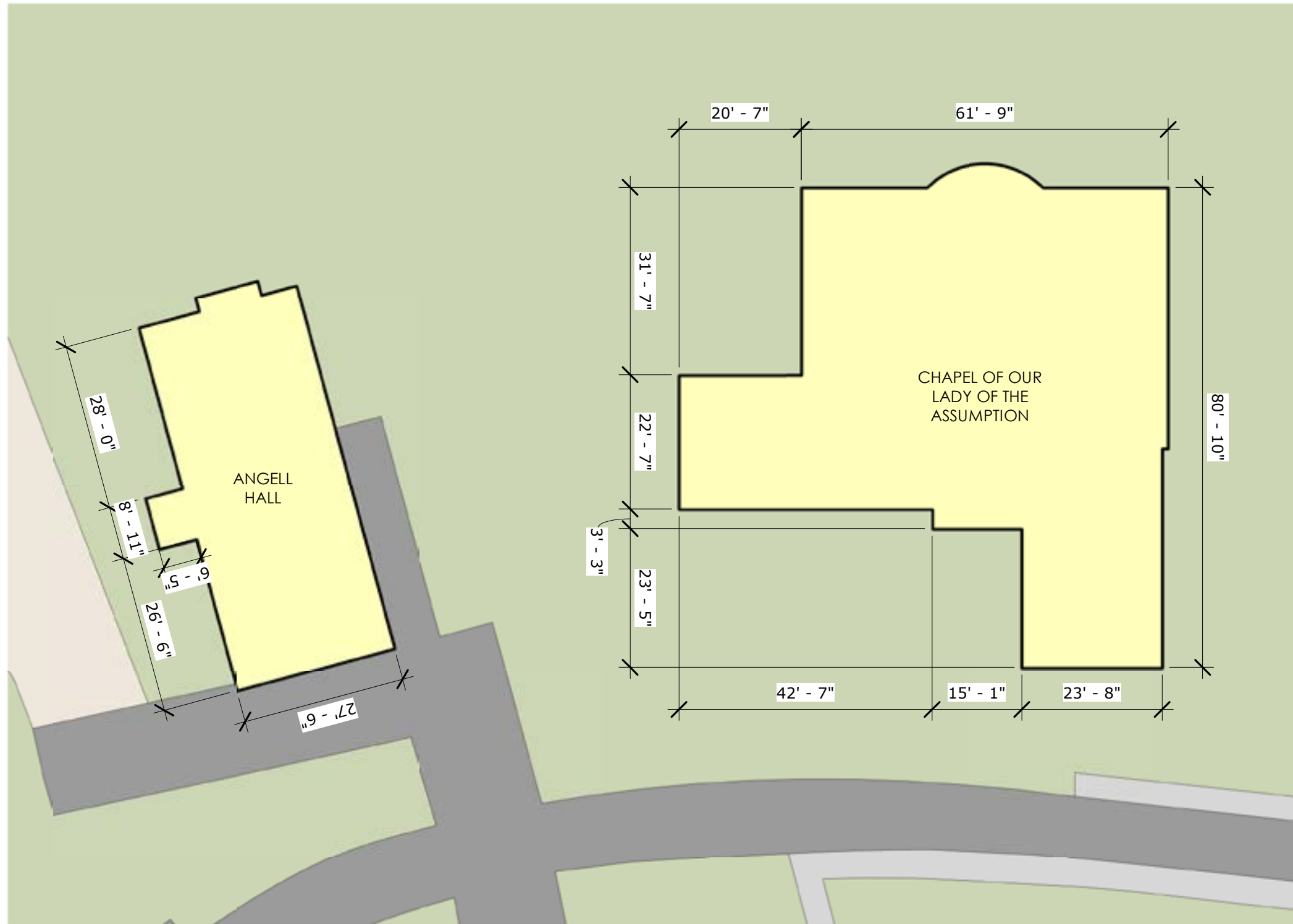
SITE PLANS
EXISTING SITE PLAN



DETAILED EXG STRUCURE ANALYSIS		
STRUCTURE NAME	SQUARE FEET (2018 STONIGTON LAND RECORDS)	HEIGHT
EXISTING STRUCTURES		
St. Michael's Hall	9,428	44'
Seaside Chapel	219	
Shed - TO BE DEMO.	185	
Chapel of Our Lady of the Assumption	4,181	50.5'
Enders House	15,287	68'
Maintenance Building - TO BE DEMO.	2,616	28'
Kolbe Cottage MECHANICAL ATTACHED SHED TO BE DEMO	2,759	35'
St. Mary's Hall	2,760	35'
Angell Hall - TO BE DEMO.	2,880	37'
Shed - TO BE DEMO.	160	
TOTAL	40,475	



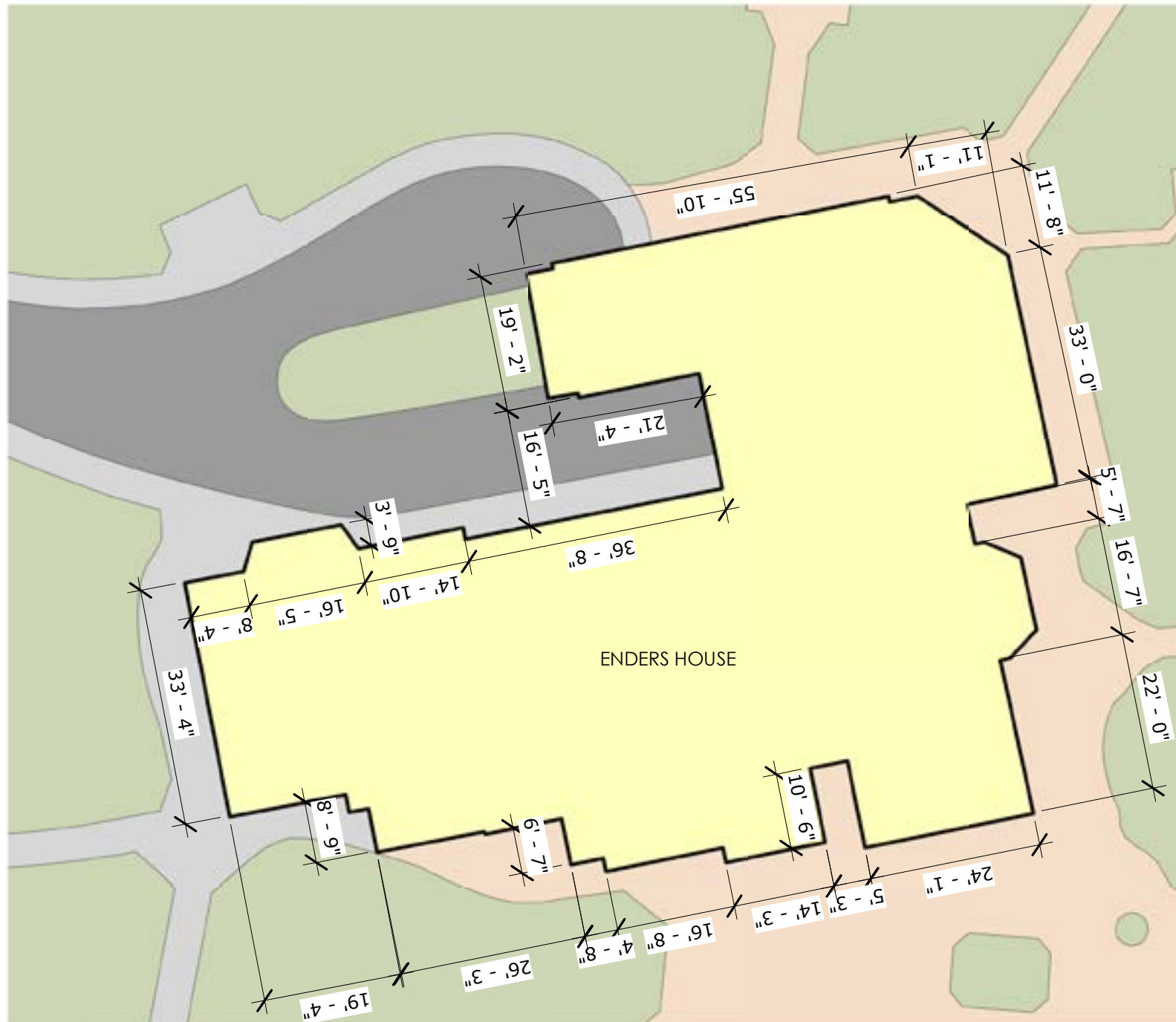
EXISTING ANGELL HALL & CHAPEL



DETAILED EXG STRUCURE ANALYSIS		
STRUCTURE NAME	SQUARE FEET (2018 STONIGTON LAND RECORDS)	HEIGHT
EXISTING STRUCTURES		
St. Michael's Hall	9,428	44'
Seaside Chapel	219	
Shed - TO BE DEMO.	185	
Chapel of Our Lady of the Assumption	4,181	50.5'
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St. Mary's Hall	2,760	35'
Angell Hall - TO BE DEMO.	2,880	37'
Shed - TO BE DEMO.	160	
TOTAL	40,475	



SITE PLANS
EXISTING ENDERS HOUSE



DETAILED EXG STRUCURE ANALYSIS		
STRUCTURE NAME	SQUARE FEET (2018 STONIGTON LAND RECORDS)	HEIGHT
EXISTING STRUCTURES		
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Seaside Chapel	219	
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St. Mary's Hall	2,760	35'
Angell Hall - TO BE DEMO.	2,880	37'
Shed - TO BE DEMO.	160	
TOTAL	40,475	



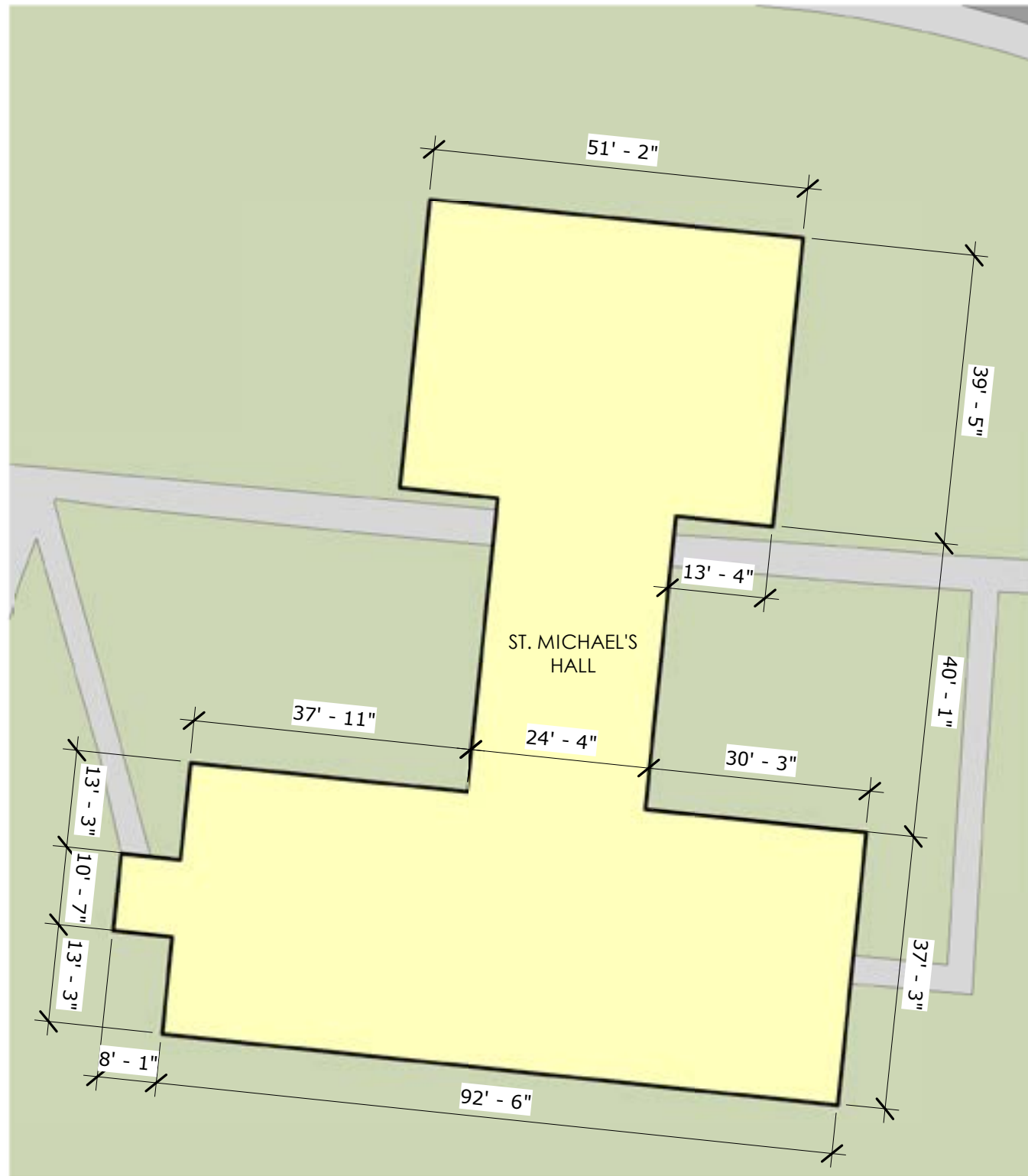
EXISTING KOLBE COTTAGE & ST MARY'S HALL



DETAILED EXG STRUCURE ANALYSIS		
STRUCTURE NAME	SQUARE FEET (2018 STONIGTON LAND RECORDS)	HEIGHT
EXISTING STRUCTURES		
St. Michael's Hall	9,428	44'
Seaside Chapel	219	
Shed - TO BE DEMO.	185	
Chapel of Our Lady of the Assumption	4,181	50.5'
Enders House	15,287	68'
Maintenance Building - TO BE DEMO.	2,616	28'
Kolbe Cottage MECHANICAL ATTACHED SHED TO BE DEMO	2,759	35'
St. Mary's Hall	2,760	35'
Angell Hall - TO BE DEMO.	2,880	37'
Shed - TO BE DEMO.	160	
TOTAL	40,475	



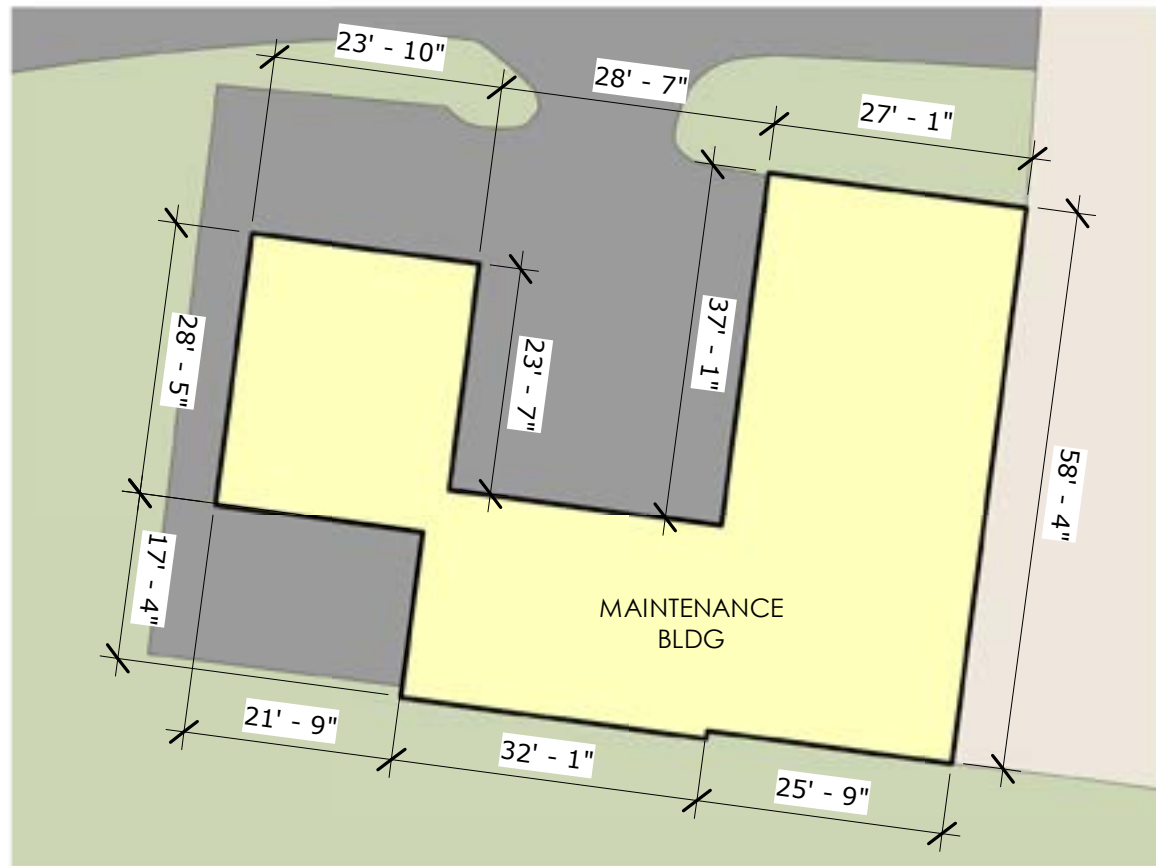
EXISTING ST MICHAEL'S HALL



DETAILED EXG STRUCURE ANALYSIS		
STRUCTURE NAME	SQUARE FEET (2018 STONIGTON LAND RECORDS)	HEIGHT
EXISTING STRUCTURES		
St. Michael's Hall	9,428	44'
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Shed - TO BE DEMO.	185	
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Kolbe Cottage MECHANICAL ATTACHED SHED TO BE DEMO	2,759	35'
St. Mary's Hall	2,760	35'
Angell Hall - TO BE DEMO.	2,880	37'
Shed - TO BE DEMO.	160	
TOTAL	40,475	



EXISTING MAINTENANCE BUILDING



DETAILED EXG STRUCURE ANALYSIS		
STRUCTURE NAME	SQUARE FEET (2018 STONIGTON LAND RECORDS)	HEIGHT
EXISTING STRUCTURES		
St. Michael's Hall	9,428	44'
Seaside Chapel	219	
Shed - TO BE DEMO.	185	
Chapel of Our Lady of the Assumption	4,181	50.5'
Enders House	15,287	68'
Maintenance Building - TO BE DEMO.	2,616	28'
Kolbe Cottage MECHANICAL ATTACHED SHED TO BE DEMO	2,759	35'
St. Mary's Hall	2,760	35'
Angell Hall - TO BE DEMO.	2,880	37'
Shed - TO BE DEMO.	160	
TOTAL	40,475	

